




Owner:

 Harvest Properties  
www.harvestproperties.com

Designer:

 Morris Adjmi Architects  
www.ma.com


Architect of Record:

 DGA Architects  
www.dgaonline.com


Architect 1103 Weeks:

 LPAS Architecture + Design  
www.lpas.com

Civil Engineer:

 Sherwood Design Engineers  
www.sherwoodengineers.com

Landscape Architect:

 HOOD Design Studio  
www.hooddesignstudio.com

Structural Engineer:

 KPW Structural Engineers  
www.kpw.com

Mechanical Engineer:

 Integral Group  
www.integral.com

Parking Consultant:

 Watry Design, Inc.  
www.watrydesign.com

1990 Bay Road,  
1175 Weeks Street,  
1250 Weeks Street,  
1103 Weeks Street  
East Palo Alto, CA

3D VIEW - PLAZA

Major Application / 24 September 2021





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**3D VIEW - PLAZA**

Major Application / 24 September 2021

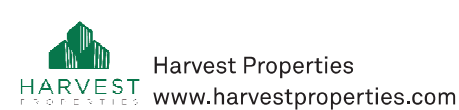








Owner:



Designer:



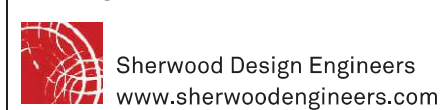
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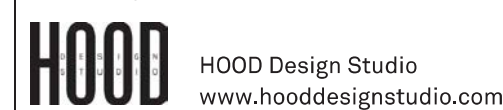
Architect 1103 Weeks:



Civil Engineer:



Landscape Architect:



Structural Engineer:



Mechanical Engineer:



Parking Consultant:

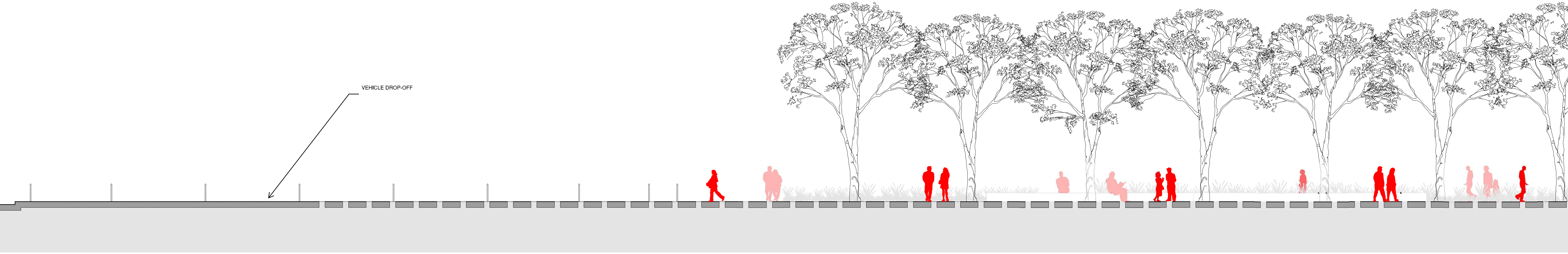


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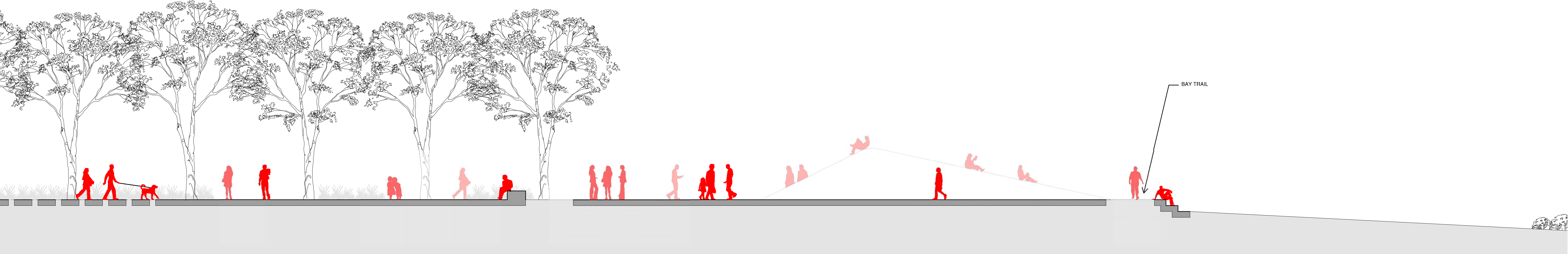
### 3D VIEW - DOG PARK ON BAY ROAD

