



## 990 GARDEN

EAST PALO ALTO, CA 94301

PLANNING SUBMITTAL : OCTOBER 21, 2022  
 PLANNING SUBMITTAL: DECEMBER 14th, 2022

PROJECT DATA	ZONING	VICINITY MAP	PROJECT DIRECTORY	SHEET INDEX	SHEET TITLE & NUMBER
<p><b>ADDRESS:</b> 990 GARDEN, EAST PALO ALTO, CA 94301</p> <p><b>APN NO.:</b> 063-344-420/450</p> <p><b>LOT AREA:</b> 57,382 SQ.FT. (1.32 ACRES)</p> <p><b>ZONING:</b> R-LD ZONING</p> <p><b>FLOOD PLAIN ZONE:</b> HIGH RISK FLOOD ZONE AE BFE LEVEL 11</p> <p><b>SCOPE OF WORK</b></p> <p>PROPOSED 7- LOT SUBDIVISION OF LAND. SEVEN LOTS WILL HAVE RESIDENTIAL UNITS. SIX LOTS TO HAVE A 2-STORY HOME EACH. ONE LOT (LOT#3) TO HAVE INCLUSIONARY HOUSE &amp; INCLUSIONARY DUPLEX. SEE CIVIL PLANS &amp; AREA ANALYSIS SHEET FOR DETAILS.</p> <p><b>PROJECT TO USE SB9 WITHOUT LOT SPLIT.</b></p> <p><b>USING SB 9 WITHOUT A LOT SPLIT :</b></p> <ul style="list-style-type: none"> <li>ALLOWABLE NUMBER OF UNITS WITHOUT A LOT SPLIT: TWO PRIMARY UNITS AND UPTO 2 NEW ADUs/JADUs CAN BE BUILT PER LOT</li> </ul>	<p>ZONING: CDC (P)</p> <p>OCCUPANCY: R1</p> <p>TYPE OF CONSTRUCTION: VB</p>		<p><b>OWNER/APPLICANTS:</b></p> <p>990 GARDEN LLC        BPR PROPERTIES        953 INDUSTRIAL WAY,        PALO ALTO, CA 94303</p> <p><b>ARCHITECT:</b></p> <p>CARRASCO &amp; ASSOCIATES        1885 EL CAMINO REAL        PALO ALTO, CA 94308        EMAIL: tony@carrasco.com, alha@carrasco.com        PH.: 650-455-7575</p> <p><b>CIVIL ENGINEER:</b></p> <p>TRIAD/HOLMES ASSOCIATES        777 WOODSIDE ROAD, SUITE A,        REDWOOD CITY, CA 94061        PH.: 650-366-0216        FAX: 650-366-0298        EMAIL: sf@thainc.com</p> <p><b>SURVEY:</b></p> <p>ANDREW K. HOLMES LS 4428        TRIAD/HOLMES ASSOCIATES        777 WOODSIDE ROAD, SUITE A,        REDWOOD CITY, CA 94061</p>	<p>T1.0 TITLE SHEET</p> <p><b>CIVIL SHEETS</b></p> <p>C-1 TENTATIVE TRACT MAP        C-2 TOPOGRAPHIC SURVEY        C-3 GRADING AND DRAINAGE PLAN        C-4 UTILITY PLAN        C-5 STREET LIGHTING PLAN</p> <p><b>ARCHITECTURAL SHEETS</b></p> <p>A0.1 NEIGHBORHOOD CONTEXT &amp; ZONING ANALYSIS        A0.2 VIEWS        A0.3 CONCEPT SHEET-MATERIAL AND FEATURES        A0.4 AREA ANALYSIS        A0.5 AREA ANALYSIS        A0.6 AREA ANALYSIS        A0.7 SHADOW STUDY        A0.8 SHADOW STUDY        A0.9 SHADOW STUDY</p> <p>A1.0 SITE PLAN        A1.1 DEMO PLAN        A2.1 LOT #1 PLAN, ELEVATION &amp; SECTION        A2.2 LOT #2 PLAN, ELEVATION &amp; SECTION        A2.3 LOT #3 PLAN, ELEVATION &amp; SECTION        A2.4 LOT #4 PLAN, ELEVATION &amp; SECTION        A2.5 LOT #5 PLAN, ELEVATION &amp; SECTION        A2.6 LOT #6 PLAN, ELEVATION &amp; SECTION        A2.7 LOT #7 PLAN, ELEVATION &amp; SECTION</p> <p>L1.0 LANDSCAPE PLAN        L2.0 STREET ELEVATION AND LANDSCAPE SCREENING        L2.1 STREET ELEVATION AND LANDSCAPE SCREENING</p>	<p><b>TITLE SHEET</b></p> <p><b>T1.0</b></p>



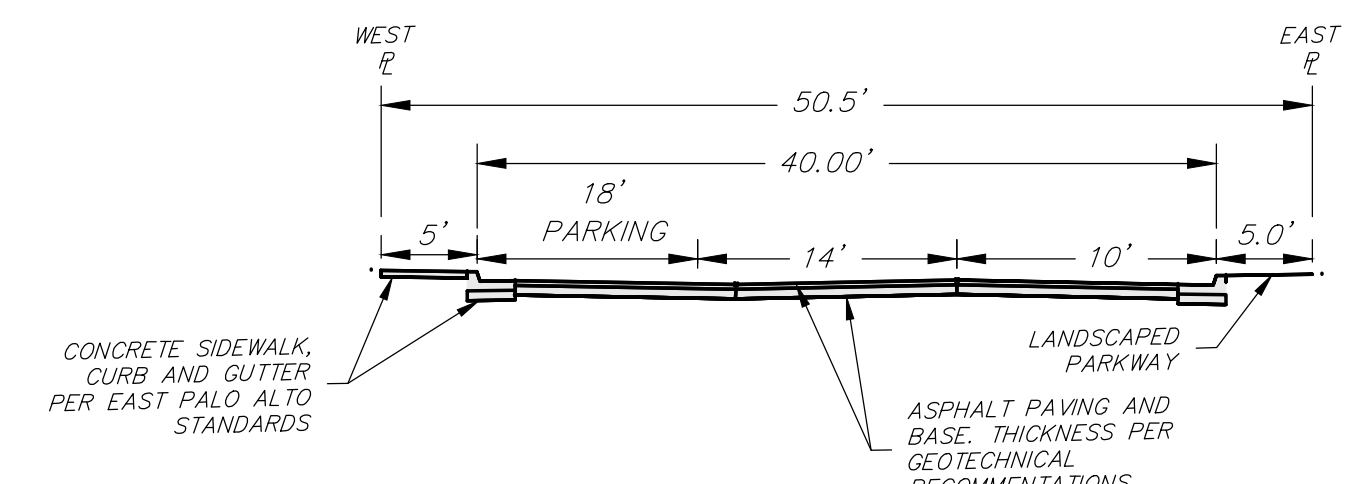
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REVISIONS:	BY:

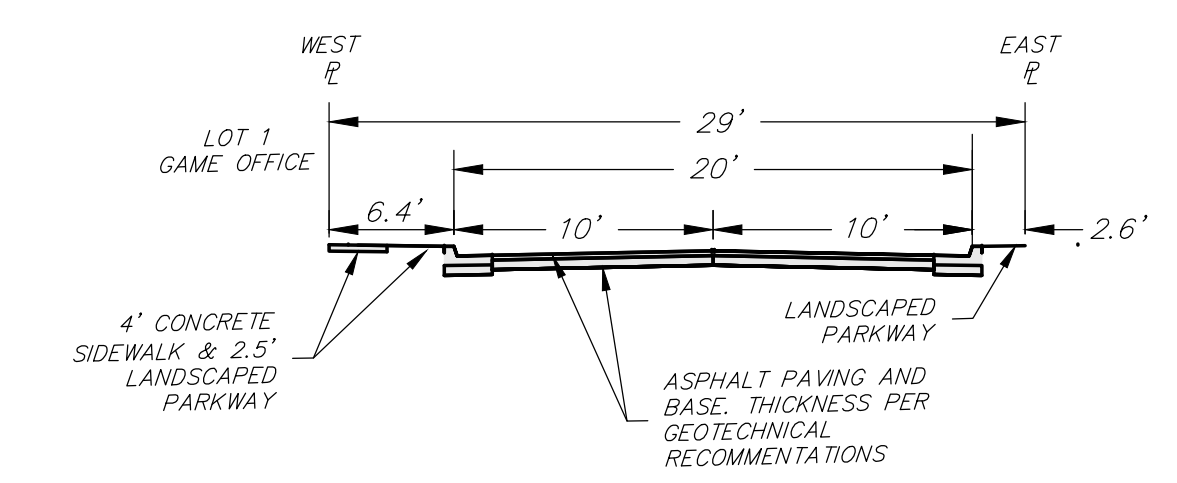
PREPARED FOR:  
 GARDEN PLACE, LLC

990 GARDEN STREET  
 GRADING AND DRAINAGE PLAN  
 EAST PALO ALTO, SAN MATEO COUNTY, STATE OF CALIFORNIA

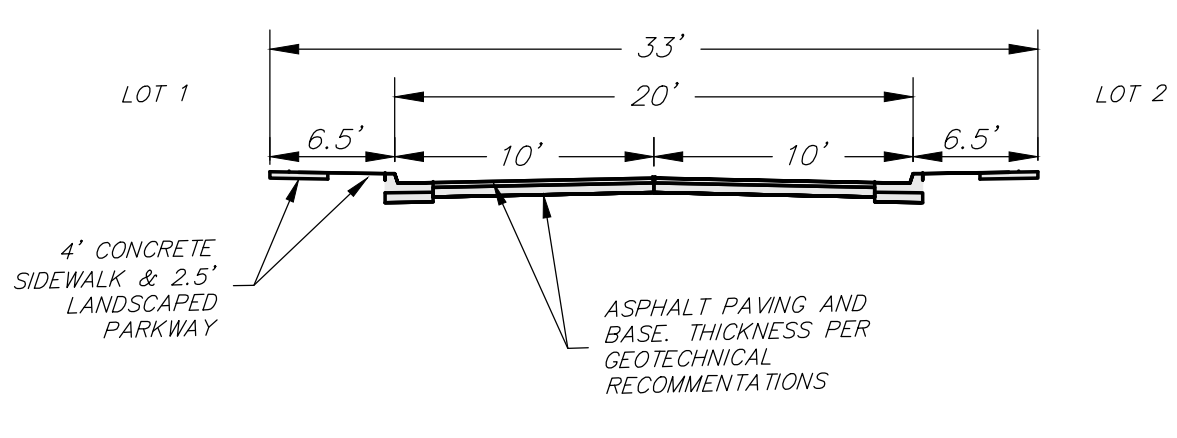
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 JOB NO: 09.1708.1  
 DWG: C3  
 SHEET 3 OF 5



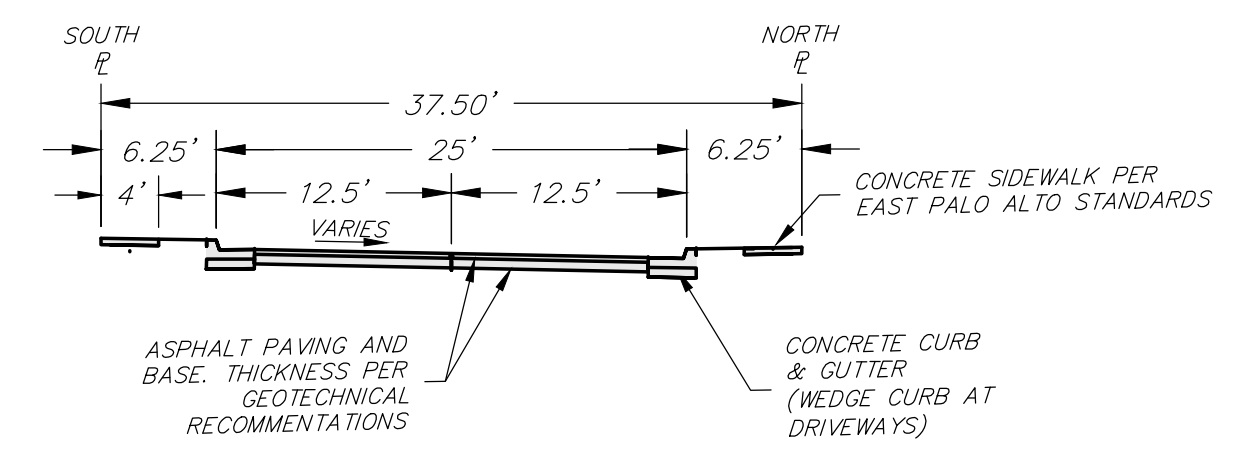
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 N.T.S.



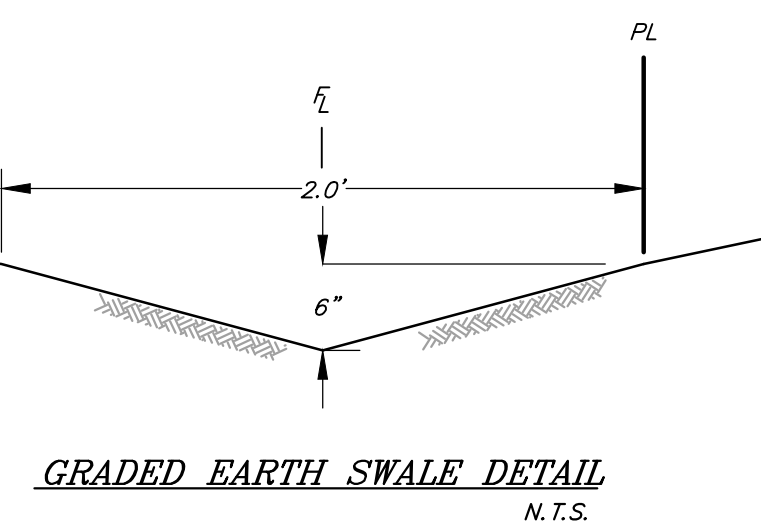
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 NORTH - SOUTH  
 N.T.S.