Major Application / 24 September 2021





1 PLAZA: EAST-WEST SECTION  
SCALE: 1/8" = 1'-0"

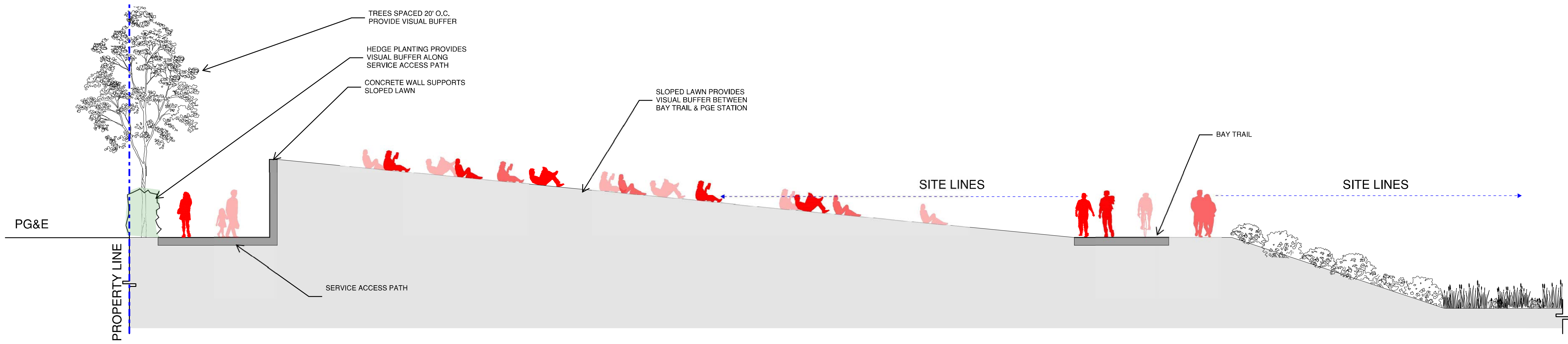


2 PLAZA: EAST-WEST SECTION CONT'D  
SCALE: 1/8" = 1'-0"

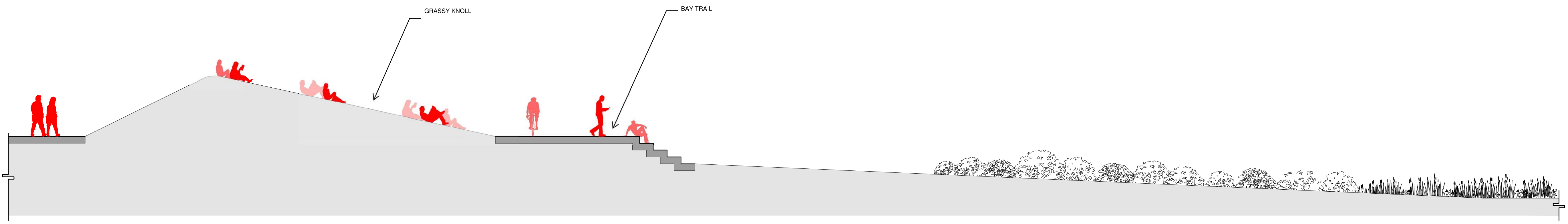


3 PLAZA: NORTH-SOUTH SECTION  
SCALE: 3/16" = 1'-0"

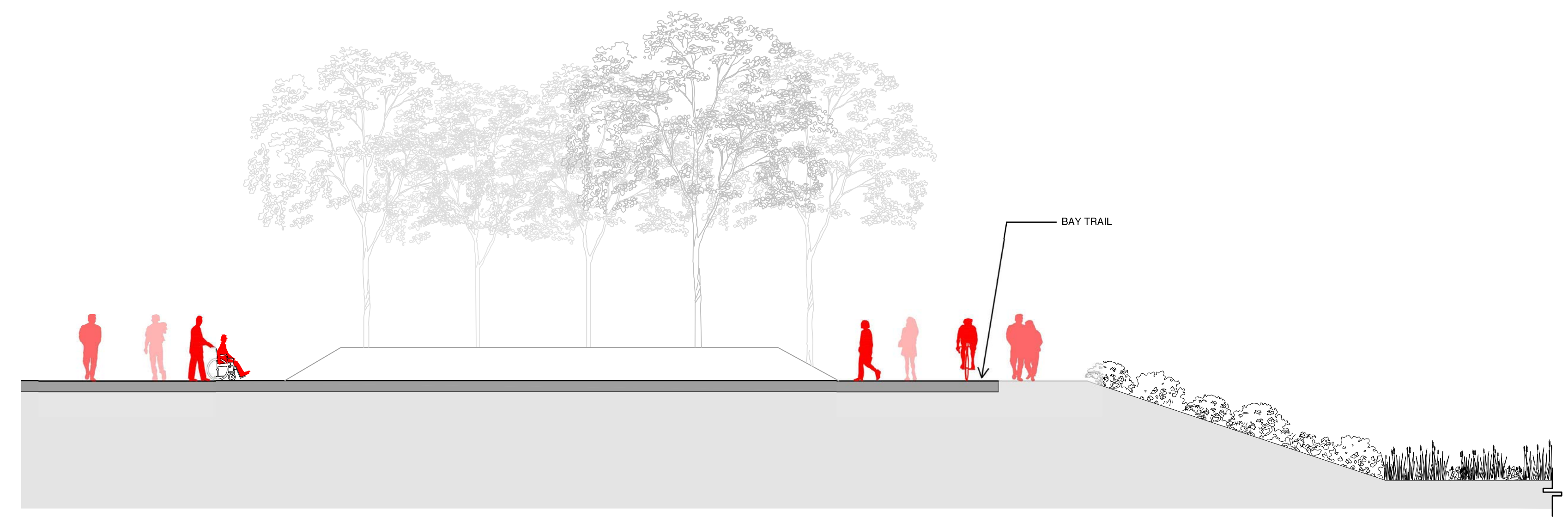




1 SLOPED LAWN  
SCALE: 1/8" = 1'-0"

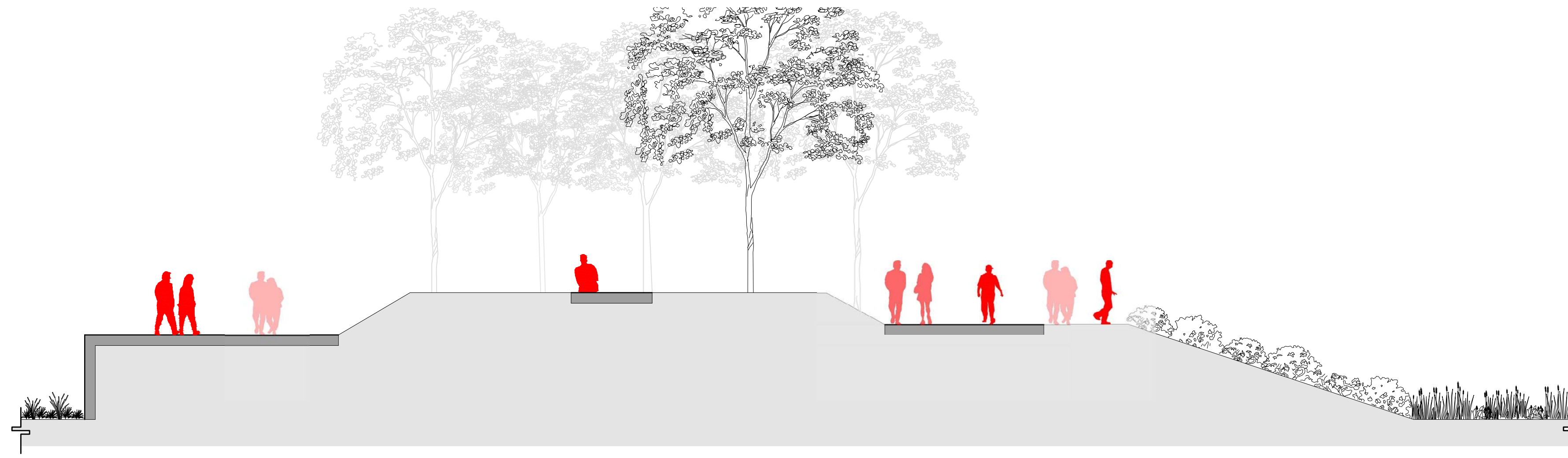


2 PLAZA KNOLL  
SCALE: 1/8" = 1'-0"

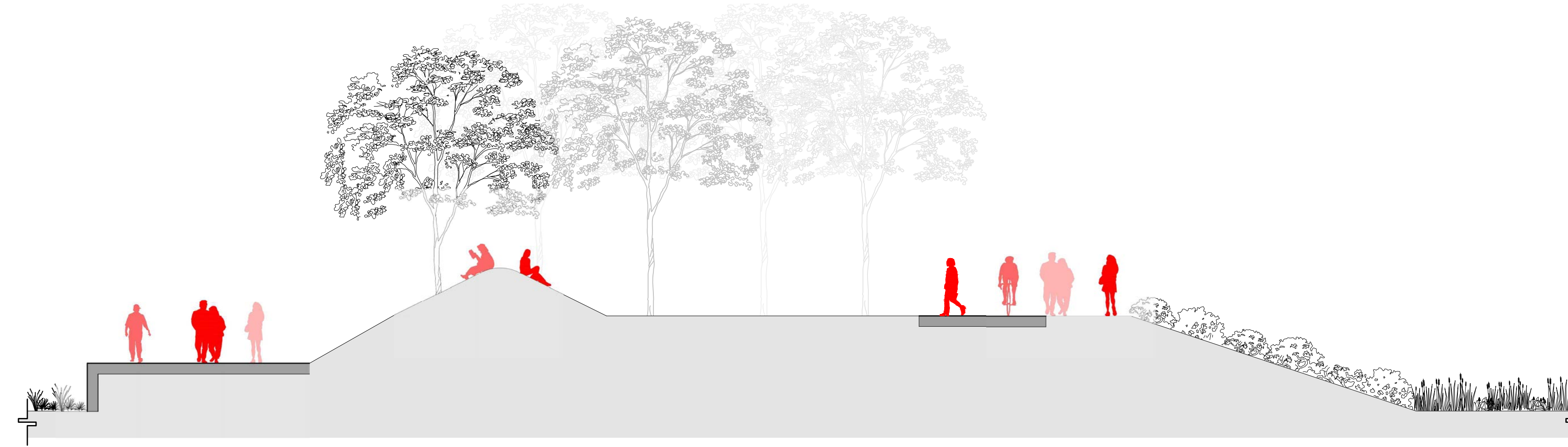


3 PLAZA  
SCALE: 1/8" = 1'-0"

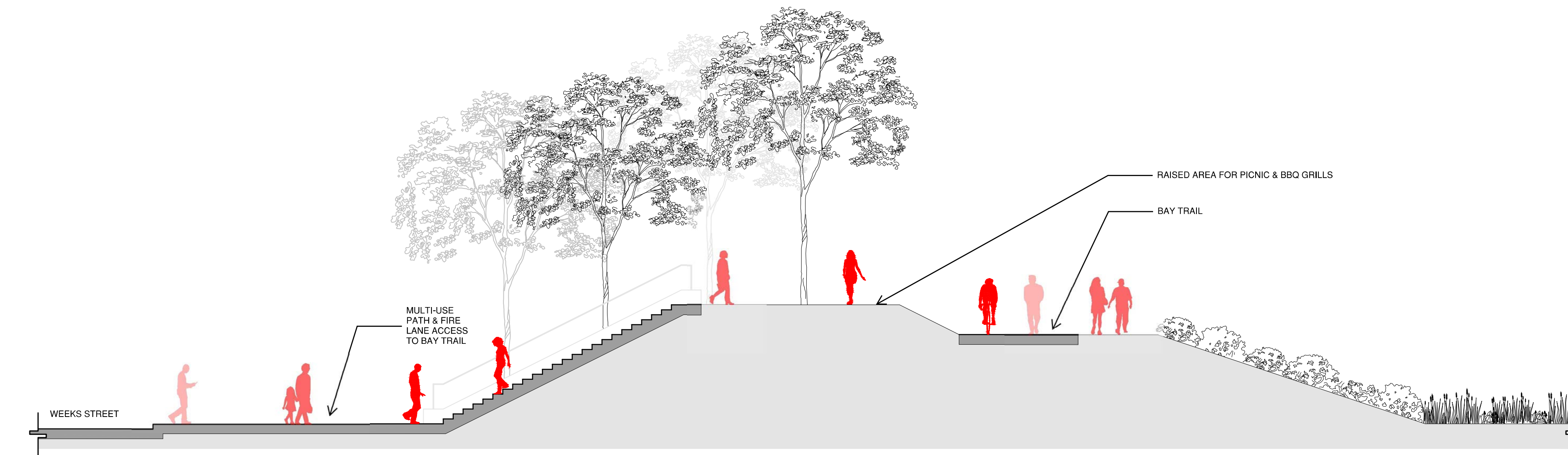




1 PROMENTORY  
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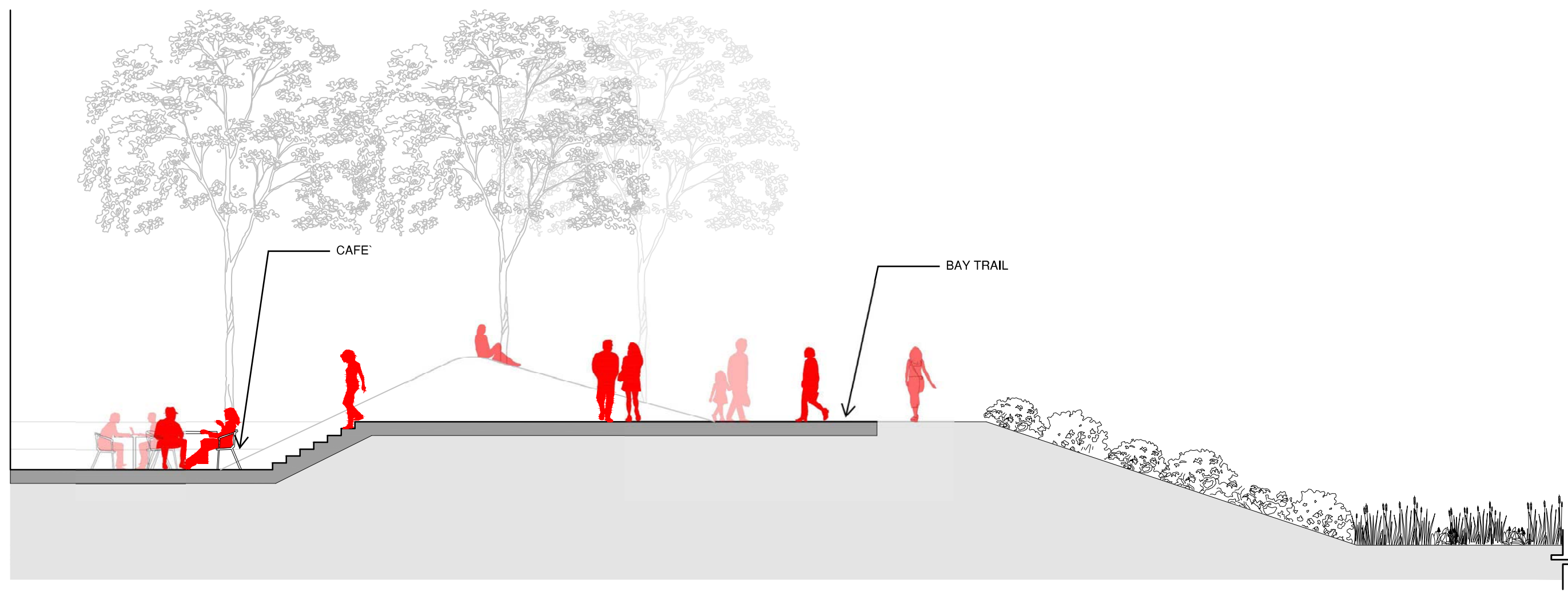


2 FITNESS MOUND  
SCALE: 1/8" = 1'-0"

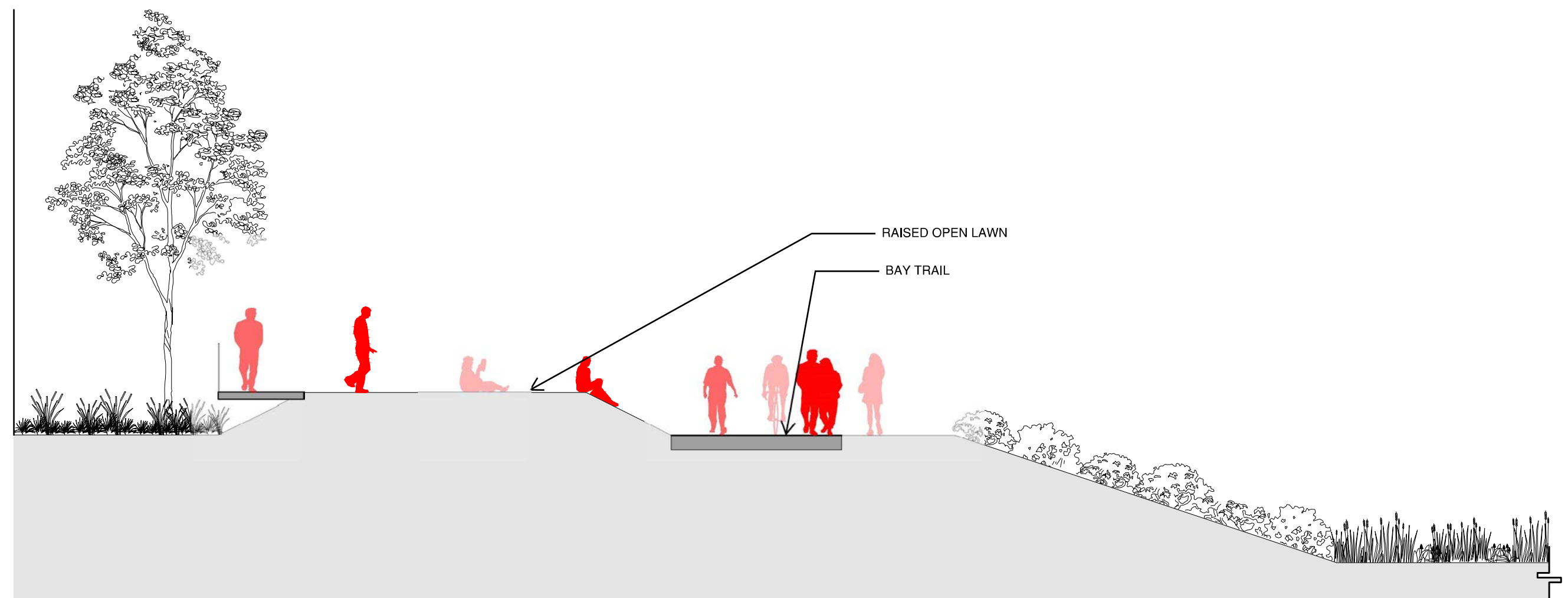


3 PICNIC & GRILLS AREA  
SCALE: 1/8" = 1'-0"

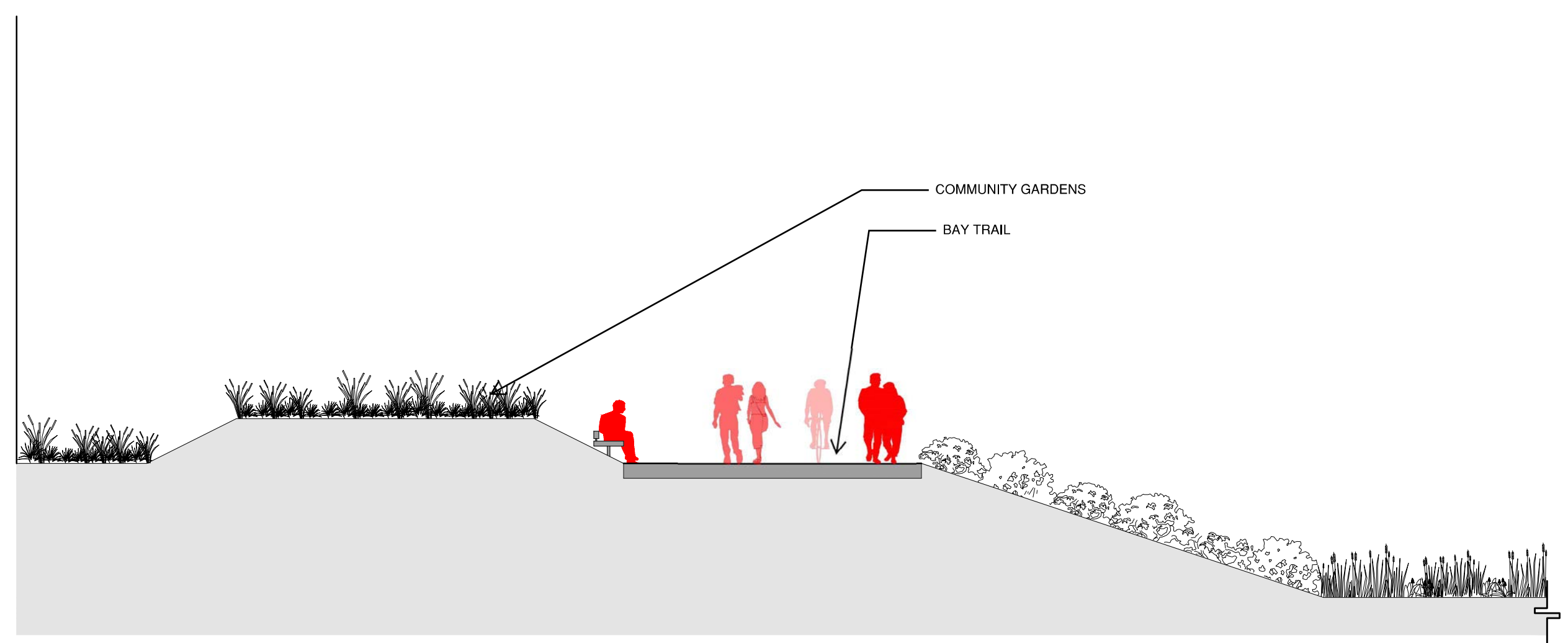




1 MARKET CAFE TERRACE  
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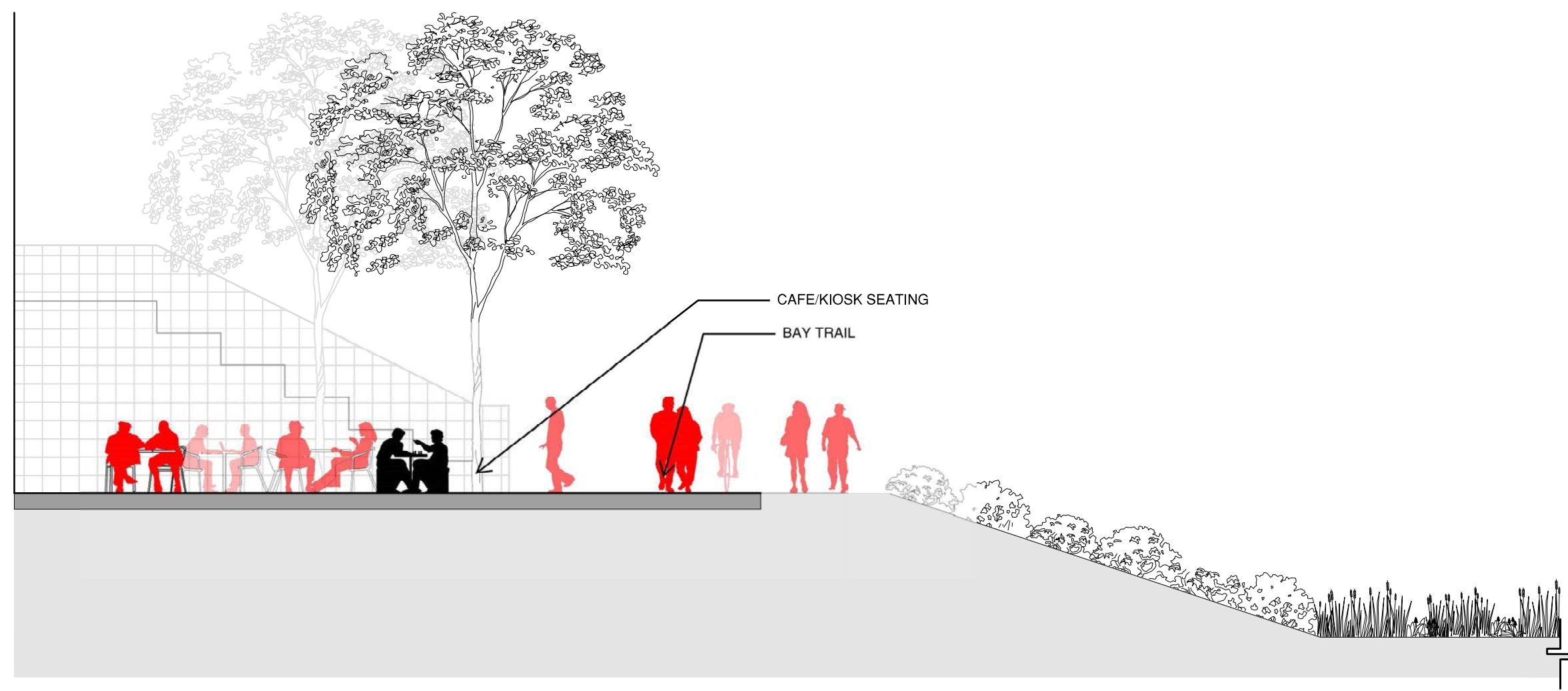


2 OPEN LAWN  
SCALE: 1/8" = 1'-0"

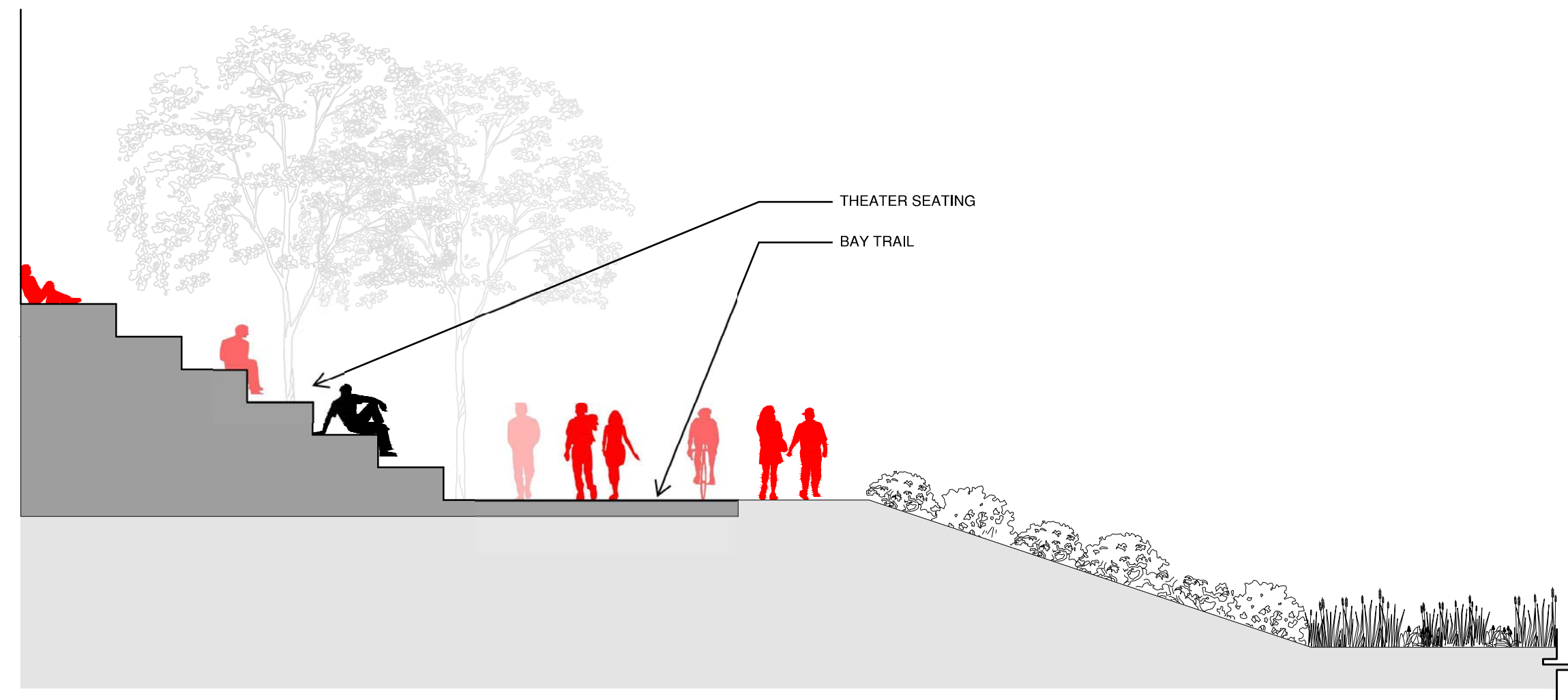


3 MEADOW  
SCALE: 1/8" = 1'-0"





1 KIOSKS  
SCALE: 1/8" = 1'-0"

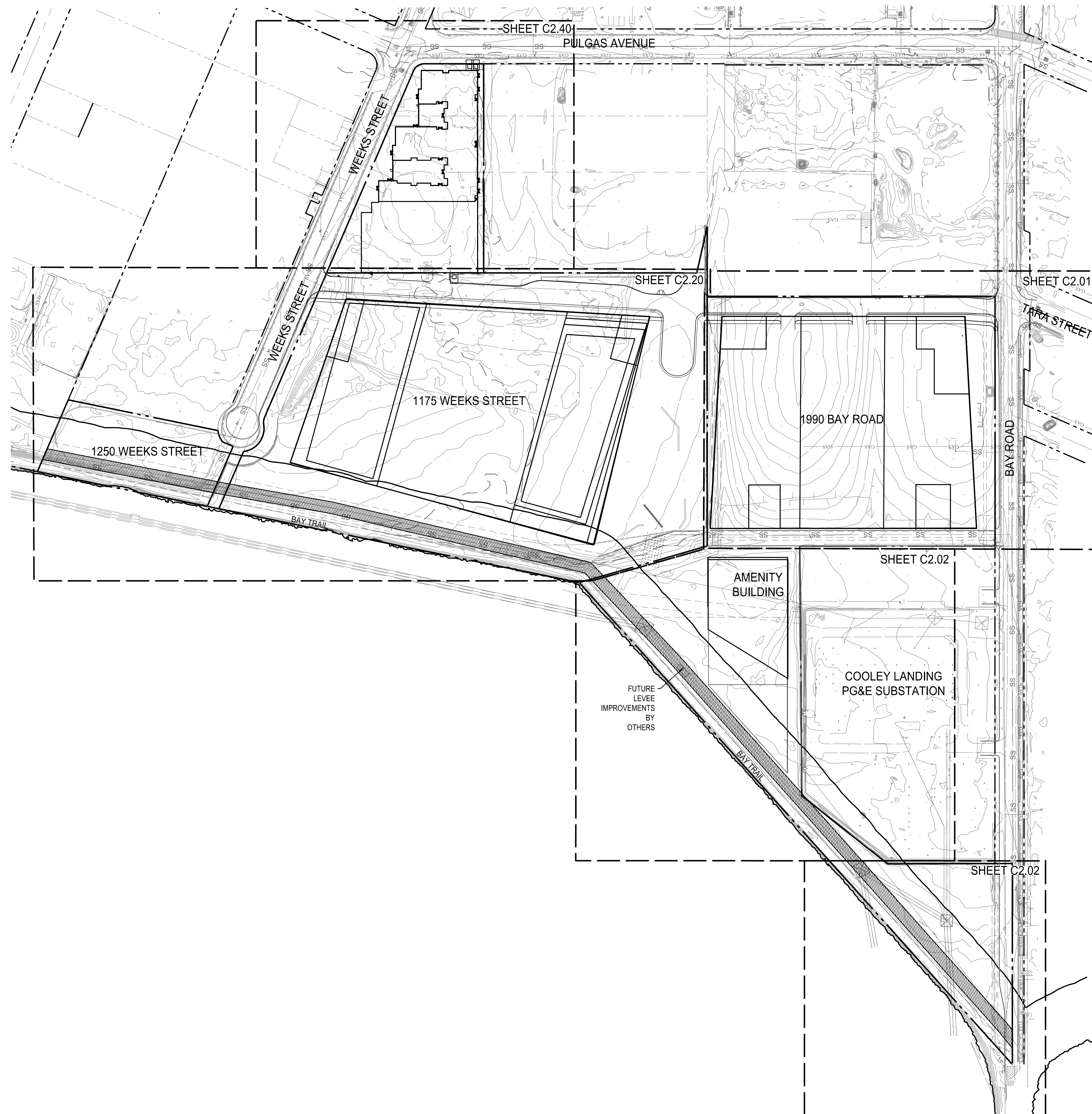


2 THEATER STEPS  
SCALE: 1/8" = 1'-0"



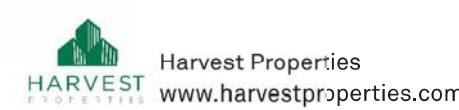
**GRADING, DRAINAGE & UTILITIES SHEET INDEX**

- C2.00 CONCEPT GRADING, DRAINAGE & UTILITIES - KEYMAP
- C2.01 CONCEPT GRADING, DRAINAGE & UTILITIES - 1990 BAY ROAD
- C2.02 CONCEPT GRADING, DRAINAGE & UTILITIES - AMENITY
- C2.20 CONCEPT GRADING, DRAINAGE & UTILITIES - 1175 WEEKS STREET
- C2.40 CONCEPT GRADING, DRAINAGE & UTILITIES - 1103 WEEKS STREET



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Owner:



Designer:



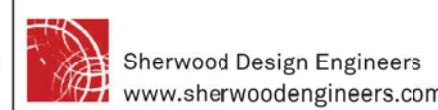
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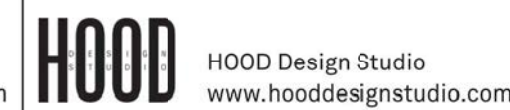
Architect 1103 Weeks:



Civil Engineer:



Landscape Architect:



Structural Engineer:



Mechanical Engineer:

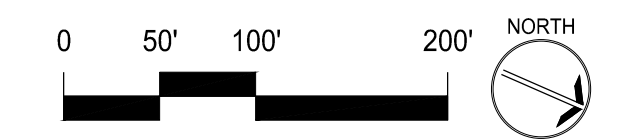


Parking Consultant:



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East Palo Alto, CA

**CONCEPT GRADING, DRAINAGE & UTILITIES - KEYMAP**  
Major Application / 24 September 2021





UTILITY - KEYNOTES

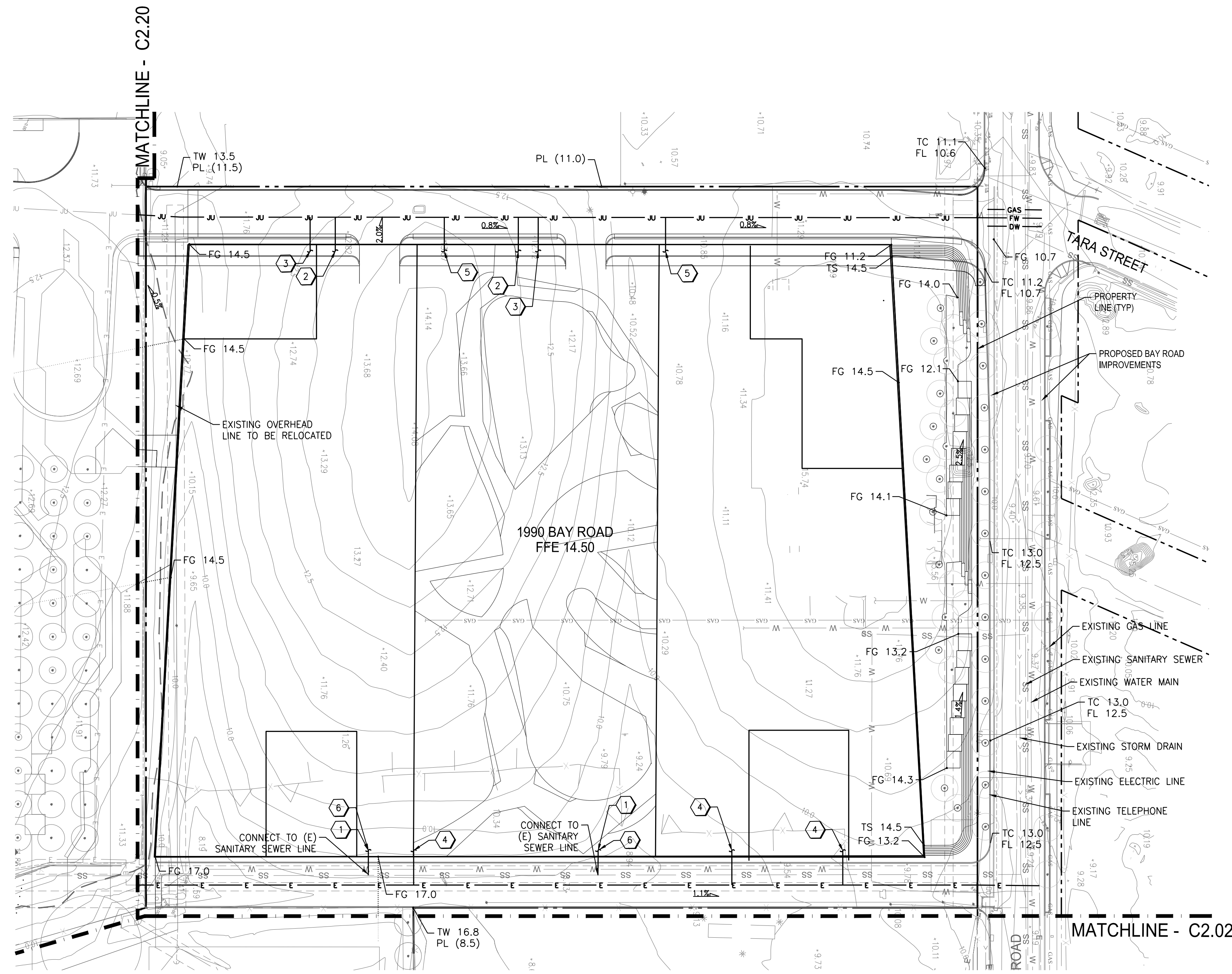
- 1 SANITARY SEWER CONNECTION
- 2 DOMESTIC WATER CONNECTION
- 3 FIRE SERVICE CONNECTION
- 4 ELECTRIC/TELECOMMUNICATION CONNECTION