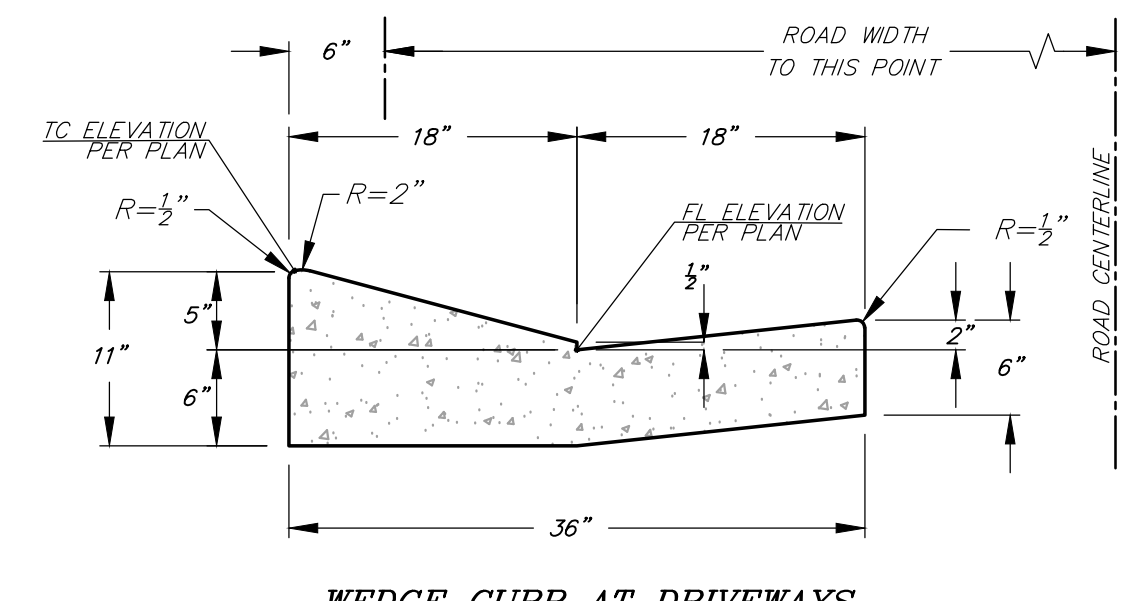
**GARDEN PLACE**  
 NORTH - SOUTH  
 N.T.S.



**GARDEN PLACE**  
 EAST - WEST  
 N.T.S.

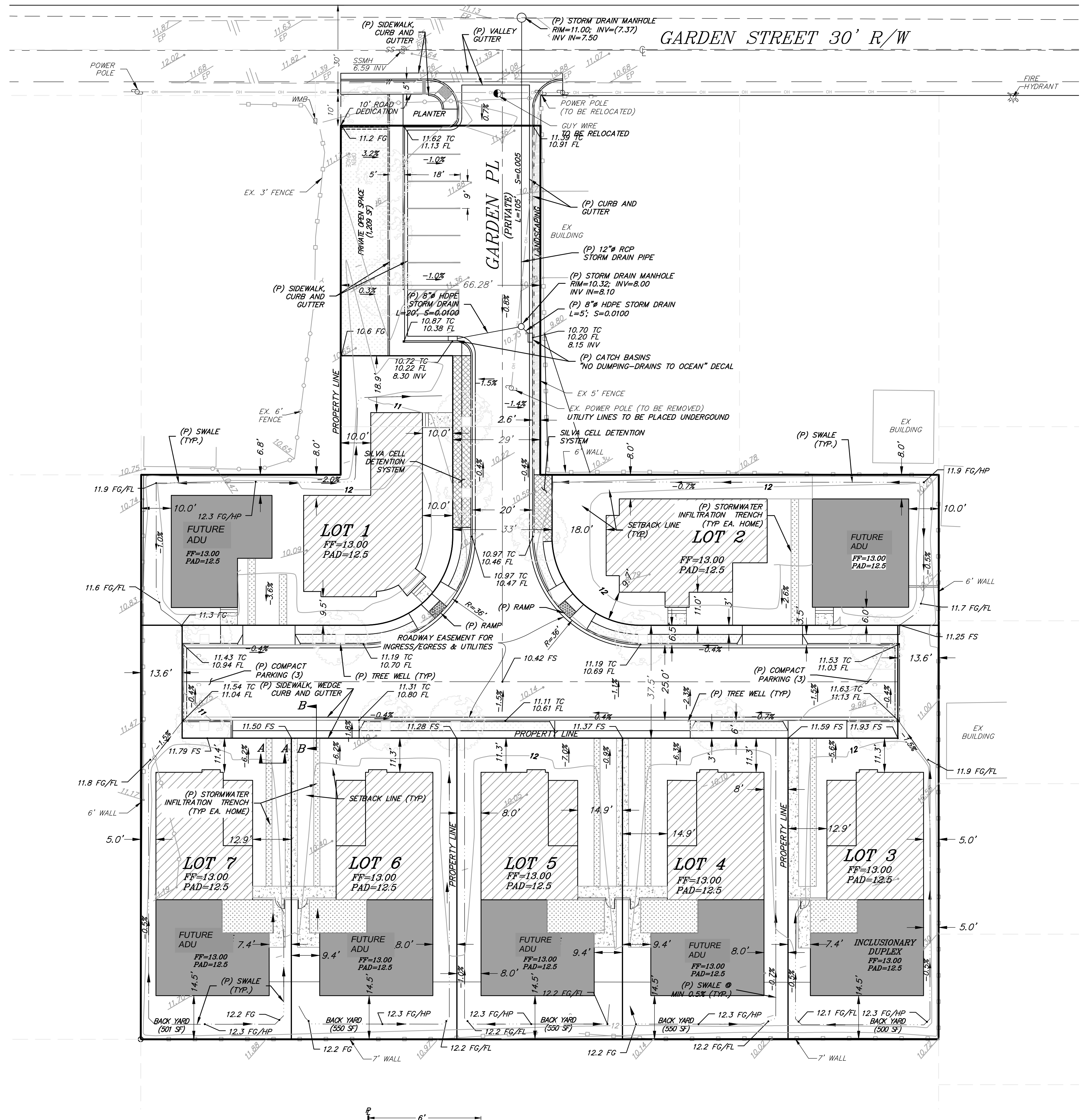


**GRADED EARTH SWALE DETAIL**  
 N.T.S.



**WEDGE CURB AT DRIVEWAYS**  
 N.T.S.

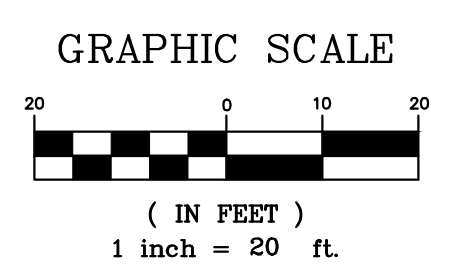
1. MINIMUM PERMISSIBLE STREET GRADE IS 0.40%.
2. THE CURB'S VOLUME IS = 1,844 CF/LF; 1 CU. YD. = 14.64 LF.
3. SEE C.P.S. STD. DWG. NO. 110 FOR PAVEMENT STRUCTURAL SECTION.
4. PORTLAND CEMENT CONCRETE SHALL BE 580-C-3250 CONCRETE (6 SACK) MIN. IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
5. EXPANSION JOINTS (1/2" THICK) SHALL BE INSTALLED AT ALL CURB RETURNS.



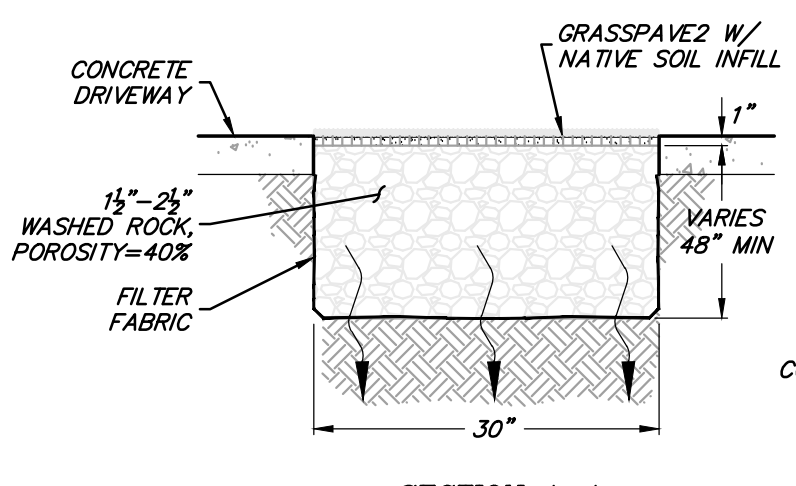
ONSITE UTILITIES ARE TO BE PRIVATE

**DRAINAGE NOTES**

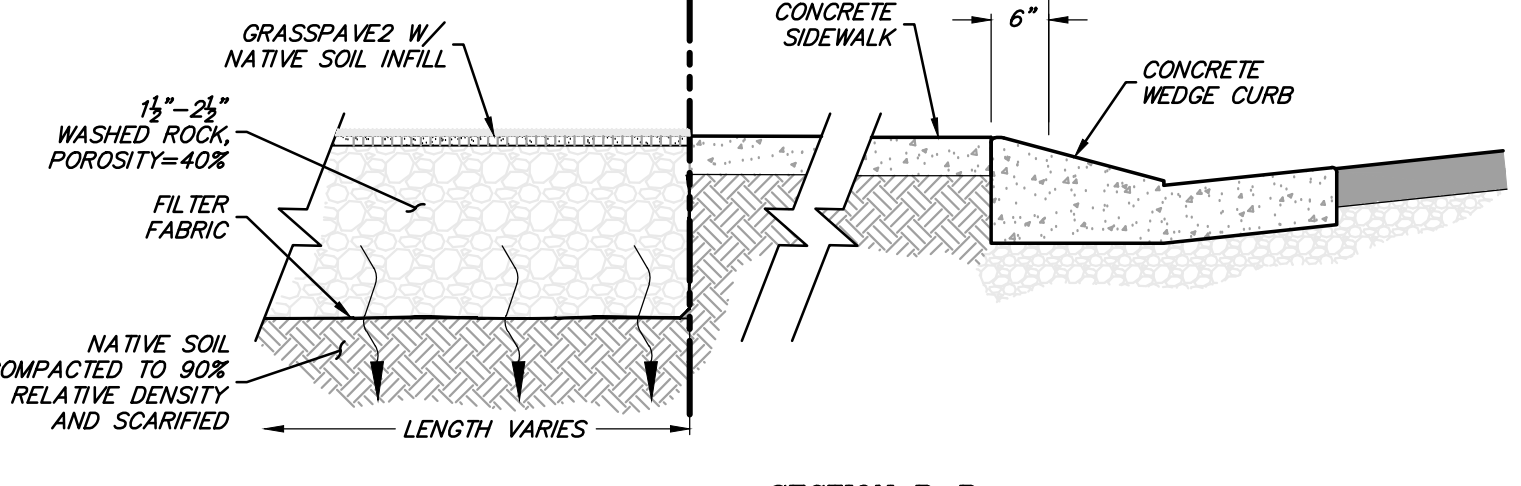
1. GROUND ADJACENT TO BUILDING STRUCTURE SHALL SLOPE AT MIN 5% AWAY FROM BUILDING PER CBC.
2. ALL ROOF DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS
3. PROJECT IS IN FLOOD ZONE AE, ELEVATION = 11, PER FEMA PANEL NUMBER 0309 DATED 8/13/15



PREPARED AND SUBMITTED BY:  
 THOMAS A. PLATZ  
 P.E. C 41039

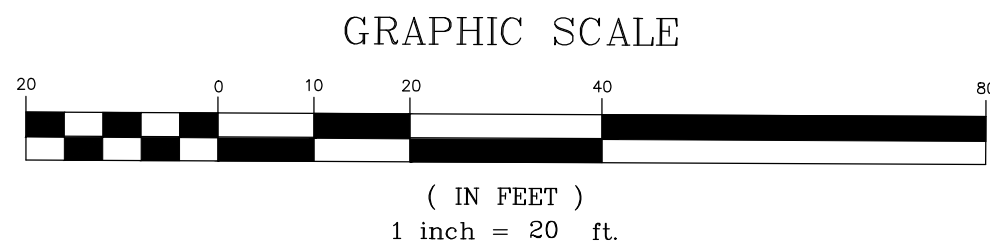


**SECTION A-A**



**SECTION B-B**

**INFILTRATION TRENCH DETAIL (TYP)**  
 N.T.S.



**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- WOOD FENCE
- WIRE FENCE
- CENTERLINE
- OVERHEAD UTILITIES
- EASEMENT
- EDGE OF PAVEMENT
- SPOT ELEVATION
- RET. CONCRE.
- R/W CONCRETE
- AC ASPHALTIC CONCRETE
- PP POWER POLE
- WMB WATER METER BOX
- HYDRANT
- UTILITY POLE
- GUY WIRE
- GAS VALVE
- WATER VALVE
- SEWER MANHOLE
- CONCRETE

TRUNK & DRIPLINE  
NOTE:  
ACTUAL TREE TRUNK LOCATIONS ARE SHOWN.  
DRIPLINES SHOWN ARE ONLY APPROXIMATE.  
DRIPLINES IN AREAS OF PROPOSED  
CONSTRUCTION SHOULD BE FIELD VERIFIED.

**NOTES:**

- BENCHMARK:**  
ELEVATIONS ARE BASED ON NGVD 88 DATUM.  
PROJECT BENCHMARK IS THE RIM OF THE SEWER  
MANHOLE AS SHOWN. ELEVATION = 11.65
- GENERAL NOTES:**  
990 GARDEN STREET  
EPA CA 94303  
APN-063-344-420/450  
57,381 SQ.FT.  
1.32 ACRES
- PREPARED FOR:**  
BPR PROPERTIES  
953 INDUSTRIAL AVE #100  
EPA CA 94303

I HEREBY STATE THAT I AM A LICENSED SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN OCTOBER 2015, AND THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION, THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.