- 5 GAS CONNECTION
- 6 STORM DRAIN CONNECTION

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
GRADE BREAK	-----	-----
MINOR CONTOUR	-----	-----
MAJOR CONTOUR	-----	-----
SWALE	-----	-----
SLOPE		1.8%
EXISTING FLOW LINE	FL (12.0)	
EXISTING PROPERTY LINE	PL (11.0)	
EXISTING TOP OF CURB	TC (11.0)	
PROPOSED PROPERTY LINE		PL 12.1
STORM DRAIN LINE	SD SD	SD SD
SANITARY SEWER LINE	SS SS	SS SS
SANITARY SEWER LATERAL	---	---
FIRE WATER LINE	FW FW	FW FW
DOMESTIC WATER LINE	DW DW	DW DW
JOINT UTILITY TRENCH	JU JU	JU JU
ELECTRICAL/TELECOMMUNICATION	E E E	E E E
GAS LINE		GAS GAS
LANDSCAPING, SLP		
PERMEABLE PAVEMENT, SLP		
FUTURE LEVEE CREST		

NOTES

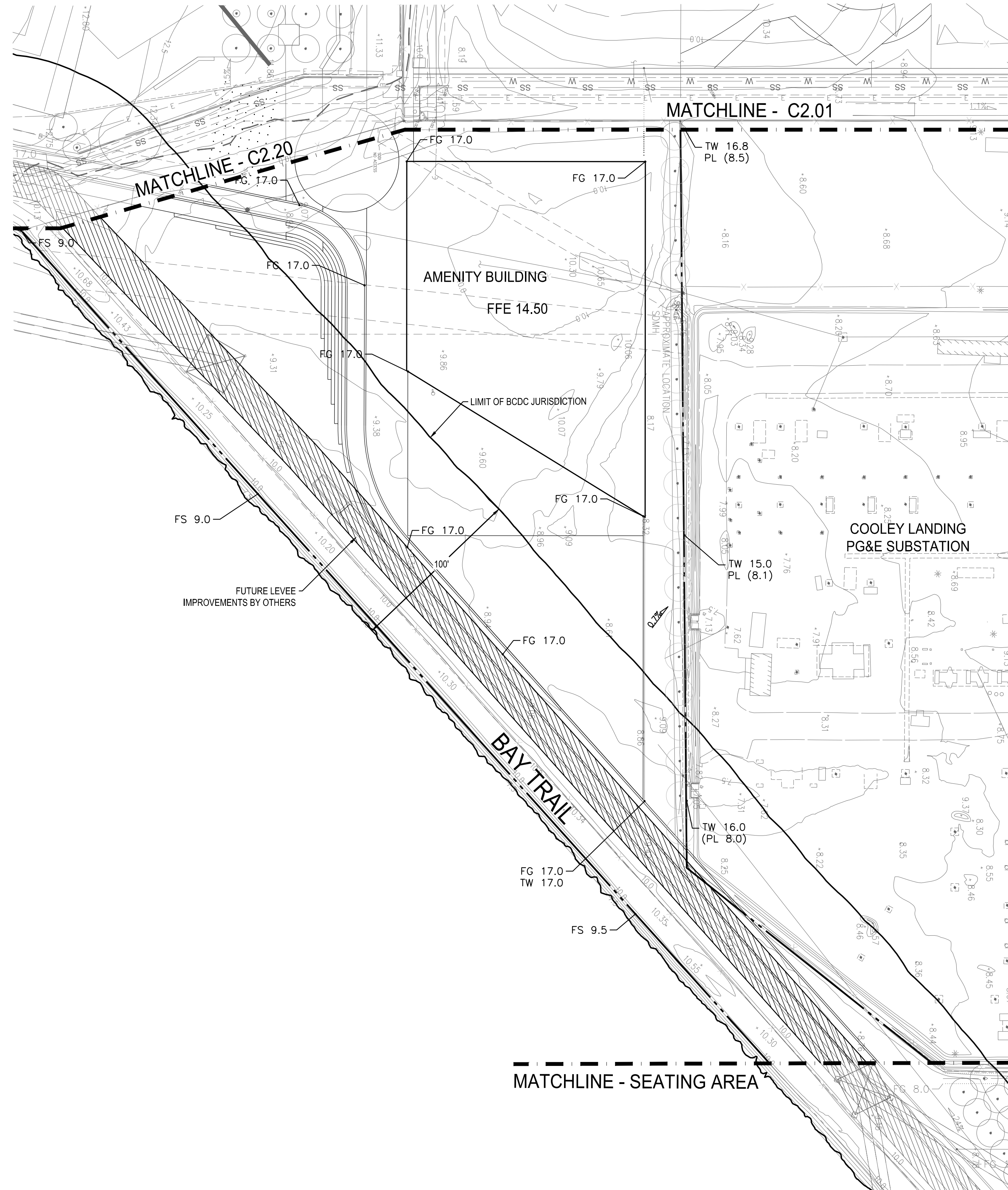
- PROPOSED GRADES AND UTILITIES SHOWN ARE CONCEPTUAL. FINAL GRADES TO BE DEVELOPED DURING THE DESIGN PHASE.
- FUTURE GRADING WILL CONFORM TO EXISTING CONDITIONS AT THE PROJECT PERIMETER.
- ALL GRADING SHALL COMPLY WITH APPLICABLE PERMITS, LOCAL ORDINANCES AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- PROJECT TO CONFORM WITH FUTURE BAY ROAD IMPROVEMENT PROJECT BY OTHERS.
- PROPOSED EXTENTS OF LEVEE IMPROVEMENTS ARE SHOWN FOR REFERENCE ONLY. FINAL LEVEE DESIGN BY OTHERS.