TOPOGRAPHIC SURVEY  
**990 GARDEN STREET**  
 EPA, SAN MATEO, COUNTY CALIFORNIA

873 north main st. suite 150  
 BISHOP, CA 93514  
 phone (760) 873-4273  
 fax (760) 873-8924  
 e-mail triad@trihol.com

873 north main st. suite 150  
 BISHOP, CA 93514  
 phone (760) 873-4273  
 fax (760) 873-8924  
 e-mail triad@trihol.com

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11/11/21	
3/30/22	

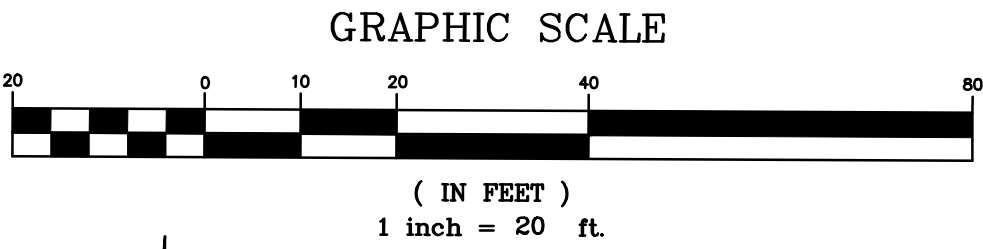
  

DATE	10/30/15
SCALE	1"=20'
DRAWN	MN
JOB NO.	09-1708
DWG	09-1708TOPO
SHEET	C2
OF	5 SHEETS

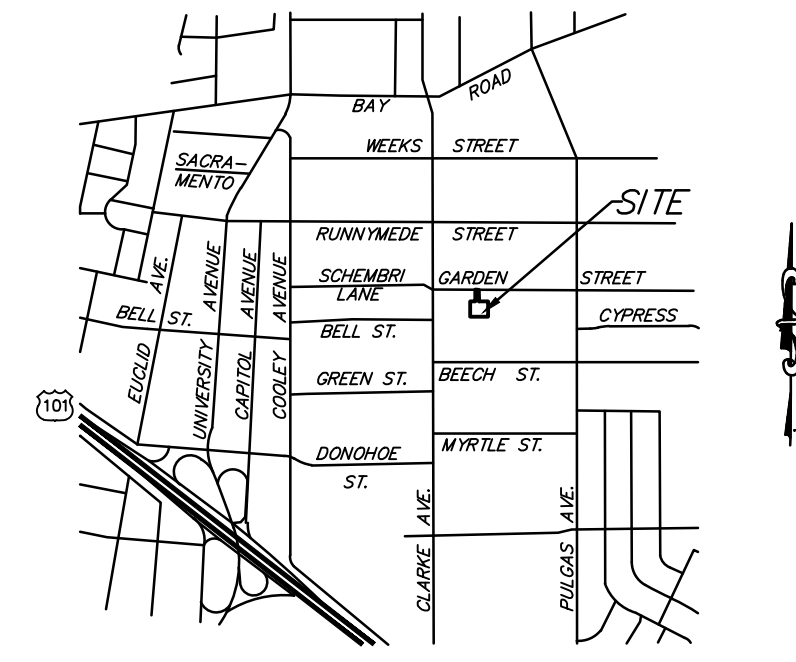
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# VESTING TENTATIVE MAP (TPM21-002)



990 GARDEN ST, EAST PALO ALTO, CA  
 APN-063-344-420/450  
**SHEET INDEX:**  
 C1-TENTATIVE TRACT MAP  
 C2-TOPOGRAPHIC SURVEY  
 C3-GRADING AND DRAINAGE PLAN  
 C4-UTILITY PLAN  
 C5-EROSION CONTROL PLAN

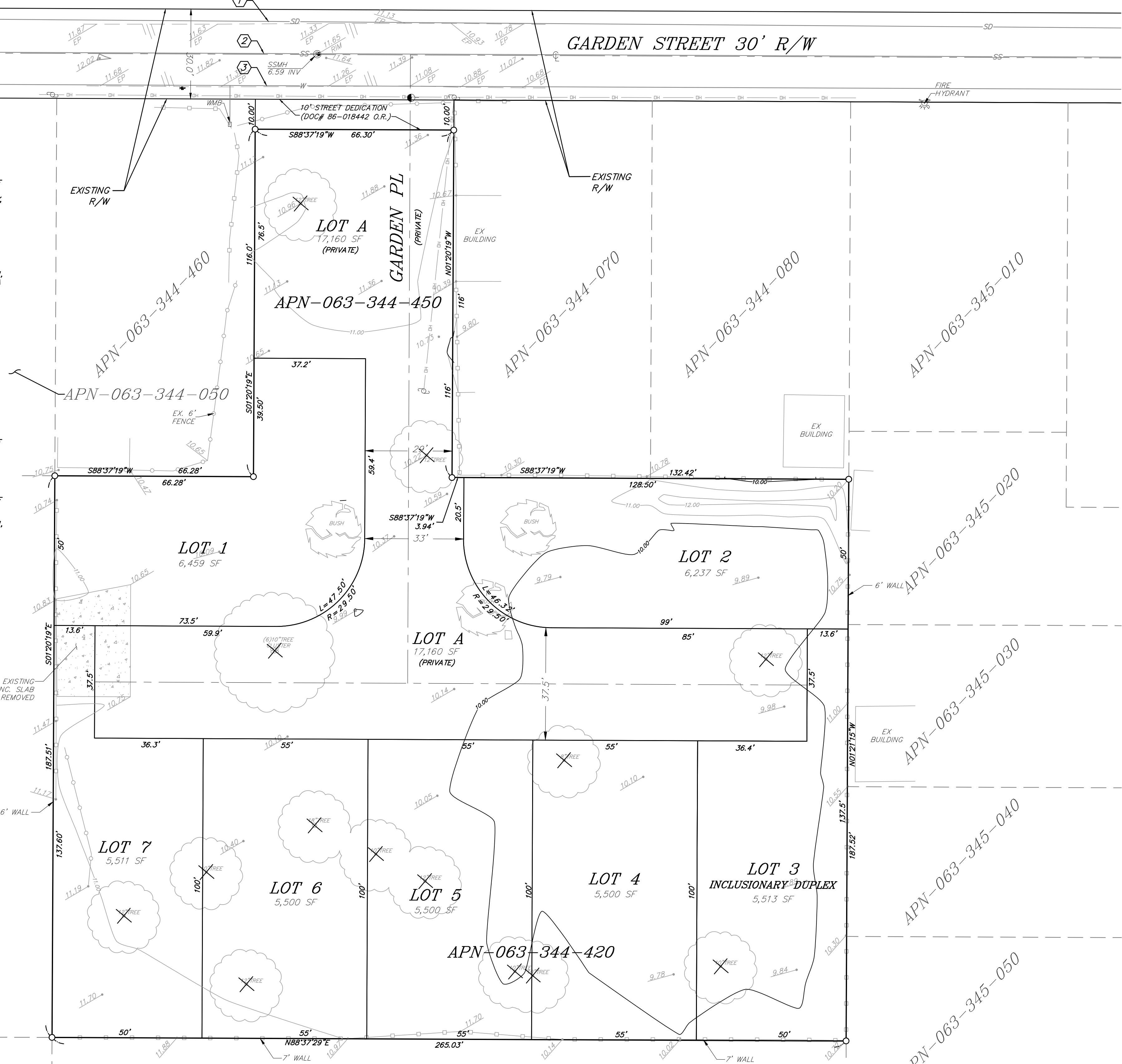


**t h a**  
 triad/holmes assoc  
 civil engineering  
 land surveying  
 MAMMOTH LAKES  
 BISHOP  
 REDWOOD CITY

PROFESSIONAL LAND SURVEYOR  
 ANDREW K. HOLMES  
 PLS 4428  
 STATE OF CALIFORNIA

**LEGAL DESCRIPTION: (PER GRANT DEED DOC#2018-057265 O.R.)**  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF EAST PALO ALTO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:  
**PARCEL ONE:**  
 ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE CITY OF EAST PALO ALTO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, BEING A PORTION OF LOTS 16 AND 17 AS SAID LOT IS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF FABER SUBDIVISION, SAN MATEO COUNTY, CAL.", FILED FOR RECORD ON OCTOBER 23, 1912 IN BOOK 8 OF MAPS AT PAGE 31, SAN MATEO COUNTY RECORDS, SAID REAL PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT DISTANT NORTH 88° 27' 40" EAST 397.88 FEET, SOUTH 1° 29' 30" EAST 25.00 FEET AND NORTH 88° 27' 40" EAST 66.28 FEET FROM THE POINT OF INTERSECTION OF THE CENTERLINES OF CLARKE AVENUE AND GARDEN STREET AS SAID INTERSECTION, CENTERLINES, AVENUE AND STREET ARE SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JANUARY 4, 1971, IN VOLUME 11 OF PARCEL MAPS AT PAGE 41, SAN MATEO COUNTY RECORDS; THENCE FROM SAID POINT OF BEGINNING EASTERLY ALONG A LINE BEING PARALLEL WITH AND PERPENDICULARLY DISTANT 25.00 FEET SOUTHERLY FROM SAID CENTERLINE OF GARDEN STREET NORTH 88° 27' 40" EAST 66.28 FEET TO A POINT THEREON; THENCE LEAVING LAST SAID LINE SOUTH 1° 29' 30" EAST 116.00 FEET; THENCE NORTH 88° 27' 40" EAST 332.84 FEET TO A POINT ON THE WESTERLY LINE OF TRACT NO. 855 AS SAID TRACT IS SHOWN ON THAT CERTAIN MAP ENTITLED, "TRACT NO. 855 BRENTWOOD ESTATES", FILED FOR RECORD ON JUNE 10, 1969 IN BOOK 69 OF MAPS AT PAGE 42, SAN MATEO COUNTY RECORDS; THENCE SOUTHERLY ALONG LAST SAID LINE SOUTH 1° 29' 30" EAST 187.61 FEET TO THE POINT THEREON; THENCE LEAVING LAST SAID LINE SOUTH 88° 27' 40" WEST 265.40 FEET TO A POINT ON A LINE BEING PARALLEL WITH AND PERPENDICULARLY DISTANT EASTERLY 397.88 FEET FROM THE CENTERLINE OF SAID CLARKE AVENUE; THENCE NORTHERLY ALONG LAST SAID LINE NORTH 1° 29' 30" WEST 187.61 FEET TO A POINT THEREON; THENCE LEAVING SAID LINE NORTH 88° 27' 40" EAST 66.28 FEET; THENCE NORTH 1° 29' 30" WEST 116.00 FEET TO THE POINT OF BEGINNING.

**PARCEL TWO:**  
 ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE CITY OF EAST PALO ALTO, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, BEING A PORTION OF LOT 17 AS SAID LOT IS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF FABER SUBDIVISION, SAN MATEO COUNTY, CAL.", FILED FOR RECORD ON OCTOBER 23, 1912 IN BOOK 8 OF MAPS AT PAGE 31, SAN MATEO COUNTY RECORDS, SAID REAL PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT DISTANT NORTH 88° 27' 40" EAST 463.96 FEET, FROM THE POINT OF INTERSECTION OF THE CENTERLINES OF CLARKE AVENUE AND GARDEN STREET AS SAID INTERSECTION, CENTERLINES, AVENUE AND STREET ARE SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JANUARY 4, 1971, IN VOLUME 11 OF PARCEL MAPS AT PAGE 41, SAN MATEO COUNTY RECORDS; THENCE FROM SAID POINT OF BEGINNING EASTERLY ALONG SAID CENTERLINE OF GARDEN STREET NORTH 88° 27' 40" EAST 66.28 FEET TO A POINT THEREON; THENCE LEAVING LAST SAID LINE SOUTH 1° 29' 30" EAST 25.00 FEET TO A LINE PARALLEL WITH AND PERPENDICULARLY DISTANT 25.00 FEET SOUTHERLY FROM SAID CENTERLINE OF GARDEN STREET; THENCE WESTERLY ALONG SAID PARALLEL LINE SOUTH 88° 27' 40" WEST 66.28 FEET TO A POINT THEREON; THENCE LEAVING SAID PARALLEL LINE NORTH ALONG A LINE BEING PARALLEL WITH AND PERPENDICULARLY DISTANT 463.96 FEET EASTERLY FROM SAID CENTERLINE OF CLARKE AVENUE NORTH 1° 29' 30" WEST 25.00 FEET TO THE POINT OF BEGINNING.



**LEGEND:**

	PROPERTY LINE
	PROPOSED LOT LINES
	ADJACENT PROPERTY LINE
	WOOD FENCE
	WIRE FENCE
	CENTERLINE
	OVERHEAD UTILITIES
	STORM LINE
	SEWER LINE
	WATER LINE
	EDGE OF PAVEMENT
	SPOT ELEVATION
	ASPHALTIC CONCRETE
	EDGE OF PAVEMENT
	CONCRETE
	OFFICIAL RECORDS
	RIGHT OF WAY
	PROPOSED
	WATER METER BOX
	WATER METER BOX
	HYDRANT
	UTILITY POLE
	GUY WIRE
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	INDICATES MONUMENT TO BE SET

TRUNK & DRIPLINE (TO BE REMOVED)  
 NOTE: ACTUAL TREE TRUNK LOCATIONS ARE SHOWN. DRIPLINES SHOWN ARE ONLY APPROXIMATE. DRIPLINES IN AREAS OF PROPOSED CONSTRUCTION SHOULD BE FIELD VERIFIED.

**NOTES:**

OWNERS/APPLICANTS: GARDEN PLACE LLC  
 953 INDUSTRIAL AVENUE  
 STE 400  
 PALO ALTO CA 94303

SUBDIVIDER/APPLICANT: SAME

SURVEYOR: ANDREW K. HOLMES LS 4428  
 TRIAD/HOLMES ASSOCIATES  
 777 WOODSIDE ROAD, SUITE 2A  
 REDWOOD CITY, CA 94061 650-366-0216

EXISTING ZONING: R-1  
 EXISTING USE: VACANT LOT  
 PROPOSED ZONING: R-1  
 PROPOSED USE: SEVEN SINGLE FAMILY RESIDENCES

UTILITY SUPPLIERS:  
 STORM DRAIN: CITY OF EAST PALO ALTO  
 SEWAGE DISPOSAL: EAST PALO ALTO SANITARY DISTRICT  
 WATER: CITY OF EAST PALO ALTO  
 GAS & ELECTRICITY: PACIFIC GAS AND ELECTRIC  
 TELEPHONE: NONE  
 FIRE PROTECTION: MENLO FIRE  
 CABLE: NONE  
 EASEMENTS: NONE  
 FLOODZONE: AE, BFE 11

SURVEY DATE: 10/30/2015 REVISED 11/11/21  
 BY: TRIAD/HOLMES ASSOCIATES  
 (SEE SHEET C2)

PROPERTY ADDRESS: 990 GARDEN STREET, EAST PALO ALTO CA

BENCHMARK: ELEVATIONS ARE BASED ON NGVD 88 DATUM. PROJECT BENCHMARK IS THE RIM OF THE SEWER MANHOLE AS SHOWN. ELEVATION = 11.65

**GARDEN PLACE**  
 A PROPOSED MERGER AND 7 LOT SUBDIVISION  
 OF THE LANDS OF GARDEN PLACE LLC.  
 APN-063-344-420/450 (990 GARDEN STREET)  
 CITY OF EAST PALO ALTO SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1"=20'  
 AUGUST 2022

REVISIONS: BY:

1/21/2022	
2/17/2022	

PREPARED FOR:  
 990 GARDEN LLC

990 GARDEN STREET  
 VESTING TENTATIVE MAP  
 EAST PALO ALTO, SAN MATEO COUNTY, STATE OF CALIFORNIA

DATE	08/1/2022
SCALE	AS NOTED
DRAWN	MP
JOB NO.	09.1708.1
DWG	C1
SHEET	1 OF 5

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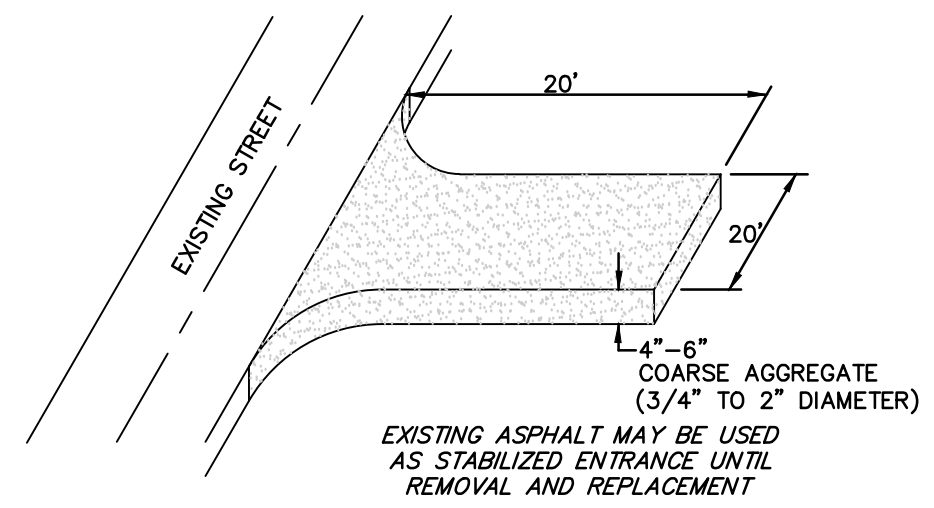
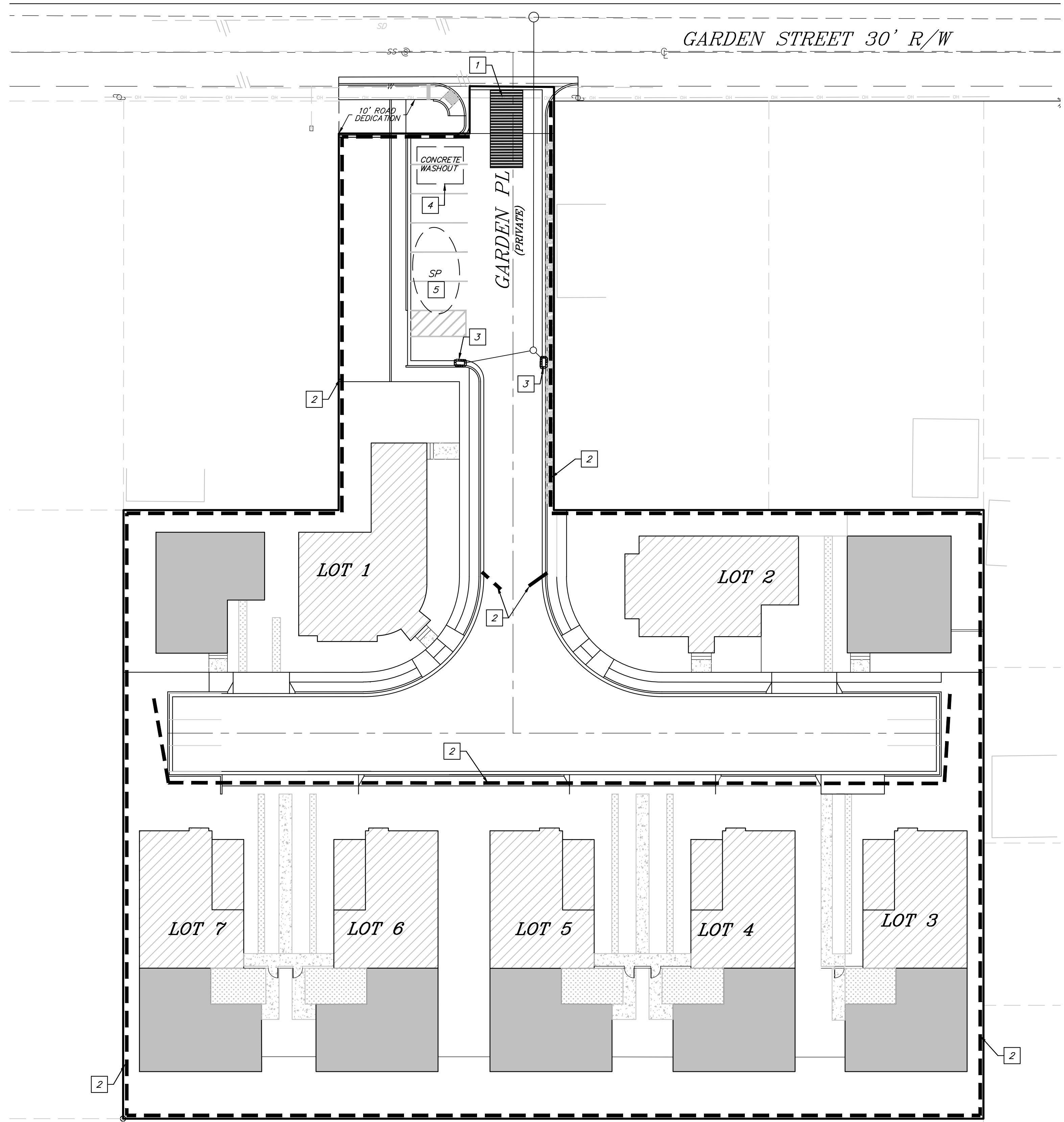
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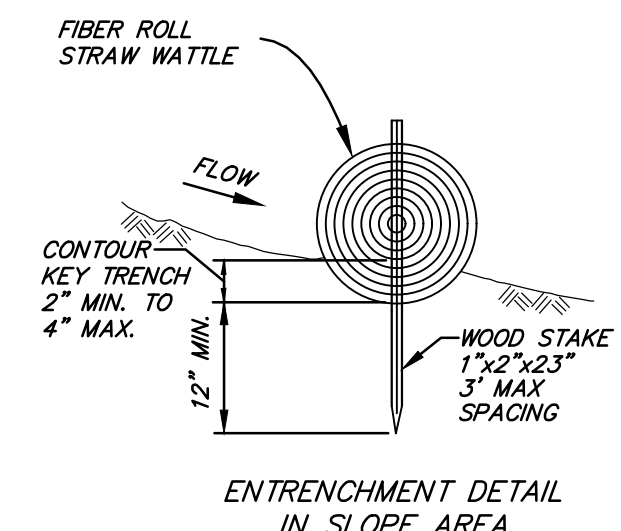
PREPARED FOR:  
 GARDEN PLACE, LLC

990 GARDEN STREET  
 EROSION CONTROL PLAN  
 EAST PALO ALTO, SAN MATEO COUNTY, STATE OF CALIFORNIA

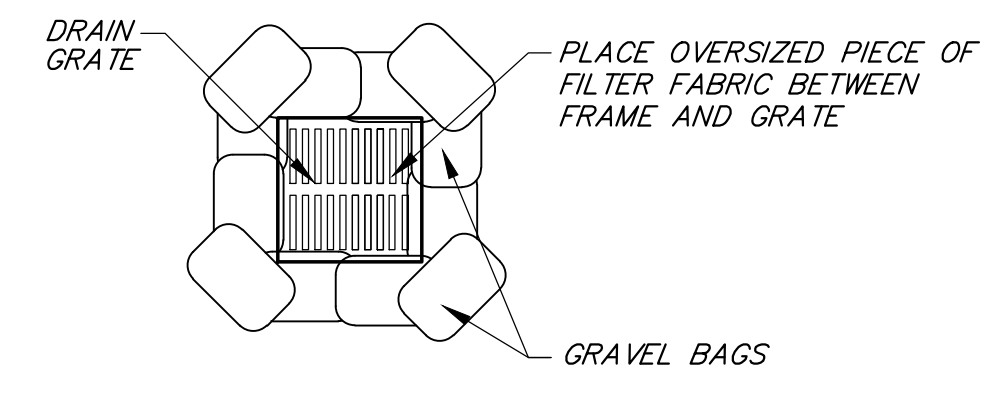
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SCALE	AS SHOWN
DRAWN	MP
JOB NO.	09.1708.1
DWG	C5
SHEET	5 OF 5



1 STABILIZED CONSTRUCTION ENTRANCE  
NTS



2 FIBER ROLL DETAIL  
N.T.S.



3 DROP INLET PROTECTION DETAIL  
NTS

**EROSION CONTROL NOTES**

- TEMPORARY EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO COMMENCING ANY GRADING OPERATIONS.
- DURING CONSTRUCTION, TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT FENCES, FIBER ROLLS, EROSION CONTROL BLANKETS, OR OTHER METHODS SHALL BE INSTALLED AS NECESSARY TO PREVENT DISCHARGE OF EARTHEN MATERIALS FROM THE SITE DURING PERIODS OF PRECIPITATION OR RUNOFF. SIMILAR MEASURES SHALL BE INSTALLED ON OR AROUND ANY SOIL STOCKPILE LOCATED ADJACENT TO PUBLIC ROADWAYS, RESIDENCES, OR BUSINESSES, IN THE VICINITY OF BODIES OF WATER, OR WHEN REMAINING ON-SITE FOR AN EXTENDED PERIOD.
- CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO RETAIN SOIL AND SEDIMENT ON-SITE AND TO PREVENT TRACKING OF MUD AND DIRT ONTO PUBLIC ROADWAYS.
- BMP'S SHALL BE MAINTAINED AND OPERATED SUCH THAT THEY REDUCE OR ELIMINATE POLLUTANTS FROM EXITING THE SITE TO THE GREATEST EXTENT POSSIBLE. IF SELECTED BMP'S ARE NOT WORKING AS REQUIRED, THE BMP INSTALLATION MUST BE IMPROVED, OR NEW BMP'S SHALL BE SELECTED.
- EROSION CONTROL MEASURES SHALL BE IN PLACE THROUGHOUT THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 30, AND SHALL BE AVAILABLE ON-SITE IN THE EVENT OF FORECASTED WET WEATHER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.

**DUST CONTROL NOTES**

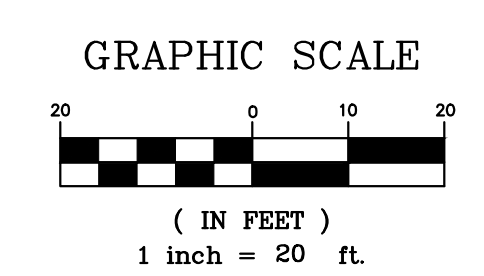
- ALL EXPOSED SURFACES (E.G., PARKING AREAS, STAGING AREAS, SOIL PILES, GRADED AREAS, AND UNPAVED ACCESS ROADS) SHALL BE WATERED TWO TIMES PER DAY.
- ALL HAUL TRUCKS TRANSPORTING SOIL, SAND, OR OTHER LOOSE MATERIAL OFF-SITE SHALL BE COVERED.
- ALL VISIBLE MUD OR DIRT TRACK-OUT ONTO ADJACENT PUBLIC ROADS SHALL BE REMOVED USING WET POWER VACUUM STREET SWEEPERS AT LEAST ONCE PER DAY. THE USE OF DRY POWER SWEEPING IS PROHIBITED.
- ALL VEHICLE SPEEDS ON-SITE SHALL BE LIMITED TO 15 MPH.
- ALL ROADWAYS, DRIVEWAYS, AND SIDEWALKS TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE. BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
- IDLING TIMES SHALL BE MINIMIZED EITHER BY SHUTTING EQUIPMENT OFF WHEN NOT IN USE OR REDUCING THE MAXIMUM IDLING TIME TO 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXICS CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS [CCR]). CLEAR SIGNAGE SHALL BE PROVIDED FOR CONSTRUCTION WORKERS AT ALL ACCESS POINTS.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
- POST A PUBLICLY VISIBLE SIGN WITH THE TELEPHONE NUMBER AND PERSON TO CONTACT AT THE LEAD AGENCY REGARDING DUST COMPLAINTS. THIS PERSON SHALL RESPOND AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE BAYQM'S PHONE NUMBER SHALL ALSO BE VISIBLE TO ENSURE COMPLIANCE WITH APPLICABLE REGULATIONS.
- ALL EXPOSED SURFACES SHALL BE WATERED AT A FREQUENCY ADEQUATE TO MAINTAIN MINIMUM SOIL MOISTURE CONTENT.
- ALL CONSTRUCTION EQUIPMENT, DIESEL TRUCKS, AND GENERATORS BE EQUIPPED WITH BEST AVAILABLE CONTROL TECHNOLOGY FOR EMISSION REDUCTIONS OF NITROGEN OXIDES AND PARTICULATE MATTER.
- CONTRACTORS SHALL USE EQUIPMENT THAT MEETS THE CALIFORNIA AIR RESOURCES BOARD'S MOST RECENT CERTIFICATION STANDARD FOR OFF-ROAD HEAVY DUTY DIESEL ENGINES.

CITY OF EAST PALO ALTO      PERMIT NO. #####  
 SDP NO. ###-###  
 IF YOU SEE DUST COMING FROM  
 THIS PROJECT PLEASE CALL:  
**(XXX) XXX-XXXX**  
 IF YOU DO NOT GET A RESPONSE WITHIN ONE HOUR, PLEASE CALL  
 THE CITY OF EAST PALO ALTO PUBLIC WORKS DEPARTMENT  
 XXX-XXX-XXXX  
 REPORT THE PERMIT OR PROJECT NO. AT THE PHONE NUMBER ABOVE OR CALL THE  
 BAY AREA AIR QUALITY MANAGEMENT DISTRICT AT 1-800-334-6367

FUGITIVE DUST CONTROL SITE SIGNAGE  
NTS

**CONSTRUCTION NOTES**

- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL HEREON.
- INSTALL FIBER ROLL PER DETAIL HEREON.
- INSTALL DROP INLET PROTECTION PER DETAIL HEREON.
- MAINTAIN CONCRETE WASHOUT
- PROVIDE STOCK PILE PROTECTION



C:\Users\mpatrom1\AppData\Local\Temp\1\AcPublish-178001990 Garden\_TTM.rvt.dwg - Aug 05, 2022 - 2:38pm, mpatrom1



**GARDEN PLACE**

990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



998 GARDEN



990 GARDEN SITE

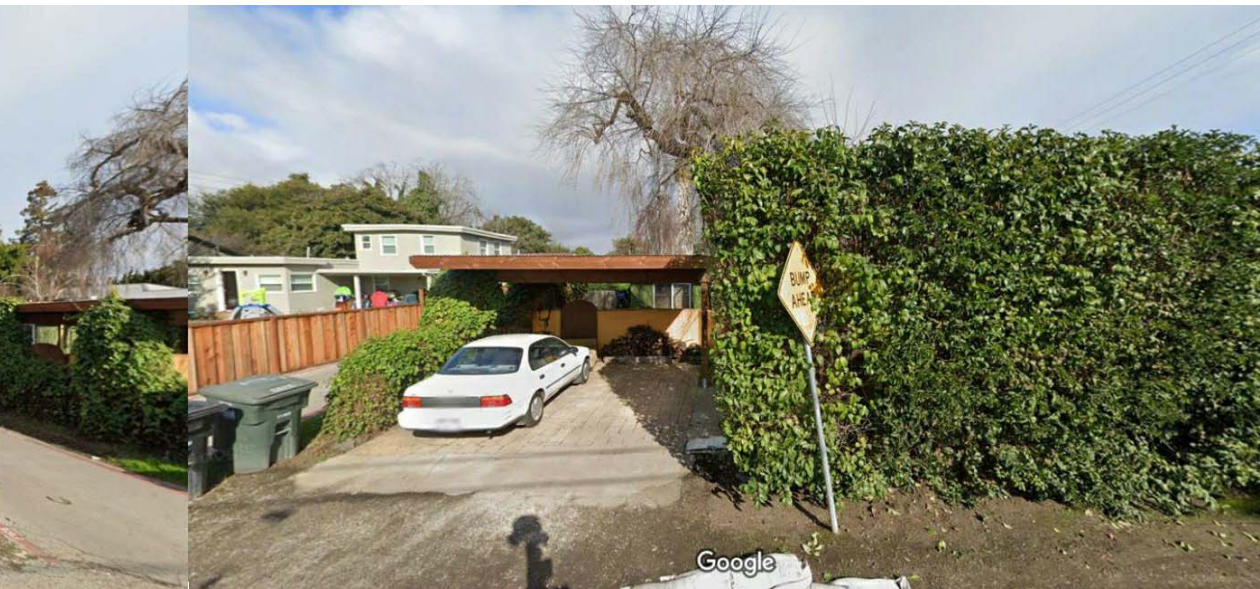


992 GARDEN

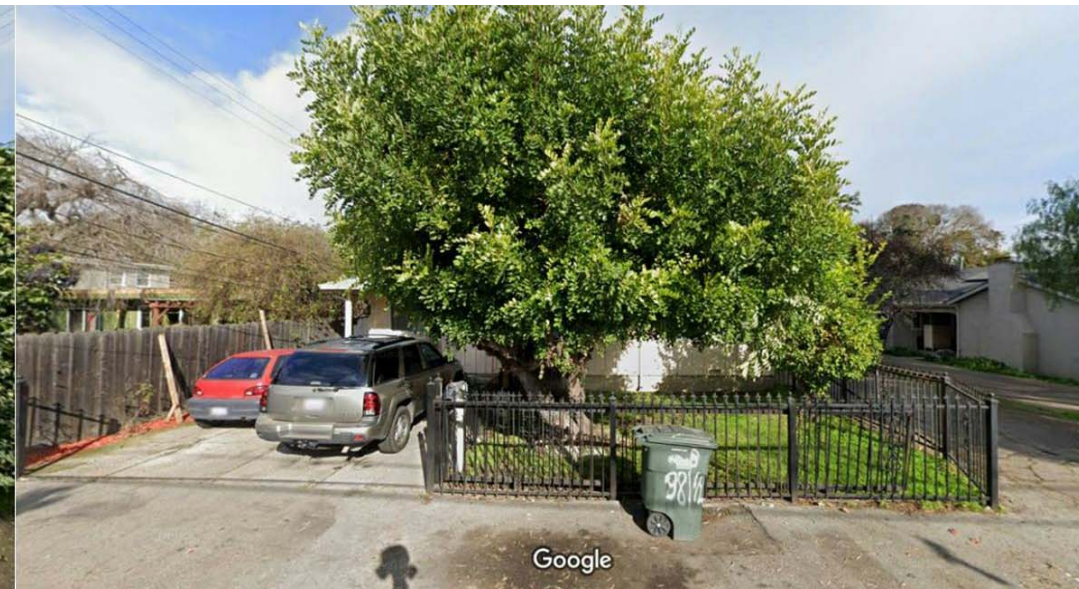
**SOUTH SIDE NEIGHBOURS**



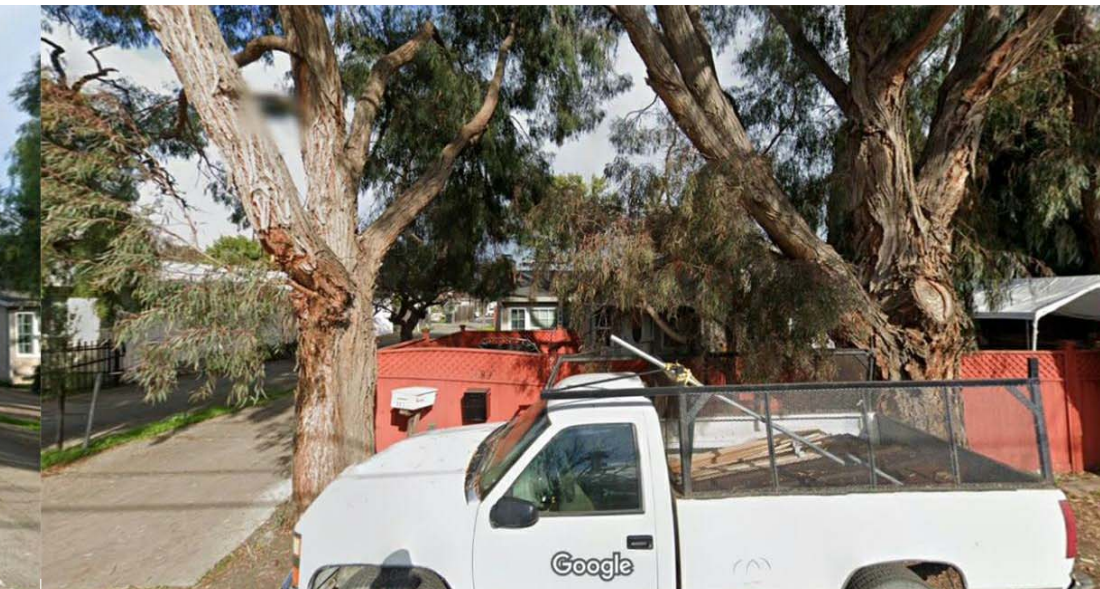
959 GARDEN



967 GARDEN



981 GARDEN



983 GARDEN

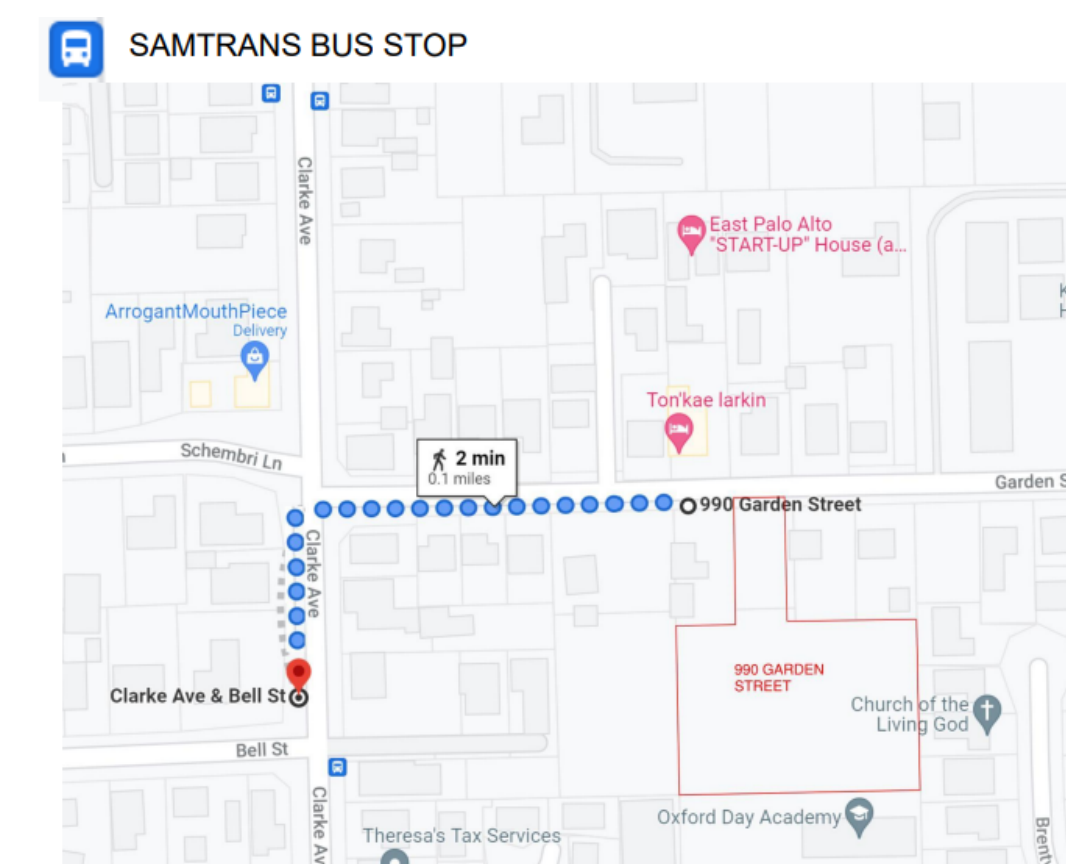


997 GARDEN

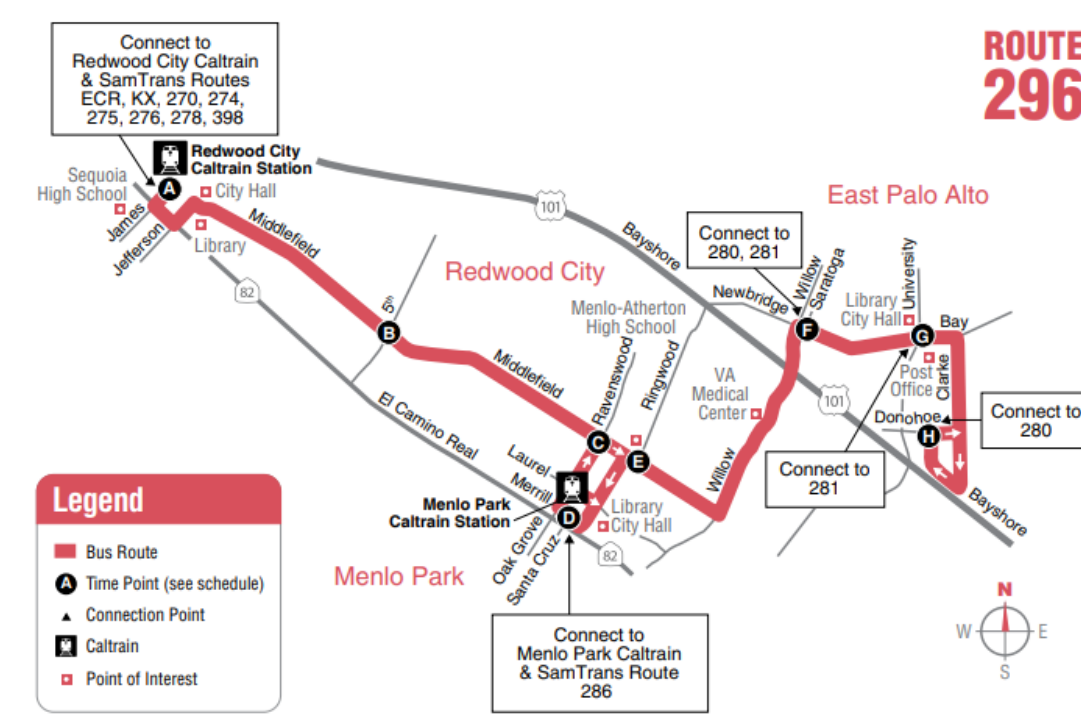
**NORTH SIDE NEIGHBOURS**



PROPOSED SITE & NEIGHBORHOOD WITH APPROVED DEVELOPMENT ADJACENT TO SITE  
\*APPROXIMATE LAYOUT



BUS STOP MAP SHOWING 0.1 MILE DISTANCE TO BUSTOP ID 363013 FROM PROJECT SITE



**ZONING ANALYSIS**

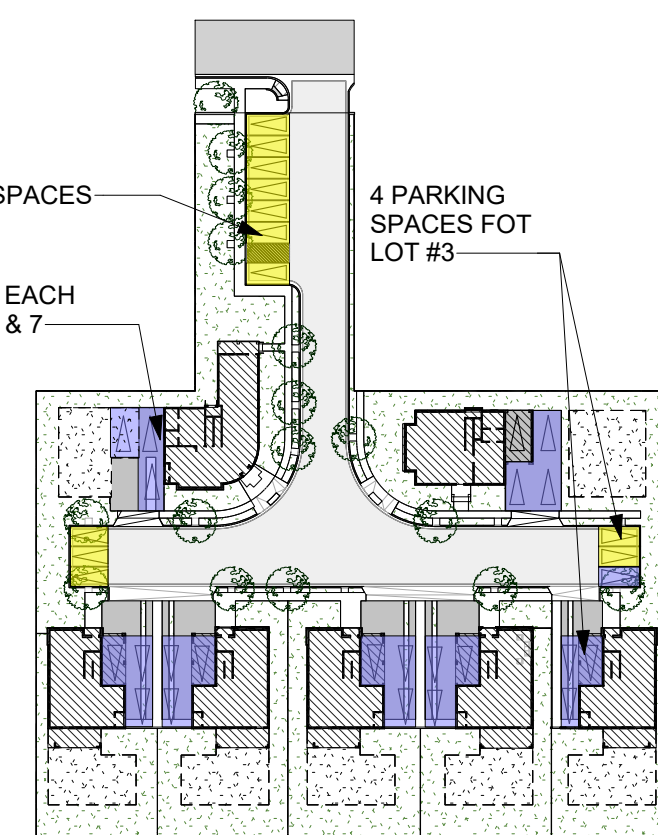
**SETBACKS:**

- FRONT: LIVING AREA: 10 FEET  
GARAGE FACE: 23 FEET
- SIDE/STREET SIDE: 5 FEET  
ABOVE 18 FEET OF STRUCTURE HEIGHT INCREASE SETBACK BY 1 FOOT FOR EACH 2 FEET INCREASE BEYOND 18 FEET
- REAR: FIRST STORY: 10 FEET  
SECOND STORY: 10 FEET\*  
\*ABOVE 18 FEET OF STRUCTURE HEIGHT INCREASE SETBACK BY 1 FOOT FOR EACH TWO FEET INCREASE BEYOND 18 FEET
- CORNER VISION TRIANGLE: 12 FEET
- SITE COVERAGE: 50%
- FLOOR AREA RATIO: 0.55
- HEIGHT: DWELLING: 2-STORY OR 26 FEET WHICHEVER IS GREATER.  
ACCESSORY: 15 FEET
- OPEN SPACE: 750 SQ.FT. IN REAR YARD OF PROPERTY, USABLE, OPEN, WITH NO HARDSCAPE
- COMMON OPEN SPACE: NOT APPLICABLE

	PERMITTED	PROPOSED
ALLOWABLE DENSITY:	0-12 UNITS/ACRE = 15 UNITS	7 UNITS
MINIMUM PARCEL AREA:	5,500 SQ.FT WITH ADU	5,500/6,370/6,488 SQ.FT.
MINIMUM PARCEL WIDTH:	50 FEET FRONTAGE	50 FEET MIN.
MINIMUM PARCEL DEPTH:	100 FEET MINIMUM	100 FEET MIN.
MAX. FLOOR AREA RATIO:	0.55	0.54 MAX. (VARIES)
MAX. COVERAGE:	50%	42.7% MAX. (VARIES)
MAXIMUM HEIGHT:	2 STORIES/ 26 FEET	2 STORIES/ 26 FEET
OPEN SPACE:	750 SQ.FT MIN.	830 MIN. @ REAR YARD (VARIES)

**OFF STREET PARKING FOR 8 UNITS**

REQUIRED	PROPOSED
3/PER UNIT FOR 6 UNITS 2/PER UNIT FOR 2 UNITS	18 SPACES (LOT #1,2,4,5,6 & 7) 4 SPACES (LOT #3)
<b>GUEST PARKING</b> 1/PER UNIT = 8 SPACES	12 SPACES
PROPOSED PARKING EXCEEDS ZONING REQUIREMENTS	

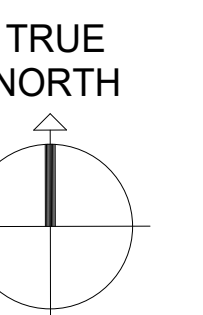


PROPOSED PARKING MAP SHOWING RESIDENTIAL & GUEST PARKING LOCATION

Date: 12/14/2022

REVISION:

Scale: AS NOTED



Sheet title:

NEIGHBORHOOD CONTEXT & ZONING ANALYSIS

Sheet no.