1 1990 BAY ROAD

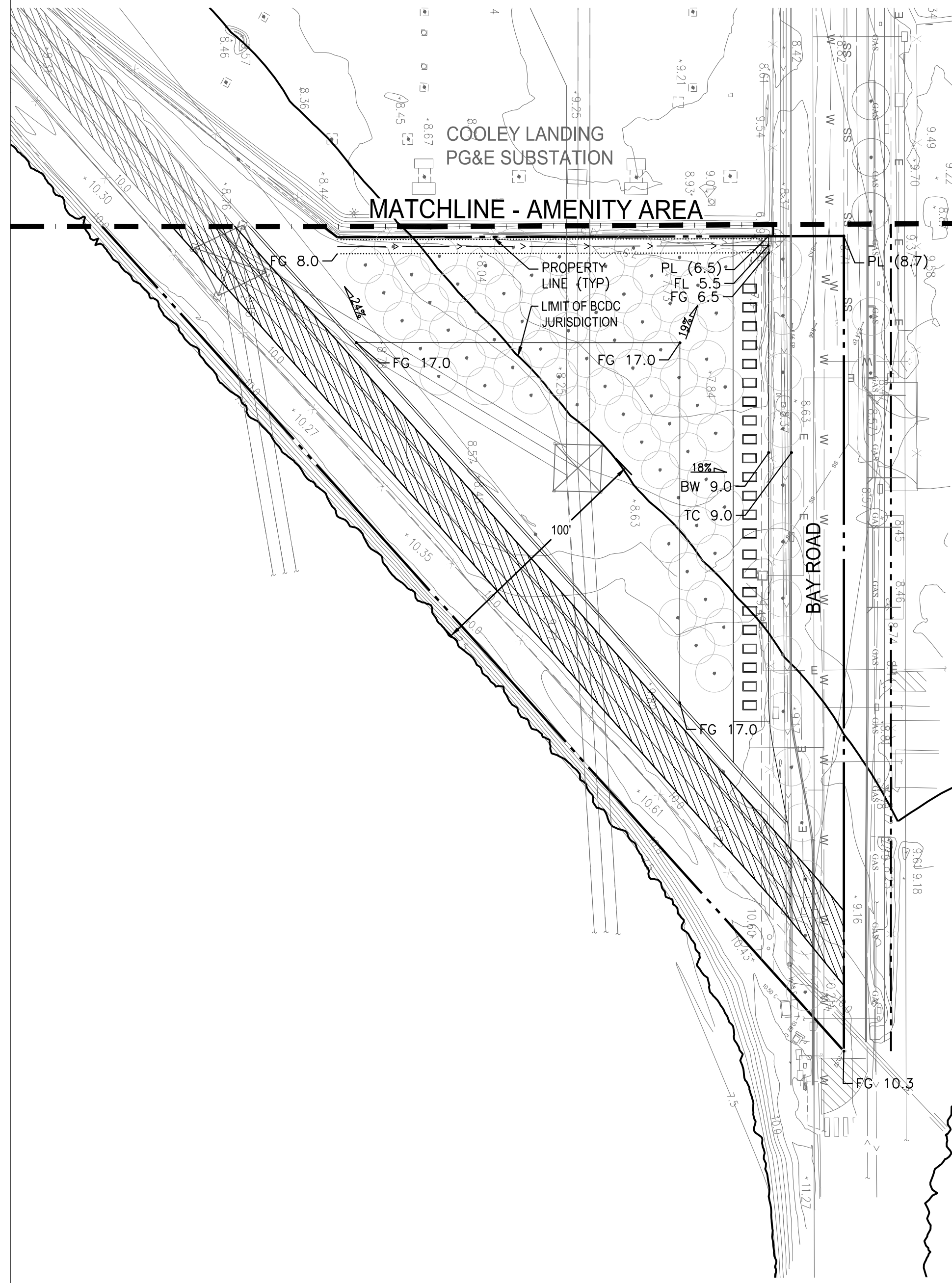
SCALE: 1" = 40'





2 AMENITY AREA

SCALE: 1" = 40'



3 SEATING AREA

SCALE: 1" = 40'

UTILITY - KEYNOTES

- 1 SANITARY SEWER CONNECTION
- 2 DOMESTIC WATER CONNECTION
- 3 FIRE SERVICE CONNECTION
- 4 ELECTRIC/TELECOMMUNICATION CONNECTION
- 5 GAS CONNECTION
- 6 STORM DRAIN CONNECTION

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
GRADE BREAK	---	---
MINOR CONTOUR	---	---
MAJOR CONTOUR	---	---
SWALE	---	---
SLOPE		1.8%
EXISTING FLOW LINE	FL (12.0)	
EXISTING PROPERTY LINE	PL (11.0)	
EXISTING TOP OF CURB	TC (11.0)	
PROPOSED PROPERTY LINE		PL 12.1
STORM DRAIN LINE	SD	SD
SANITARY SEWER LINE	SS	SS
SANITARY SEWER LATERAL	---	---
FIRE WATER LINE	FW	FW
DOMESTIC WATER LINE	DW	DW
JOINT UTILITY TRENCH	JU	JU
ELECTRICAL/TELECOMMUNICATION	E	E
GAS LINE	GAS	GAS
LANDSCAPING, SLP		
PERMEABLE PAVEMENT, SLP		
FUTURE LEVEE CREST		

NOTES

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**NOTES**

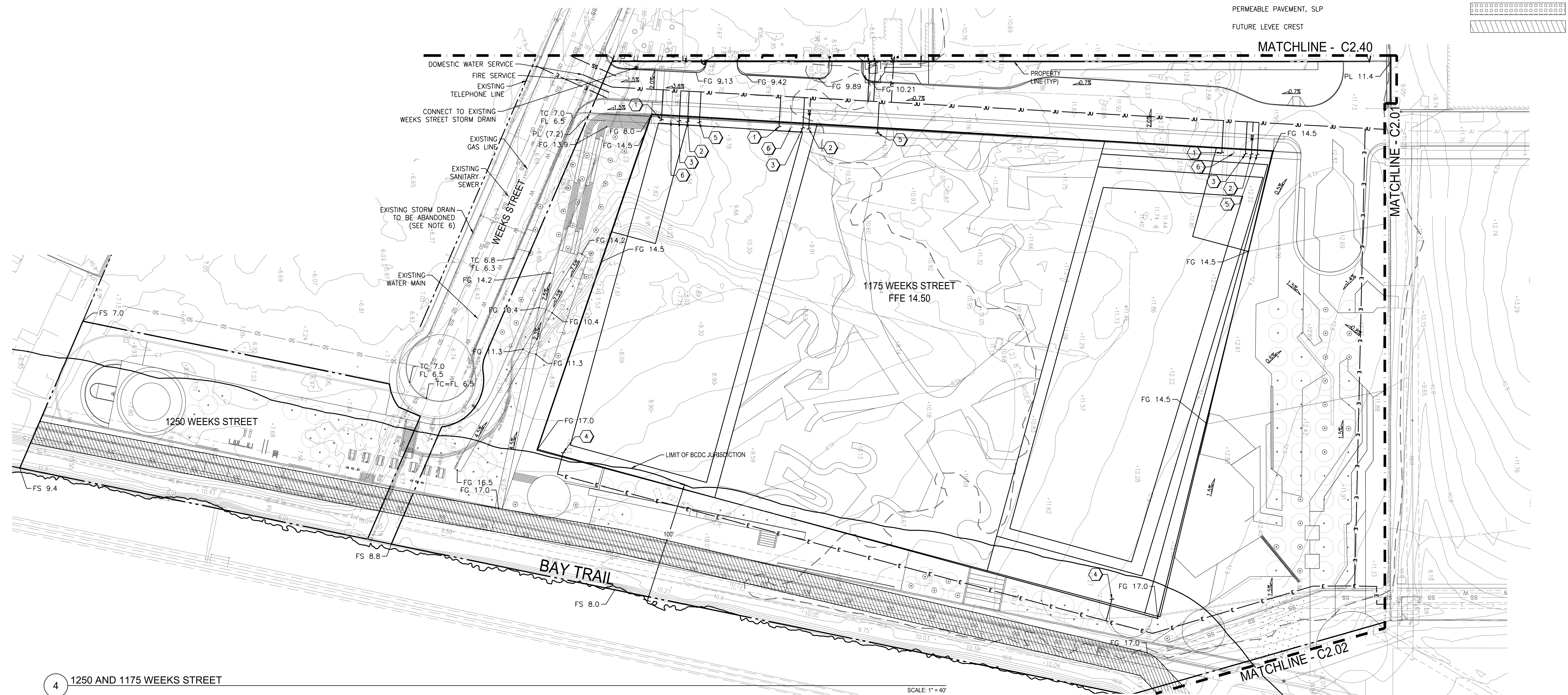
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6. PROPOSED WORK AS SHOWN ON PRIMARY SCHOOL PACKAGE DESIGNED BY BKF.

**UTILITY - KEYNOTES**

- 1 SANITARY SEWER CONNECTION
- 2 DOMESTIC WATER CONNECTION
- 3 FIRE SERVICE CONNECTION
- 4 ELECTRIC/TELECOMMUNICATION CONNECTION
- 5 GAS CONNECTION
- 6 STORM DRAIN CONNECTION

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
GRADE BREAK	-----	-----
MINOR CONTOUR	-----	-----
MAJOR CONTOUR	-----	-----
SWALE	-----	-----
SLOPE		1.8%
EXISTING FLOW LINE	FL (12.0)	
EXISTING PROPERTY LINE	PL (11.0)	
EXISTING TOP OF CURB	TC (11.0)	
PROPOSED PROPERTY LINE		PL 12.1
STORM DRAIN LINE	SD SD	SD SD
SANITARY SEWER LINE	SS SS	SS SS
SANITARY SEWER LATERAL	---	---
FIRE WATER LINE	FW FW	FW FW
DOMESTIC WATER LINE	DW DW	DW DW
JOINT UTILITY TRENCH	JU JU	JU JU
ELECTRICAL/TELECOMMUNICATION	E E E	E E E
LANDSCAPING, SLP		[Pattern]
PERMEABLE PAVEMENT, SLP		[Pattern]
FUTURE LEVEE CREST		[Pattern]



4 1250 AND 1175 WEEKS STREET

SCALE: 1" = 40'