A0.1

of



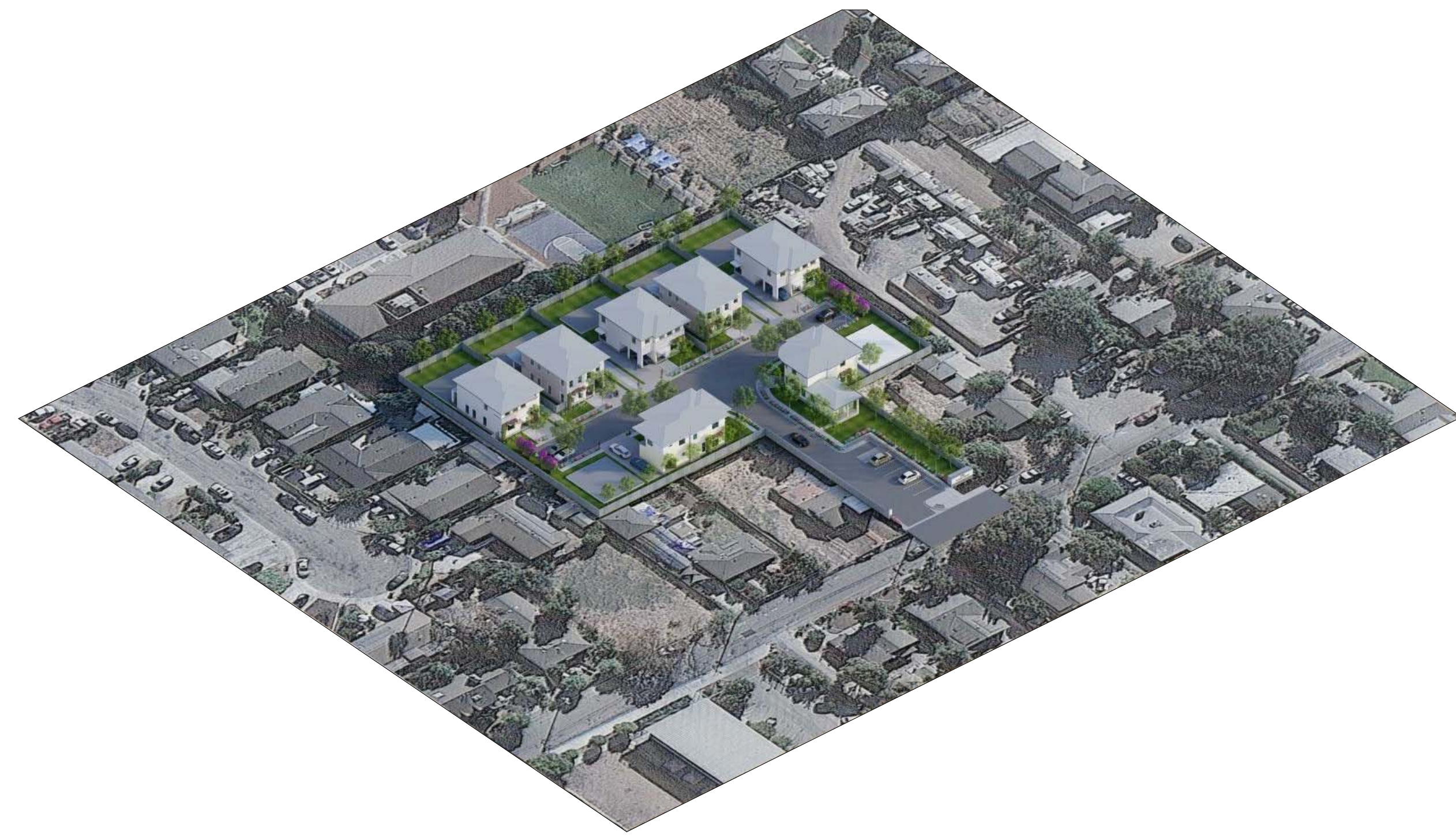
**GARDEN PLACE**

990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



**3D VIEW 1 - LOOKING EAST AT THE INTERSECTION OF INTERIOR ROADS**



**3D VIEW 4 - ARIAL VIEW GARDEN PLACE**



**3D VIEW 2 - LOOKING EAST ON INTERIOR ROAD**



Date: 12/14/2022

REVISION:

Scale: AS NOTED

Sheet title:

IEWS

Sheet no.

A0.2

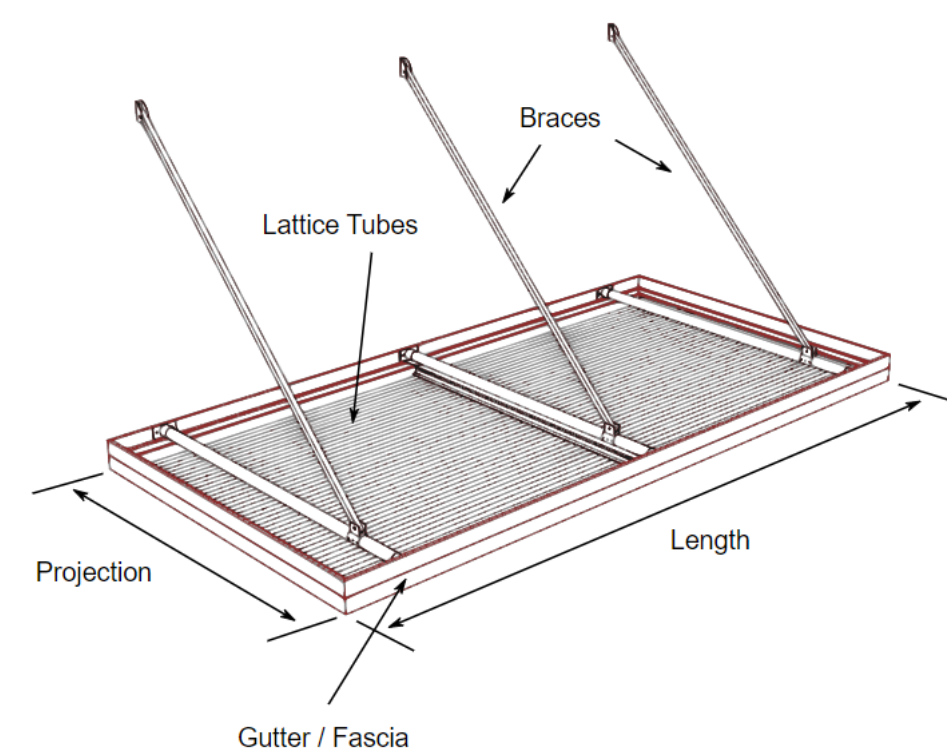
of

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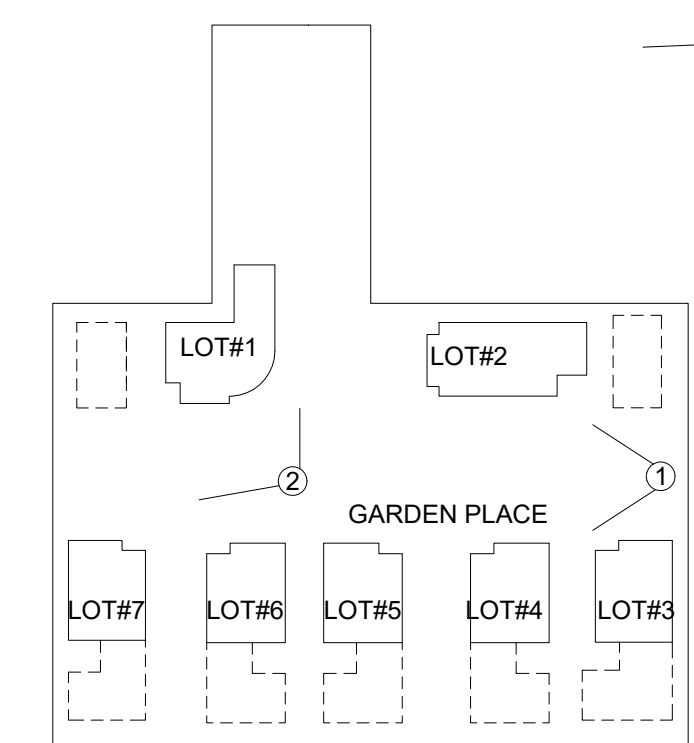
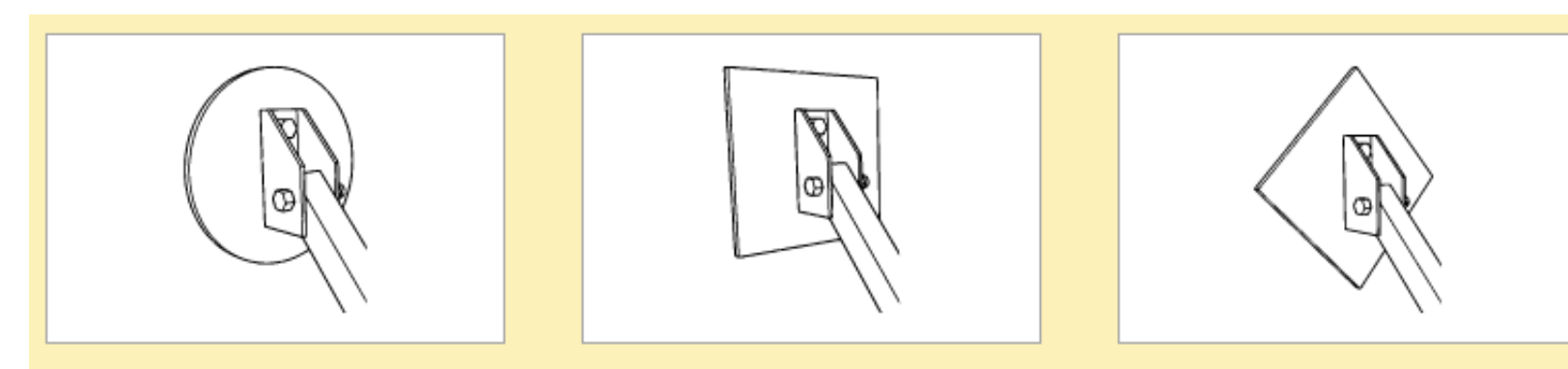
**AWNING DETAIL**

This stylish aluminum awning is popular for commercial and multifamily residential properties, but can be used for single family homes as well. Its overhead brace design allows it to be used where vertical support posts are not suitable.

- Heavy gauge extruded aluminum gutter/fascia around the entire perimeter.
- Structural 1.5" square lattice tubes spaced 4.5" on center (spacing adjustable upon request).
- Powder coated overhead steel braces.
- 6" tall fascia with optional extensions for up to a 24" tall fascia.
- Optional fabric valance with available lettering.
- Optional downspout kit.
- Shop drawings and engineer sealed drawings and calculations are available.