**NOTES**

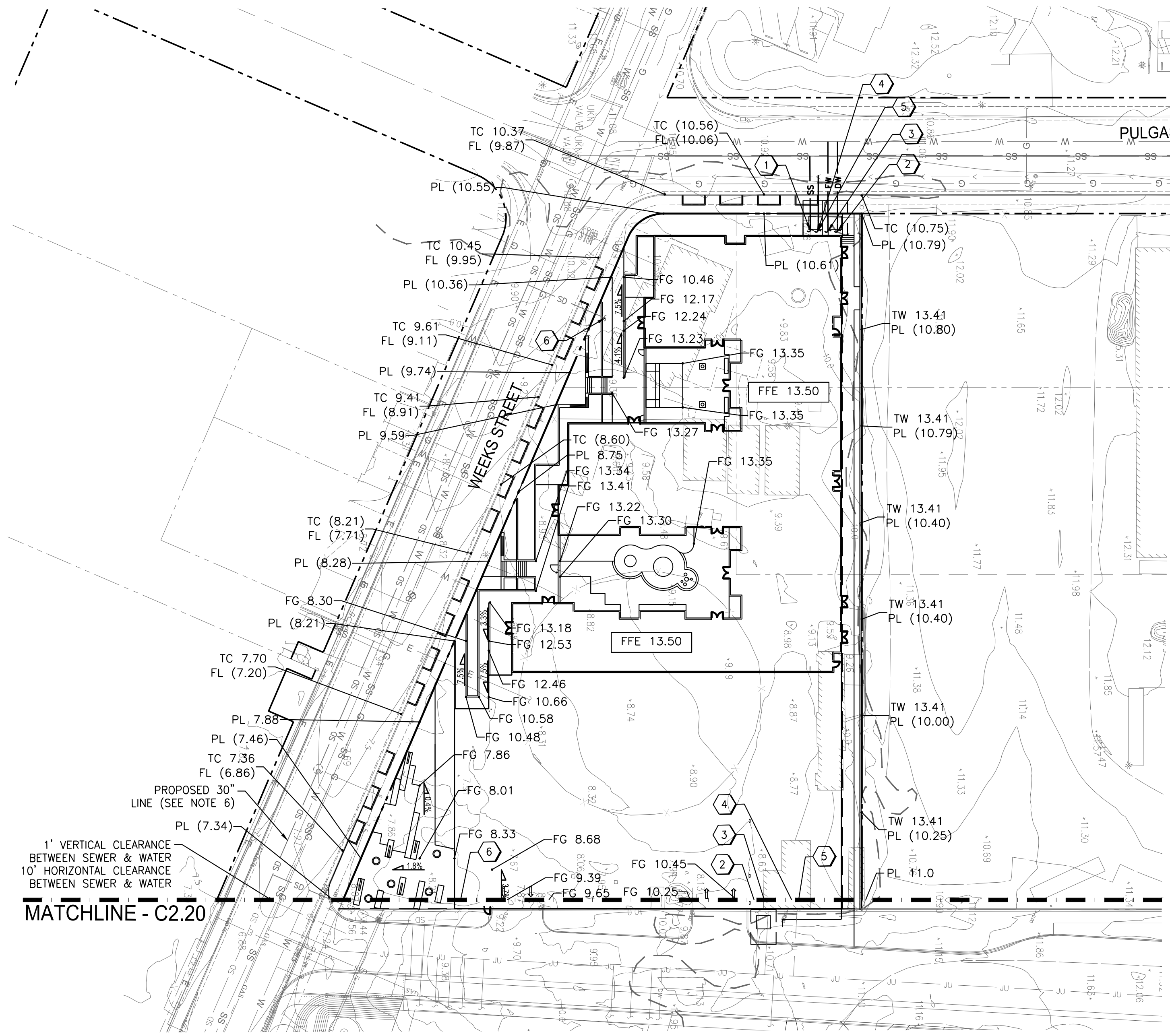
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**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
GRADE BREAK	---	---
MINOR CONTOUR	---	---
MAJOR CONTOUR	---	---
SWALE	---	---
SLOPE		1.8%
EXISTING FLOW LINE	FL (12.0)	
EXISTING PROPERTY LINE	PL (11.0)	
EXISTING TOP OF CURB	TC (11.0)	
PROPOSED PROPERTY LINE		PL 12.1
PROPOSED FINISHED GRADE		FG 12.0
PROPOSED TOP OF CURB		TC 12.0
PROPOSED TOP OF WALL		TW 12.0
STORM DRAIN LINE	SD	SD
SANITARY SEWER LINE	SS	SS
SANITARY SEWER LATERAL	---	---
FIRE WATER LINE	FW	FW
DOMESTIC WATER LINE	DW	DW
JOINT UTILITY TRENCH	JU	JU
ELECTRICAL/TELECOMMUNICATION	E	E



1' VERTICAL CLEARANCE BETWEEN SEWER & WATER  
10' HORIZONTAL CLEARANCE BETWEEN SEWER & WATER

MATCHLINE - C2.20

5 1103 WEEKS STREET

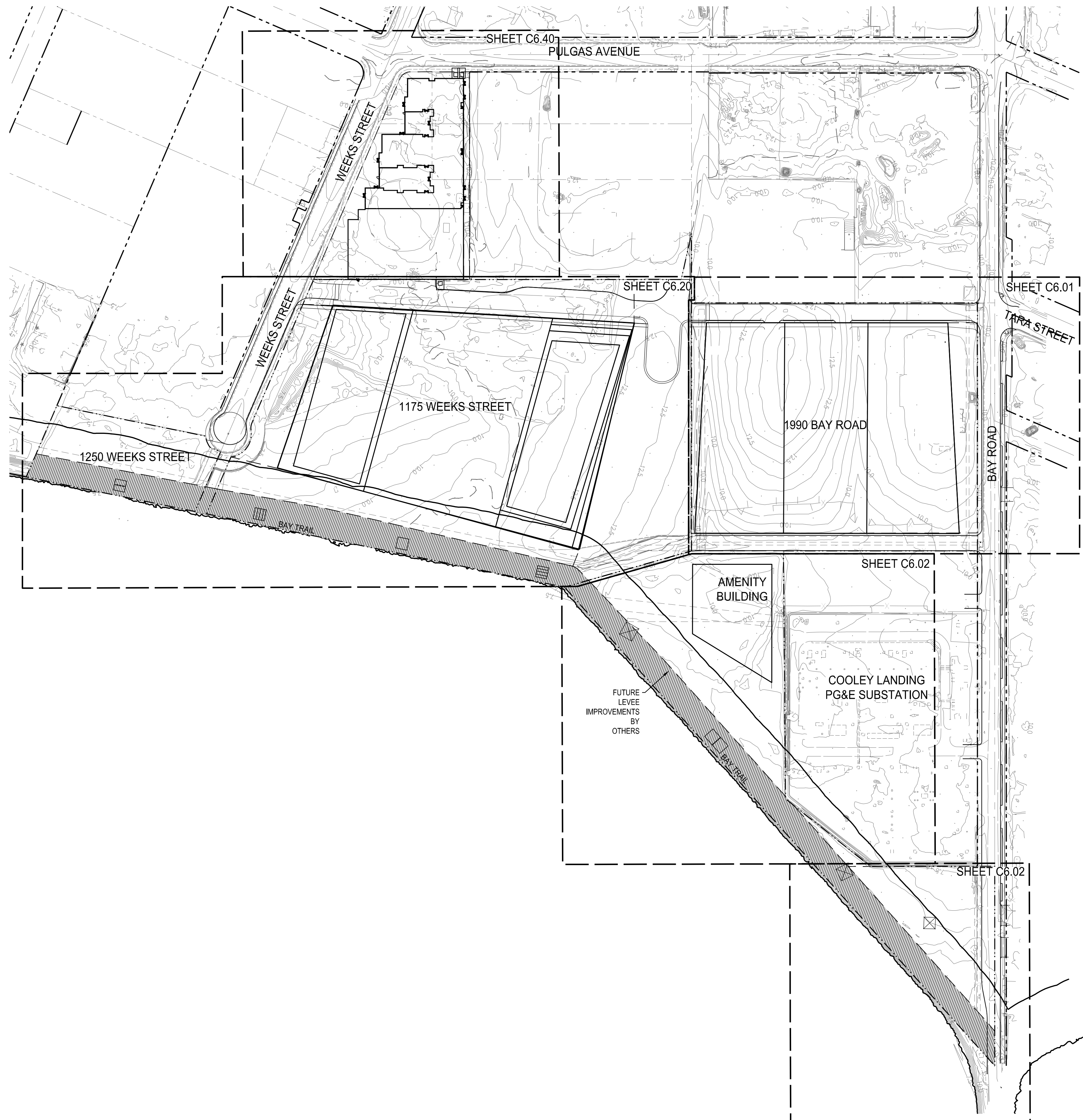
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STORMWATER MANAGEMENT PLAN SHEET INDEX

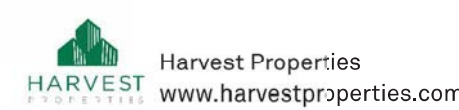
C6.00	CONCEPT STORMWATER MANAGEMENT PLAN - KEYMAP
C6.01	CONCEPT STORMWATER MANAGEMENT PLAN - 1990 BAY ROAD
C6.02	CONCEPT STORMWATER MANAGEMENT PLAN - AMENITY
C6.20	CONCEPT STORMWATER MANAGEMENT PLAN - 1175 WEEKS STREET
C6.40	CONCEPT STORMWATER MANAGEMENT PLAN - 1103 WEEKS STREET



FUTURE  
LEVEE  
IMPROVEMENTS  
BY  
OTHERS

P:\2019\19-153\_EPA\_Harvest\03\_Design\03\_CAD\C6.00\SWMP.dwg C:\Users\jharvest\OneDrive\Documents\19-153\_EPA\_Harvest\03\_Design\03\_CAD\C6.00\SWMP.dwg (22.00 x 34.00 inches),1:1

Owner:



Designer:



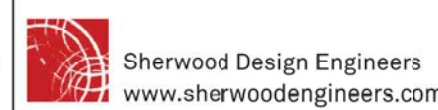
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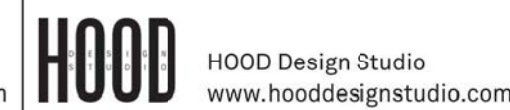
Architect 1103 Weeks:



Civil Engineer:



Landscape Architect:



Structural Engineer:



Mechanical Engineer:

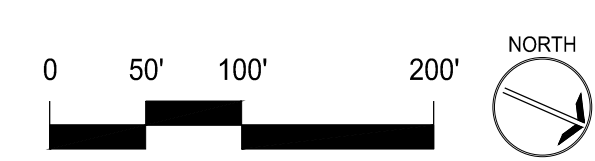


Parking Consultant:

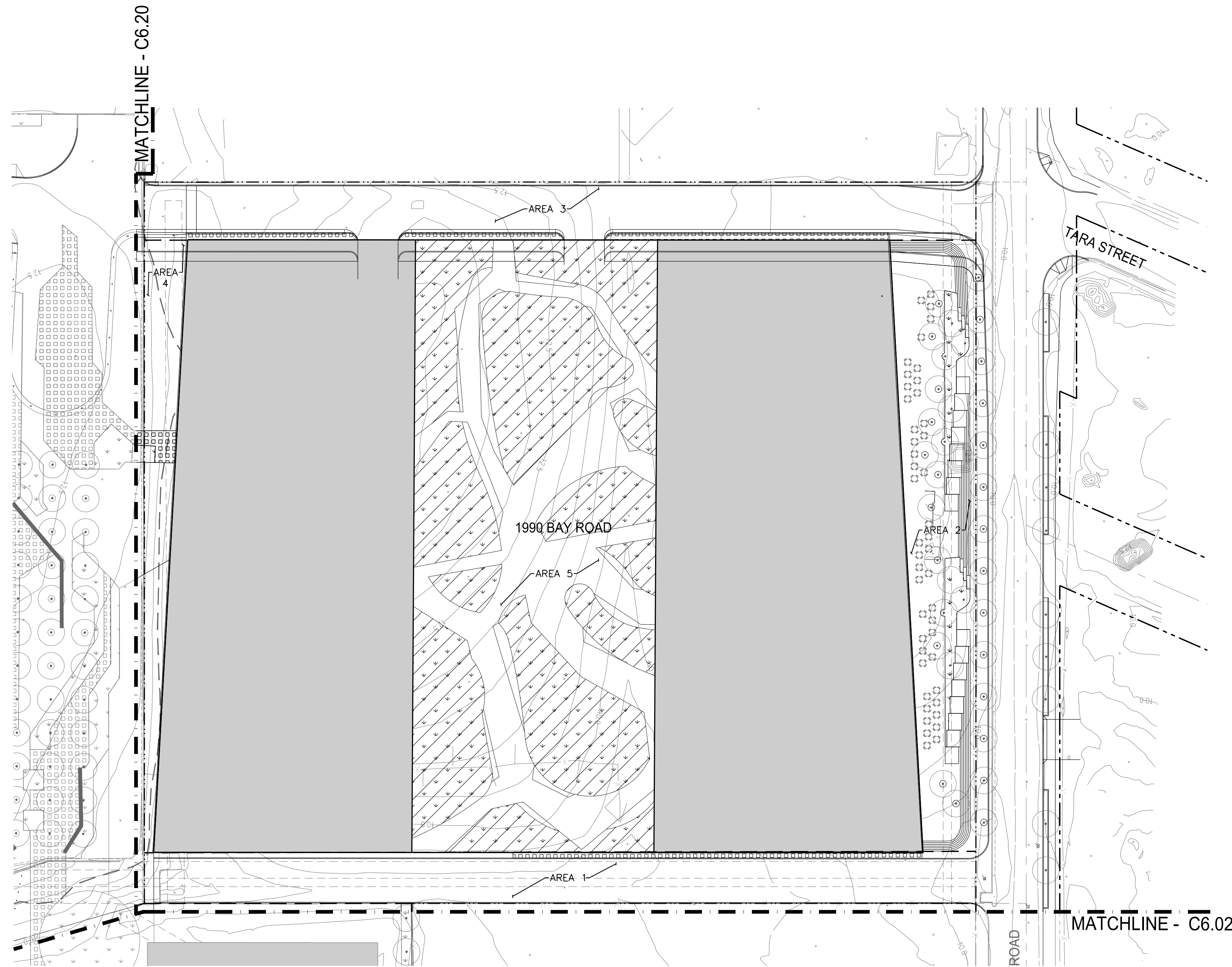


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East Palo Alto, CA

**CONCEPT STORMWATER MANAGEMENT PLAN - KEYMAP**  
Major Application / 24 September 2021







**LEGEND**

LANDSCAPE	
LANDSCAPE ON STRUCTURE	
PERMEABLE PAVEMENT	
ROOF	
HARDSCAPE	
FUTURE LEVEE, NOT PART OF THIS PLAN SET	
PROPERTY LINE	
DRAINAGE AREA BOUNDARY	

**C.3 STORMWATER TREATMENT MEASURES**

EXISTING CONDITIONS		
PERMEABLE AREA (SF)	IMPERMEABLE AREA (SF)	TOTAL AREA (SF)
--	213,293	213,293

BAY ROAD LOT							
AREA	ROOF	HARDSCAPE	LANDSCAPE	PERMEABLE PAVERS	TOTAL AREA (SF)	BIO-RETENTION TREATMENT AREA REQUIRED (SF) 4% OF IMPERVIOUS	TREATMENT AREA PROVIDED (SF)
1	--	15,144	--	903	16,047	606	903
2	--	14,619	1,531	--	16,150	585	1,531
3	--	16,466	--	1,654	18,120	659	1,654
4	--	2,368	62	297	2,727	95	359
5	126,776	--	33,473	--	160,249	5,071	33,473
TOTAL	126,776	48,597	35,066	2,854	213,293	7,015	37,920

**NOTES**

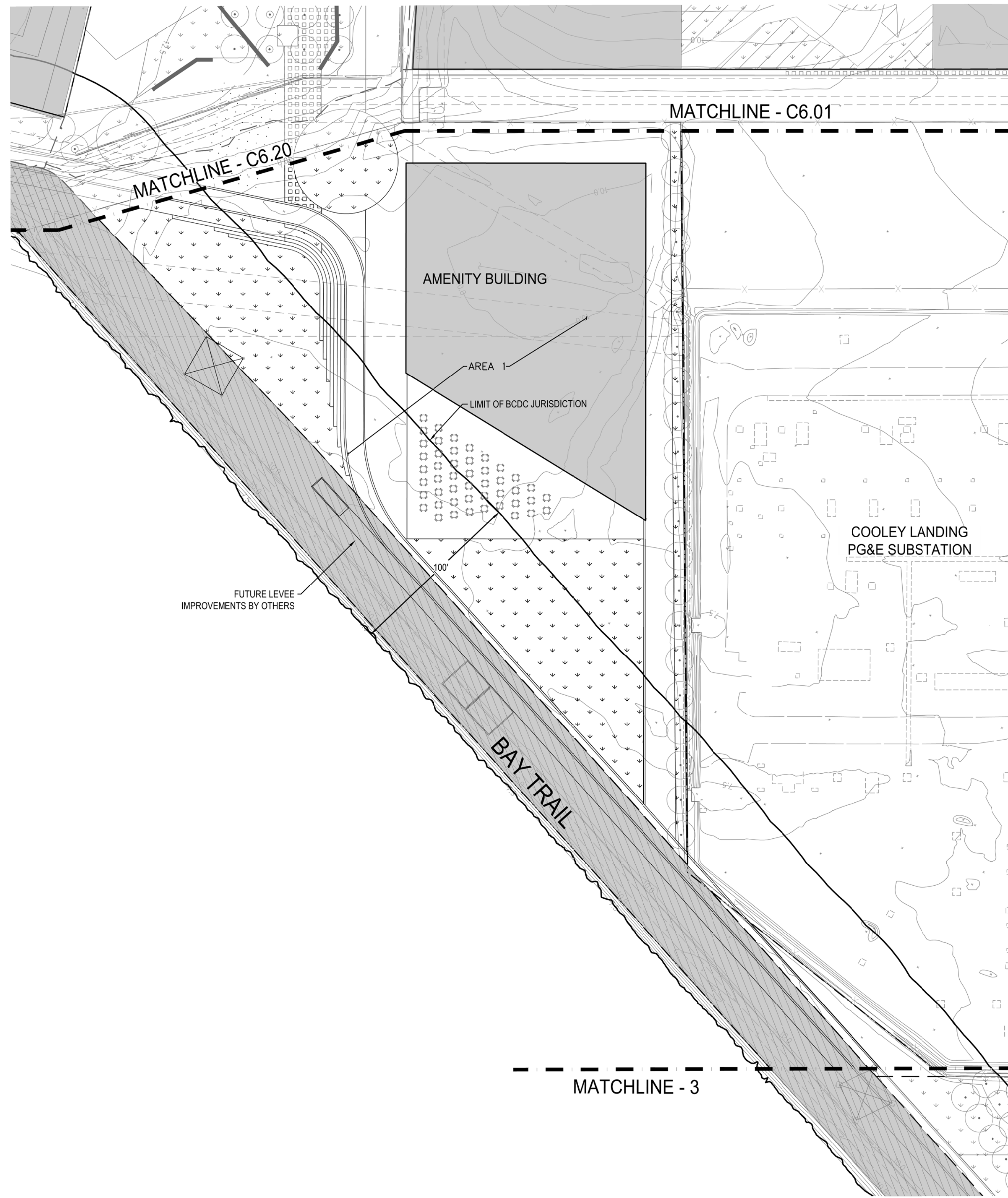
1. THIS PLAN REPRESENTS METHODS FOR FULFILLING THE REQUIREMENTS FOR THE SAN MATEO WATER POLLUTION PREVENTION PROGRAM.
2. THE INTENT OF THE PROJECT IS TO TREAT STORMWATER RUNOFF USING LID AND BMPS. STORMWATER COMPLIANCE STRATEGY SHOWN IS CONCEPTUAL. AS THE PROJECT DESIGN IS FURTHER REFINED, THESE BMPS WILL BE REVISED ACCORDINGLY.

1 1990 BAY ROAD

SCALE: 1" = 40'

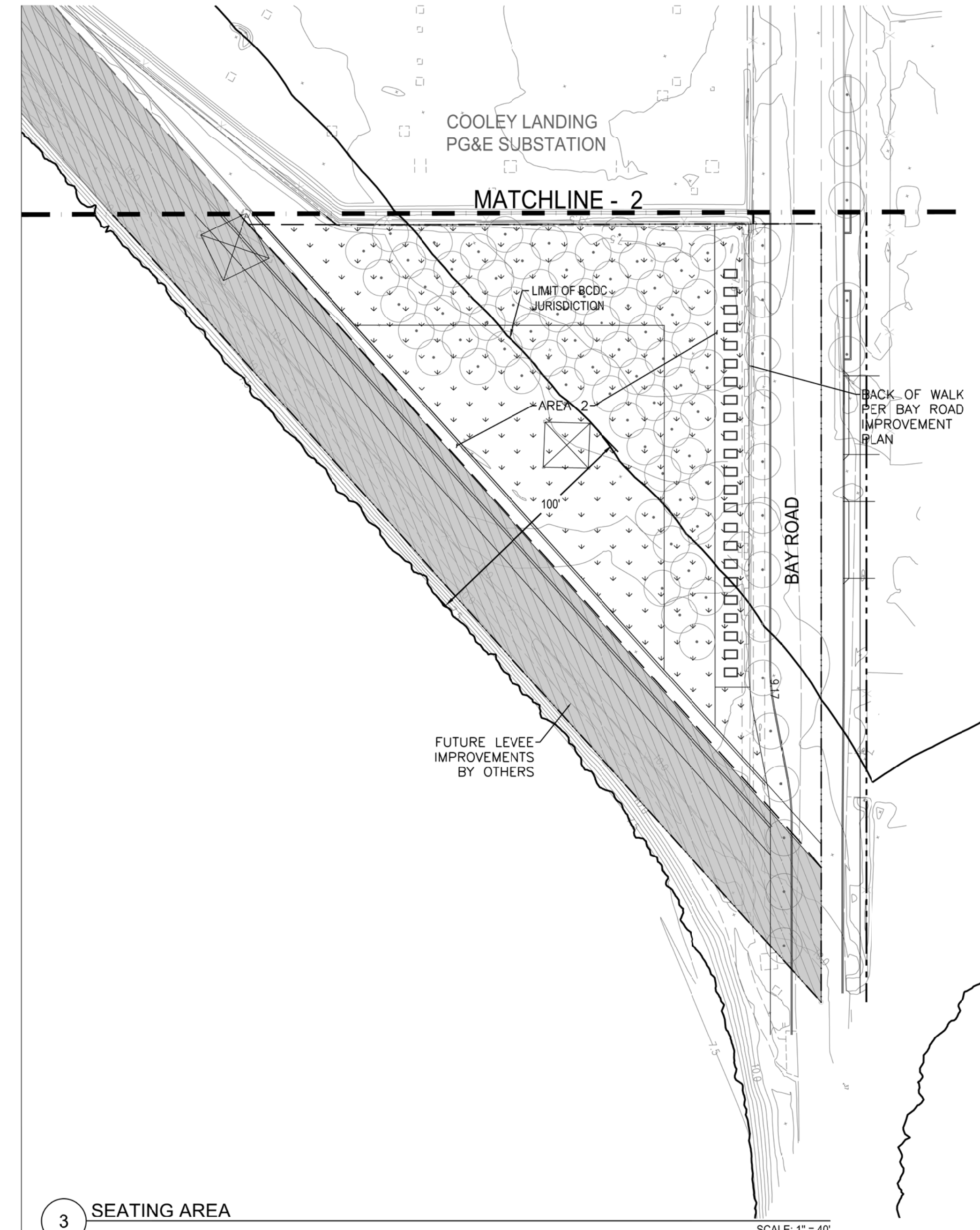






2 AMENITY AREA

SCALE: 1" = 40'



3 SEATING AREA

SCALE: 1" = 40'

LEGEND

LANDSCAPE	
LANDSCAPE ON STRUCTURE	
PERMEABLE PAVEMENT	
ROOF	
HARDSCAPE	
FUTURE LEVEE, NOT PART OF THIS PLAN SET	
PROPERTY LINE	
DRAINAGE AREA BOUNDARY	

NOTES

1. THIS PLAN REPRESENTS METHODS FOR FULFILLING THE REQUIREMENTS FOR THE SAN MATEO WATER POLLUTION PREVENTION PROGRAM.
2. THE INTENT OF THE PROJECT IS TO TREAT STORMWATER RUNOFF USING LID AND BMPS. STORMWATER COMPLIANCE STRATEGY SHOWN IS CONCEPTUAL. AS THE PROJECT DESIGN IS FURTHER REFINED, THESE BMPS WILL BE REVISED ACCORDINGLY.