**ISOMETRIC VIEW**

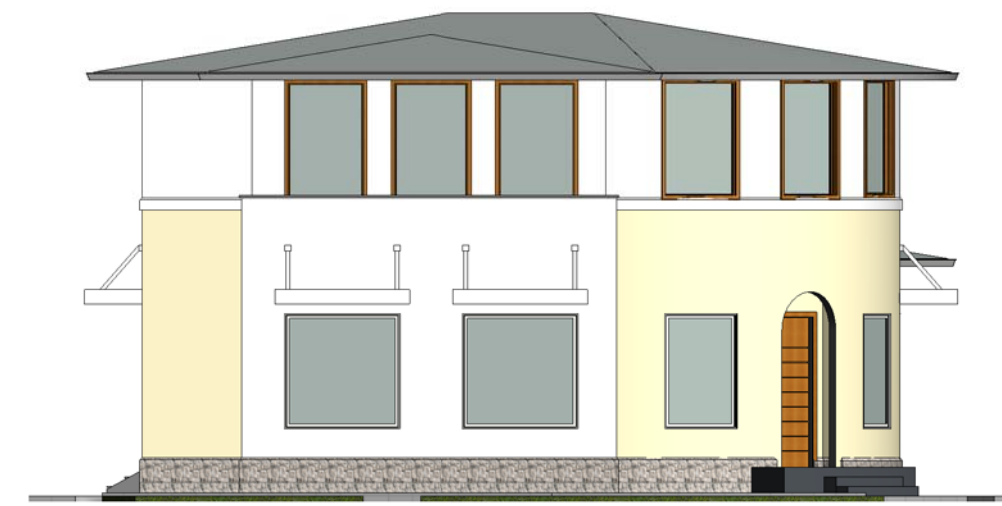


**KEY PLAN**

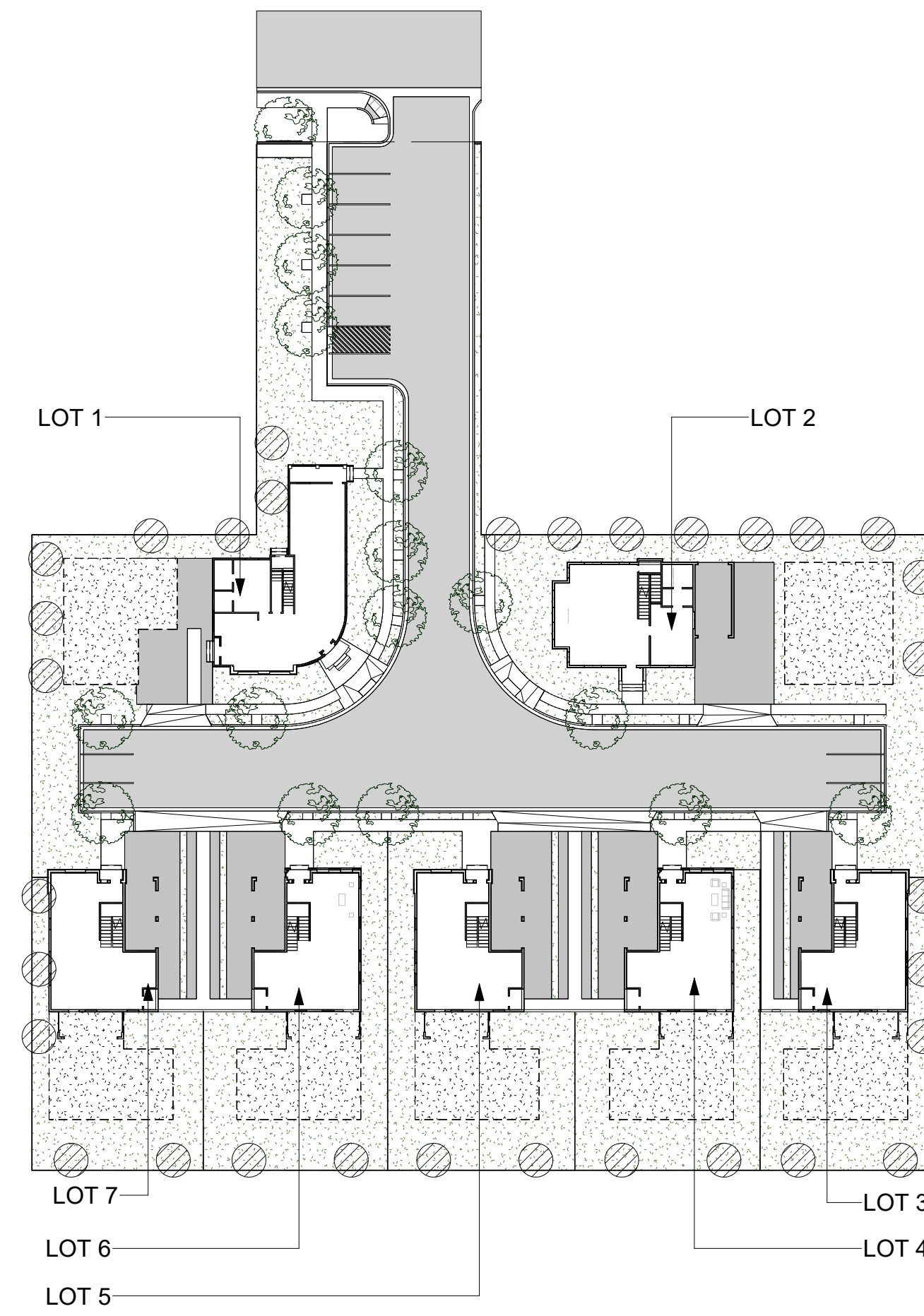


**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



LOT 1 ELEVATION



LOT 2 ELEVATION



LOT 7 ELEVATION



LOT 6 ELEVATION



LOT 5 ELEVATION



LOT 4 ELEVATION



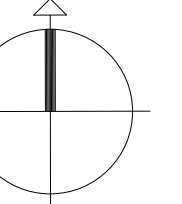
LOT 3 ELEVATION

Date: 12/14/2022

REVISION:

Scale: AS NOTED

TRUE  
NORTH



Sheet title:

CONCEPT SHEET-MATERIAL AND  
FEATURES

Sheet no.

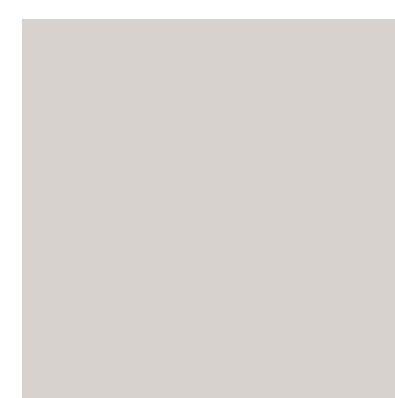
A0.3

of

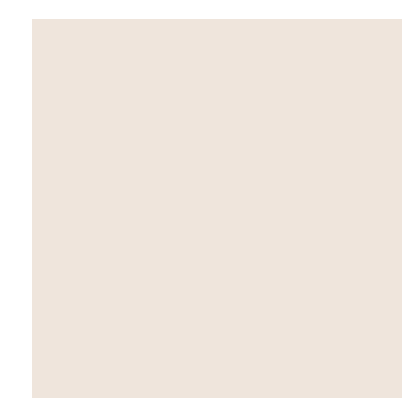
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BENJAMIN MOORE -  
WINTER SUNSHINE - 345



#d7d2ce



#efe5dc



#d3c0b2



ELDORADO STONE - ROUGH  
CUT - LOIRE VALLEY



**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL

Date: 12/14/2022

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Scale: AS NOTED

Sheet title:

**AREA ANALYSIS**

Sheet no.

**A0.4**

of

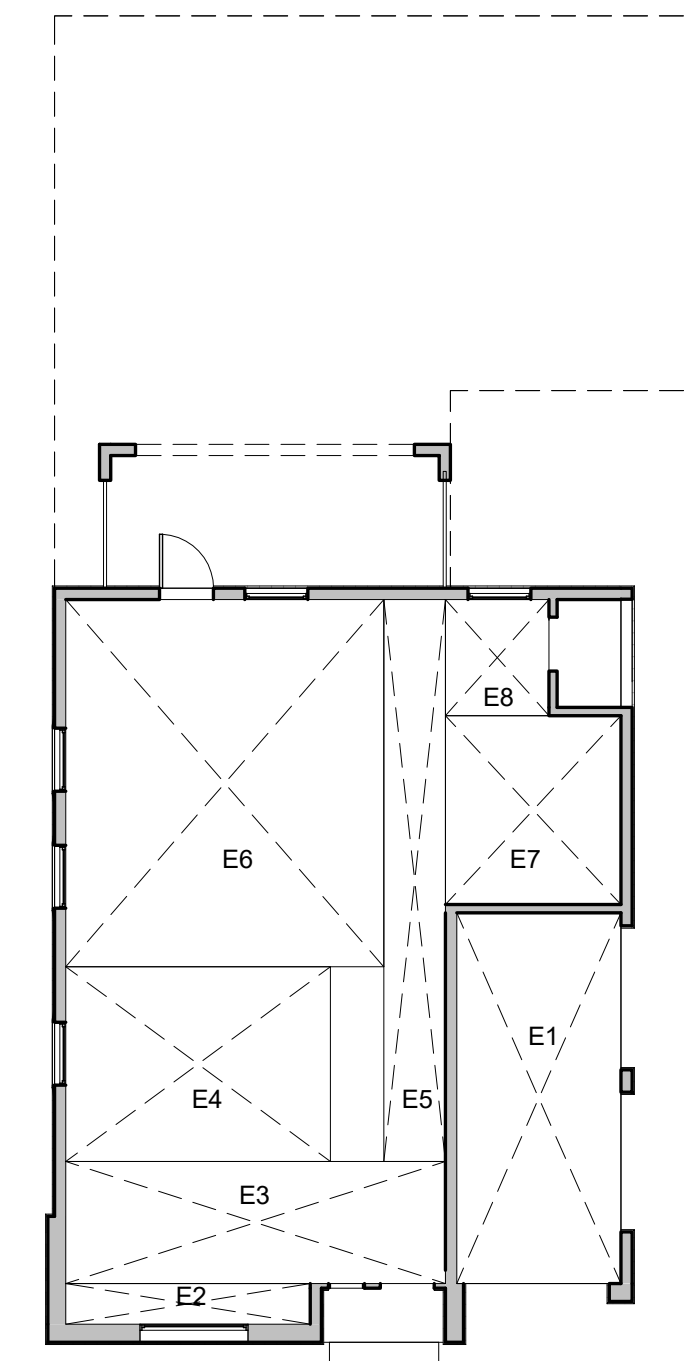
**LOT 3 AREA DIAGRAM**

**FIRST FLOOR AREA**

BLOCK E1 : 09.13 X 20.61	= 188.17 SQ.FT.
BLOCK E2 : 13.59 X 03.00	= 40.77 SQ.FT.
BLOCK E3 : 21.11 X 06.05	= 127.66 SQ.FT.
BLOCK E4 : 14.72 X 10.83	= 159.42 SQ.FT.
BLOCK E5 : 03.43 X 31.24	= 107.07 SQ.FT.
BLOCK E6 : 17.68 X 20.41	= 360.99 SQ.FT.
BLOCK E7 : 09.75 X 10.50	= 102.38 SQ.FT.
BLOCK E8 : 05.75 X 06.46	= 37.12 SQ.FT.

FIRST FLOOR AREA = **1,123.57 SQ.FT.**

TOTAL FOOTPRINT AREA = **1,499.87 SQ.FT.**



**LOT 3 AREA DIAGRAM**

**SECOND FLOOR AREA**

BLOCK F1 : 21.11 X 08.59	= 181.31 SQ.FT.
BLOCK F2 : 09.75 X 38.02	= 370.72 SQ.FT.
BLOCK F3 : 04.09 X 14.29	= 58.49 SQ.FT.
BLOCK F4 : 07.52 X 17.41	= 130.97 SQ.FT.
BLOCK F5 : 13.59 X 31.70	= 430.81 SQ.FT.

SECOND FLOOR AREA = **1,172.3 SQ.FT.**

TOTAL AREA = (FIRST FLOOR + SECOND FLOOR)  
= (1123.57 + 1172.3)  
= **2,295.87 SQ. FT.**

**LOT 3 AREA ANALYSIS**

LOT SIZE:	REQUIRED/ALLOWABLE	PROPOSED
5,500 SQ.FT. MIN.	5,500 SQ.FT. MIN.	5,500 SQ.FT.
MAX. FAR:	0.55 (3,025 SQ.FT.)	2,295.87 SQ.FT. (0.42)
MAX. COVERAGE AREA:	50%	1,499.87 SQ.FT. (27.27%)
MIN. PRIVATE OPEN SPACE:	750 SQ.FT. (AREA)	2,138.86 SQ.FT. (AREA)
LOT WIDTH:	50 FT MIN. FRONTAGE	50 FEET
LOT DEPTH:	100 FT MIN.	100 FEET

LOT #3

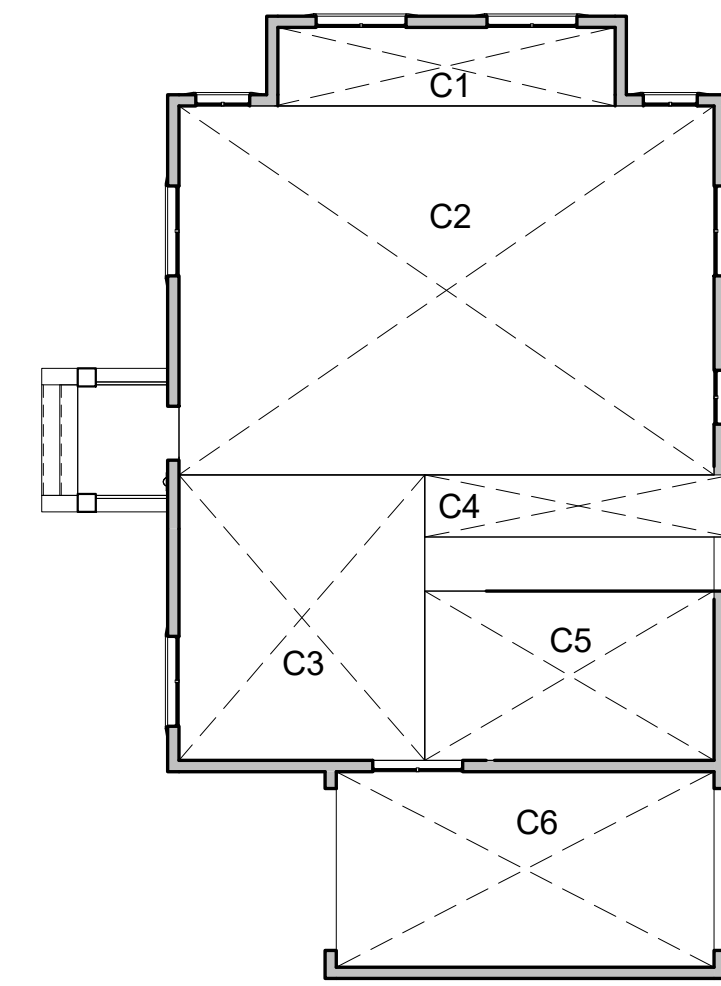
**LOT 2 AREA DIAGRAM**

**FIRST FLOOR AREA**

BLOCK C1 : 18.75 X 4.37	= 81.93 SQ.FT.
BLOCK C2 : 29.75 X 20.51	= 610.03 SQ.FT.
BLOCK C3 : 13.67 X 15.88	= 216.96 SQ.FT.
BLOCK C4 : 17.08 X 3.46	= 59.08 SQ.FT.
BLOCK C5 : 16.08 X 9.42	= 151.45 SQ.FT.
BLOCK C6 : 21.00 X 10.88	= 228.38 SQ.FT.