C.3 STORMWATER TREATMENT MEASURES

EXISTING CONDITIONS		
PERMEABLE AREA (SF)	IMPERMEABLE AREA (SF)	TOTAL AREA (SF)
159,444	--	159,444

AMENITY LOT							
AREA	GREEN ROOF	HARDSCAPE	LANDSCAPE	PERMEABLE PAVERS	TOTAL AREA (SF)	BIO-RETENTION TREATMENT AREA REQUIRED (SF) 4% OF IMPERVIOUS	TREATMENT AREA PROVIDED (SF)
1	33,020	19,369	26,536	--	78,925	775	59,556
2	--	10,293	24,997	--	35,290	412	24,997
LEVEE	--	--	45229	--	--	--	--
TOTAL	33,020	29,662	96,762	--	159,444	1,186	84,553

Owner:

Harvest Properties  
www.harvestproperties.com

Designer:

MA Morris Adjmi Architects  
www.ma.com

Architect of Record:

DGA Architects  
www.dgaonline.com

Architect 1103 Weeks:

LPAS LPAS Architecture + Design  
www.lpas.com

Civil Engineer:

Sherwood Design Engineers  
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Landscape Architect:

HOOD HOOD Design Studio  
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Structural Engineer:

KPW KPW Structural Engineers  
www.kpw.com

Mechanical Engineer:

Integral Group  
www.integral.com

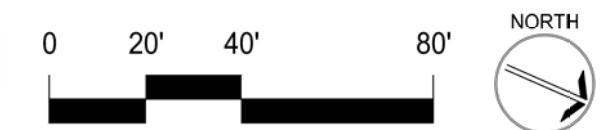
Parking Consultant:

Watry Design, Inc.  
www.watrydesign.com

1990 Bay Road,  
1175 Weeks Street,  
1250 Weeks Street  
1103 Weeks Street  
East Palo Alto, CA

CONCEPT STORMWATER MANAGEMENT PLAN - AMENITY

Major Application / 24 September 2021





**NOTES**

1. THIS PLAN REPRESENTS METHODS FOR FULFILLING THE REQUIREMENTS FOR THE SAN MATEO WATER POLLUTION PREVENTION PROGRAM.
2. THE INTENT OF THE PROJECT IS TO TREAT STORMWATER RUNOFF USING L.D AND BMPS. STORMWATER COMPLIANCE STRATEGY SHOWN IS CONCEPTUAL. AS THE PROJECT DESIGN IS FURTHER REFINED, THESE BMPS WILL BE REVISED ACCORDINGLY.
3. AREA 7 IS NOT PART OF THE SITE PARCEL BOUNDARIES BUT IT IS INCLUDED IN THE COMPUTATION AS PART OF THE FUTURE IMPROVEMENTS.

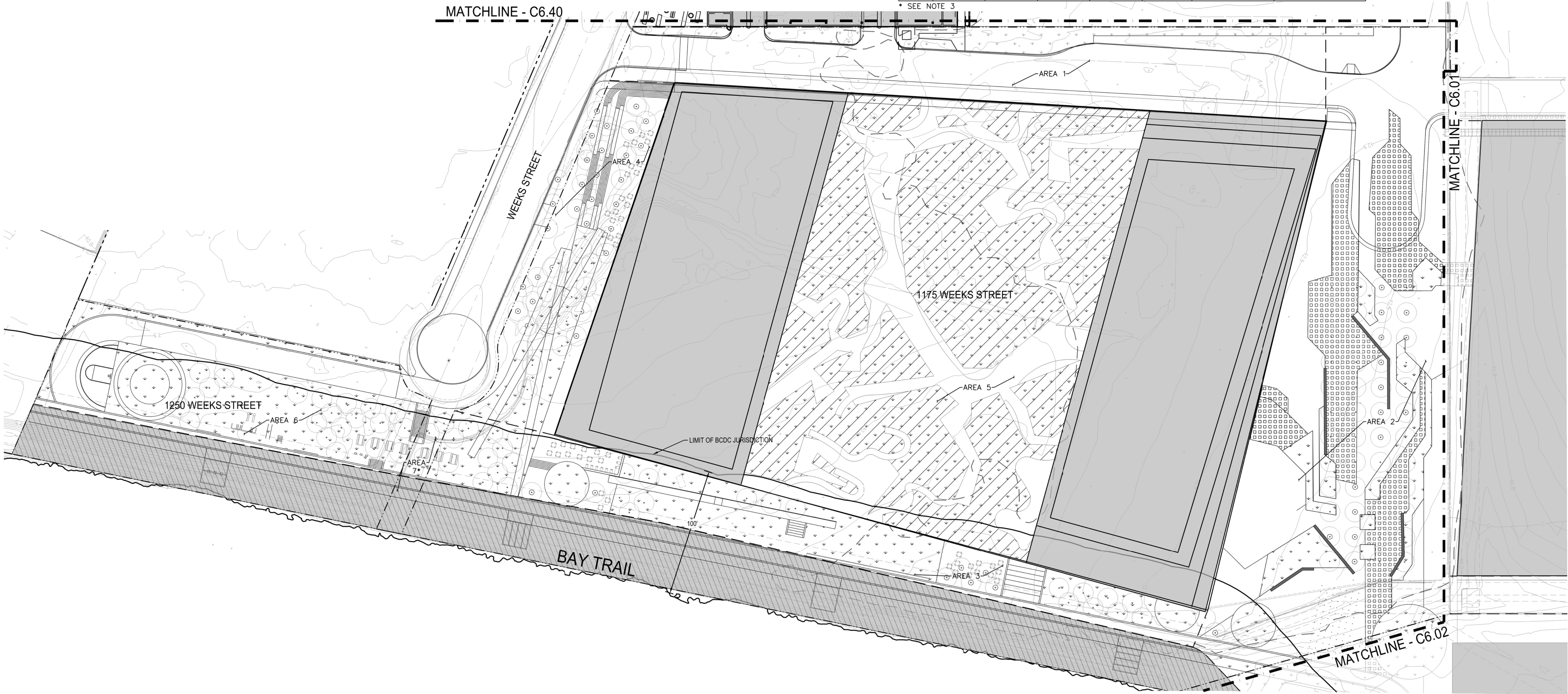
**C.3 STORMWATER TREATMENT MEASURES**

EXISTING CONDITIONS		
PERMEABLE AREA (SF)	IMPERMEABLE AREA (SF)	TOTAL AREA (SF)
111,973	292,681	404,654

WEEKS STREET LOT							
AREA	ROOF	HARDSCAPE	LANDSCAPE	PERMEABLE PAVERS	TOTAL AREA (SF)	BIO-RETENTION TREATMENT AREA REQUIRED (SF) 4% OF IMPERVIOUS	TREATMENT AREA PROVIDED (SF)
1	--	23,304	8,453	--	31,757	932	8,453
2	--	47,948	7,300	15,760	71,008	1,918	23,060
3	--	7,161	16,023	--	23,184	286	16,023
4	--	11,247	4,500	--	15,747	450	4,500
5	128,875	--	55,907	--	184,782	5155	55,907
6	--	10,694	21,812	--	32,506	428	21,812
7*	--	--	2,241	--	--	--	--
LEVEE	--	--	43,429	--	43,429	--	--
TOTAL	128,875	100,354	159,665	15,760	404,654	8,741	107,943

**LEGEND**

- LANDSCAPE
- LANDSCAPE ON STRUCTURE
- PERMEABLE PAVEMENT
- ROOF
- HARDSCAPE
- FUTURE LEVEE, NOT PART OF THIS PLAN SET
- PROPERTY LINE
- DRAINAGE AREA BOUNDARY



4 1250 AND 1175 WEEKS STREET

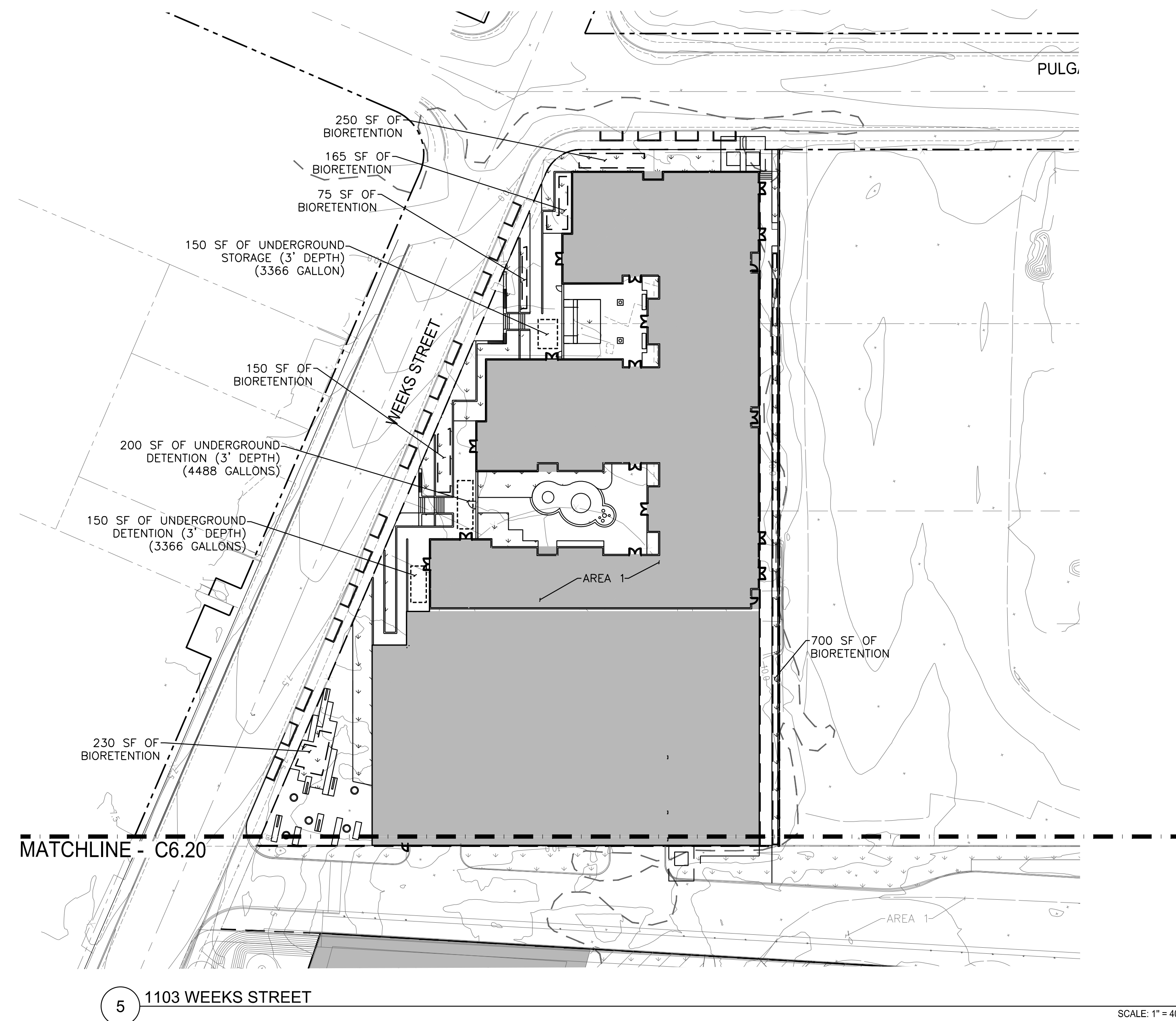
SCALE: 1" = 40'



LEGEND

LANDSCAPE	
LANDSCAPE ON STRUCTURE	
PERMEABLE PAVEMENT	
ROOF	
HARDSCAPE	

PROPERTY LINE	
DRAINAGE AREA BOUNDARY	



C.3 STORMWATER TREATMENT MEASURES

DMA	Total DMA (SF)	Impervious Area <sup>1</sup> (SF)	Pervious Area (SF)	Bioretention Treatment Area (SF)	Effective Percent Impervious	Required Capture Volume (CF)	Treatment Measure	Vol. treated by Bioretention Basin (CF)	Detention Tank Storage Vol. Required (CF)	Detention Tank Storage Vol. Required (Gal)
1	69,532	63,006	6,526	1,570	91.6%	3,744	Bioretention + Detention	2,308	1,436	10,738

5 1103 WEEKS STREET

SCALE: 1" = 40'