FIRST FLOOR AREA = **1,347.8 SQ.FT.**

TOTAL FOOTPRINT AREA = **1,517.18 SQ.FT.**



**LOT 2 AREA DIAGRAM**

**SECOND FLOOR AREA**

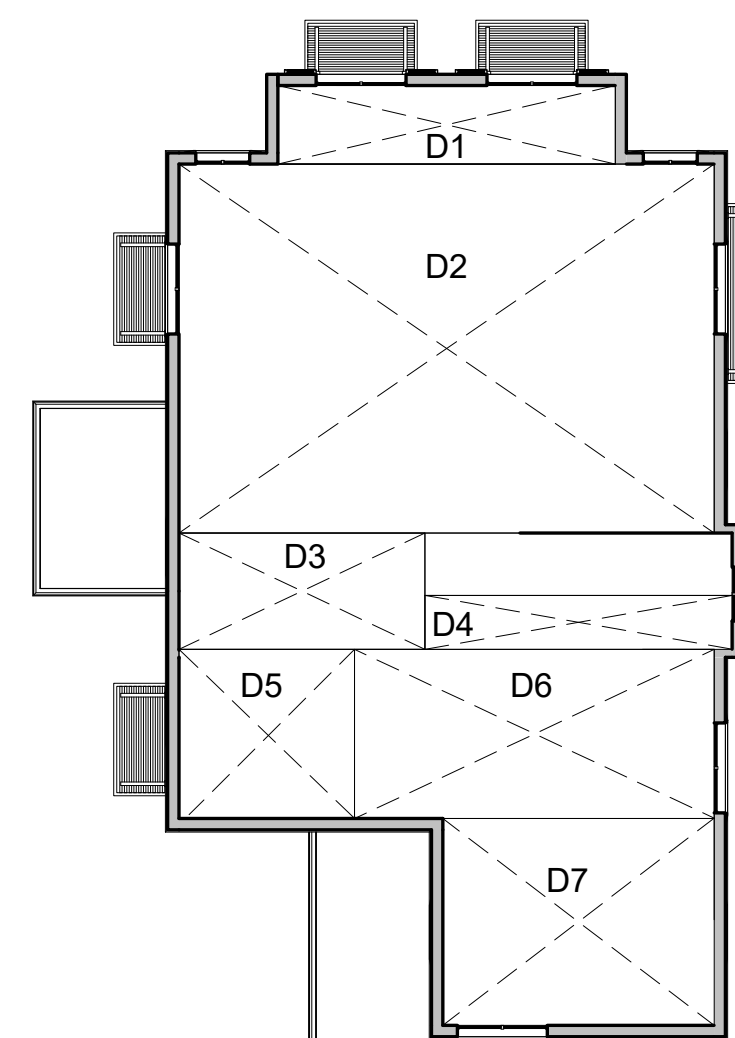
BLOCK D1 : 18.75 X 4.37	= 81.93 SQ.FT.
BLOCK D2 : 29.75 X 20.51	= 610.03 SQ.FT.
BLOCK D3 : 13.67 X 6.47	= 88.41 SQ.FT.
BLOCK D4 : 17.08 X 3.00	= 51.41 SQ.FT.
BLOCK D5 : 9.75 X 9.41	= 91.71 SQ.FT.
BLOCK D6 : 20.00 X 9.41	= 188.12 SQ.FT.
BLOCK D7 : 15.08 X 11.50	= 173.54 SQ.FT.

SECOND FLOOR AREA = **1,285.15 SQ.FT.**

TOTAL AREA = (FIRST FLOOR + SECOND FLOOR)  
= (1347.80 + 1285.15)  
= **2,632.95 SQ.FT.**

**LOT 2 AREA ANALYSIS**

LOT SIZE:	REQUIRED/ALLOWABLE	PROPOSED
5,500 SQ.FT. MIN. W/ ADU	5,500 SQ.FT. MIN.	6,489 SQ.FT.
MAX. FAR:	0.55 (3,568.4 SQ.FT.)	2,632.95 SQ.FT. (0.4)
MAX. COVERAGE AREA:	50% (3,244 SQ.FT.)	1,557.57 SQ.FT. (24%)
MIN. PRIVATE OPEN SPACE:	750 SQ.FT. (REAR)	3243.38 SQ.FT. (REAR)
LOT WIDTH:	50 FT MIN. FRONTAGE	50 FEET
LOT DEPTH:	100 FT MIN.	128.5 FEET



LOT #2

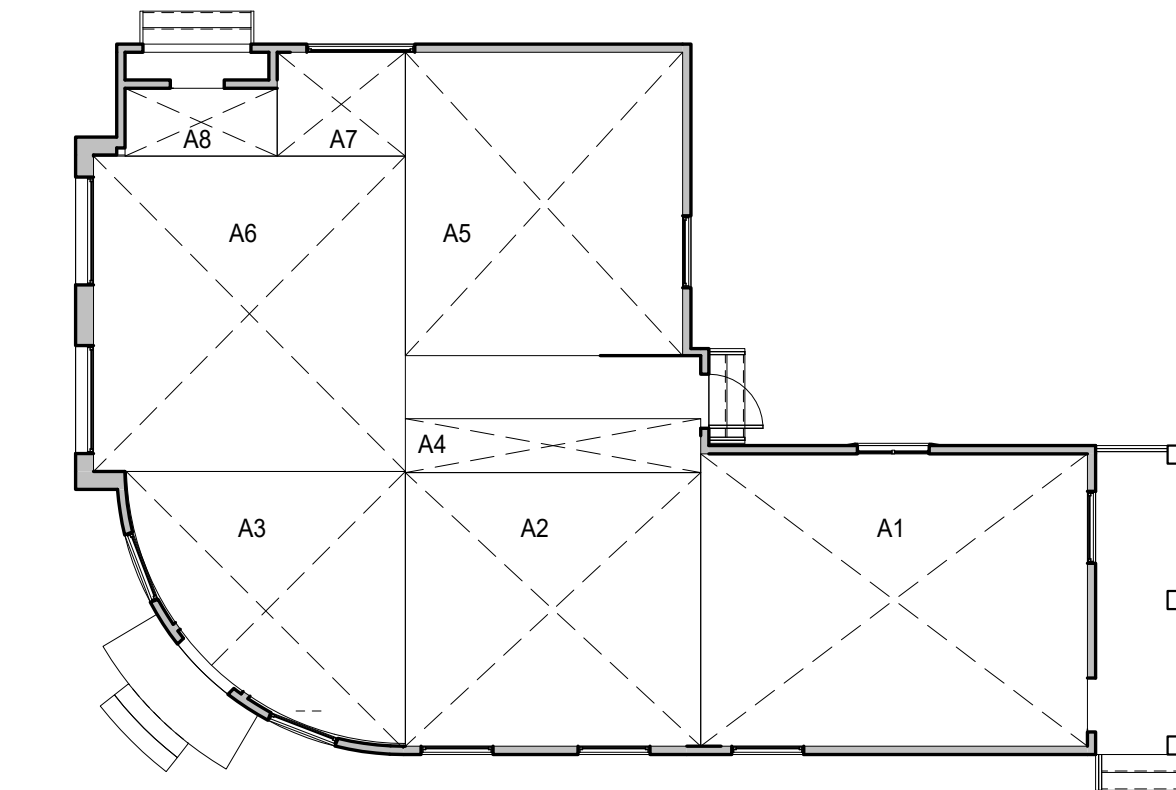
**LOT 1 AREA DIAGRAM**

**FIRST FLOOR AREA**

BLOCK A1 : 22.04 X 16.25	= 358.21 SQ.FT.
BLOCK A2 : 15.88 X 15.21	= 241.46 SQ.FT.
BLOCK A3 : 17.33 X 17.53	= 303.83 SQ.FT.
BLOCK A4 : 16.42 X 03.00	= 49.25 SQ.FT.
BLOCK A5 : 15.42 X 16.87	= 260.02 SQ.FT.
BLOCK A6 : 07.13 X 05.78	= 41.17 SQ.FT.
BLOCK A7 : 08.46 X 03.78	= 31.93 SQ.FT.

FIRST FLOOR AREA = **1,468.8 SQ.FT.**

TOTAL FOOTPRINT AREA = **1,710.40 SQ.FT.**



**LOT 1 AREA DIAGRAM**

**SECOND FLOOR AREA**

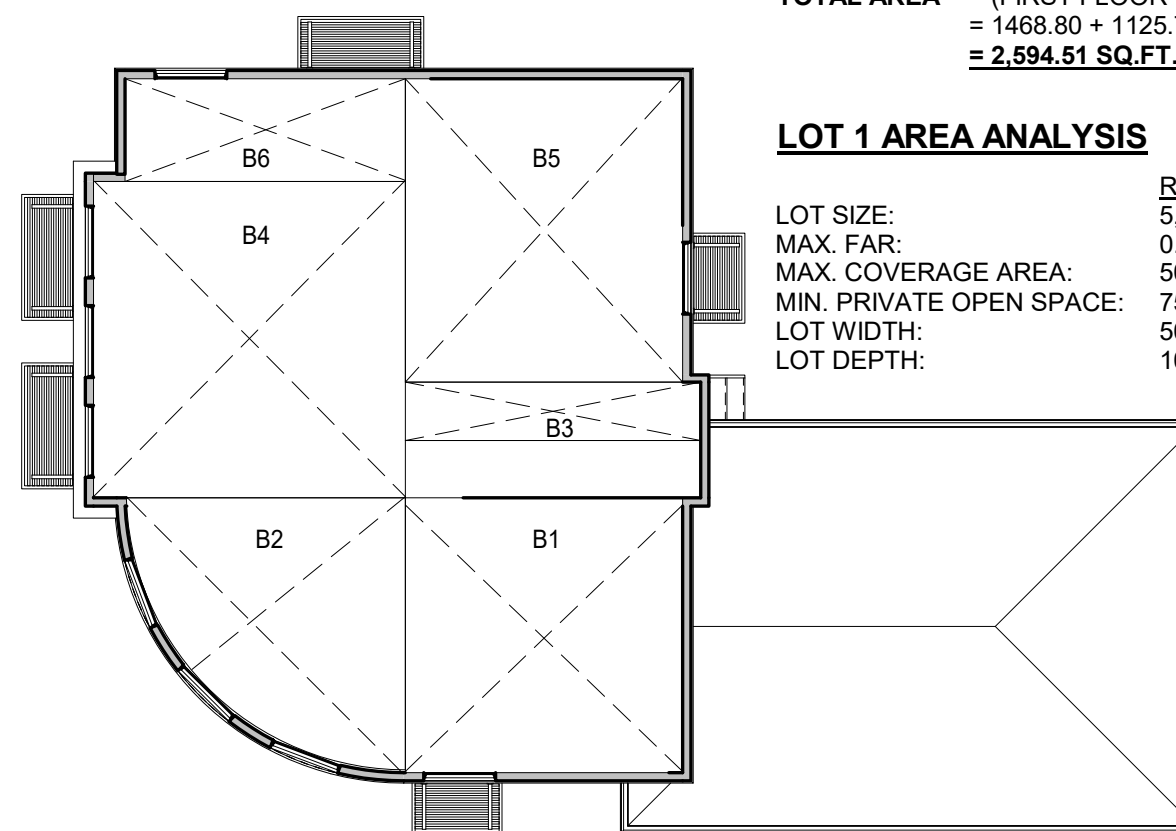
BLOCK B1 : 15.42 X 15.27	= 235.45 SQ.FT.
BLOCK B2 : 00.00 X 00.00	= 182.93 SQ.FT.
BLOCK B3 : 16.46 X 03.25	= 53.35 SQ.FT.
BLOCK B4 : 17.33 X 17.59	= 304.92 SQ.FT.
BLOCK B5 : 15.42 X 16.87	= 260.02 SQ.FT.
BLOCK B6 : 15.59 X 05.71	= 89.04 SQ.FT.

SECOND FLOOR AREA = **1,125.71 SQ.FT.**

TOTAL AREA = (FIRST FLOOR + SECOND FLOOR)  
= 1468.80 + 1125.71  
= **2,594.51 SQ.FT.**

**LOT 1 AREA ANALYSIS**

LOT SIZE:	REQUIRED/ALLOWABLE	PROPOSED
5,500 SQ.FT. MIN.	5,500 SQ.FT. MIN.	6,463.2 SQ.FT.
MAX. FAR:	0.55 (3,554.8 SQ.FT.)	2,594.51 (0.40)
MAX. COVERAGE AREA:	50% (3,185 SQ.FT.)	1,710.40 SQ.FT. (26.46%)
MIN. PRIVATE OPEN SPACE:	750 SQ.FT. (REAR)	3,056.80 SQ.FT. (REAR)
LOT WIDTH:	50 FT MIN. FRONTAGE	89.5 FEET
LOT DEPTH:	100 FT MIN.	100 FEET



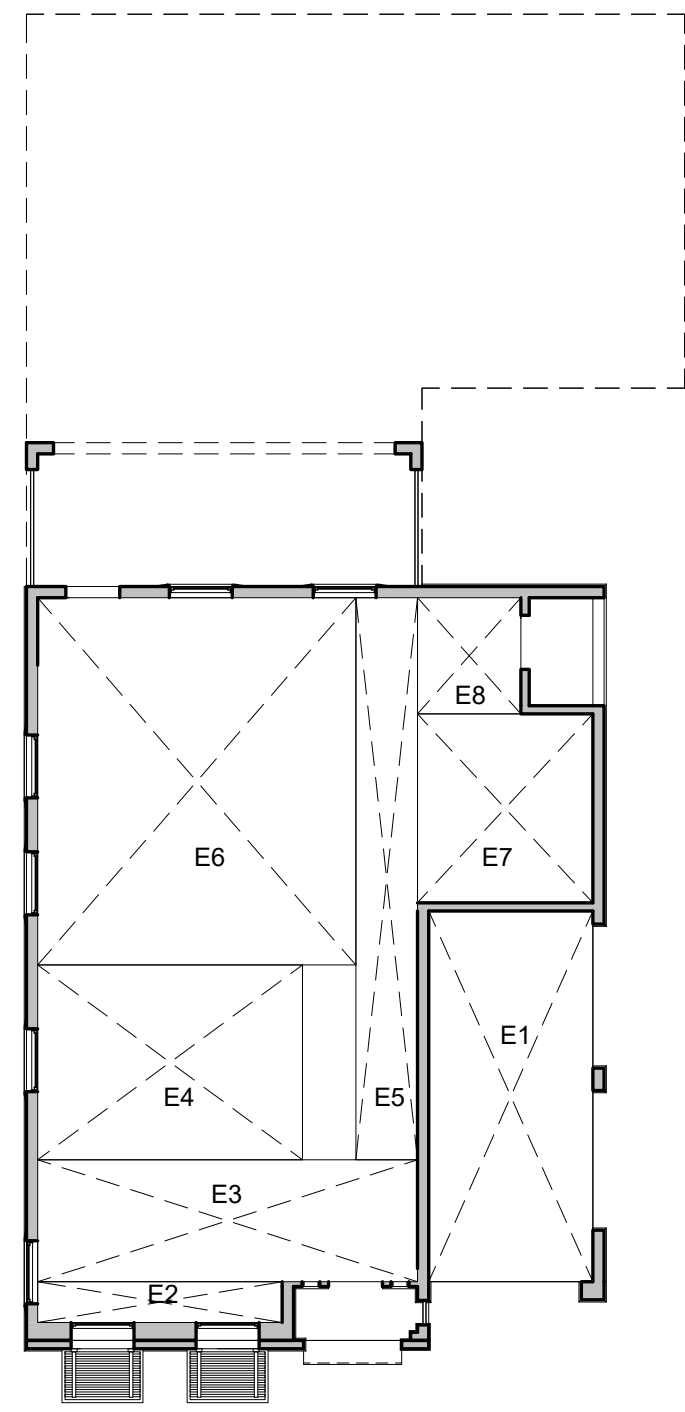
LOT #1



**GARDEN PLACE**

990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



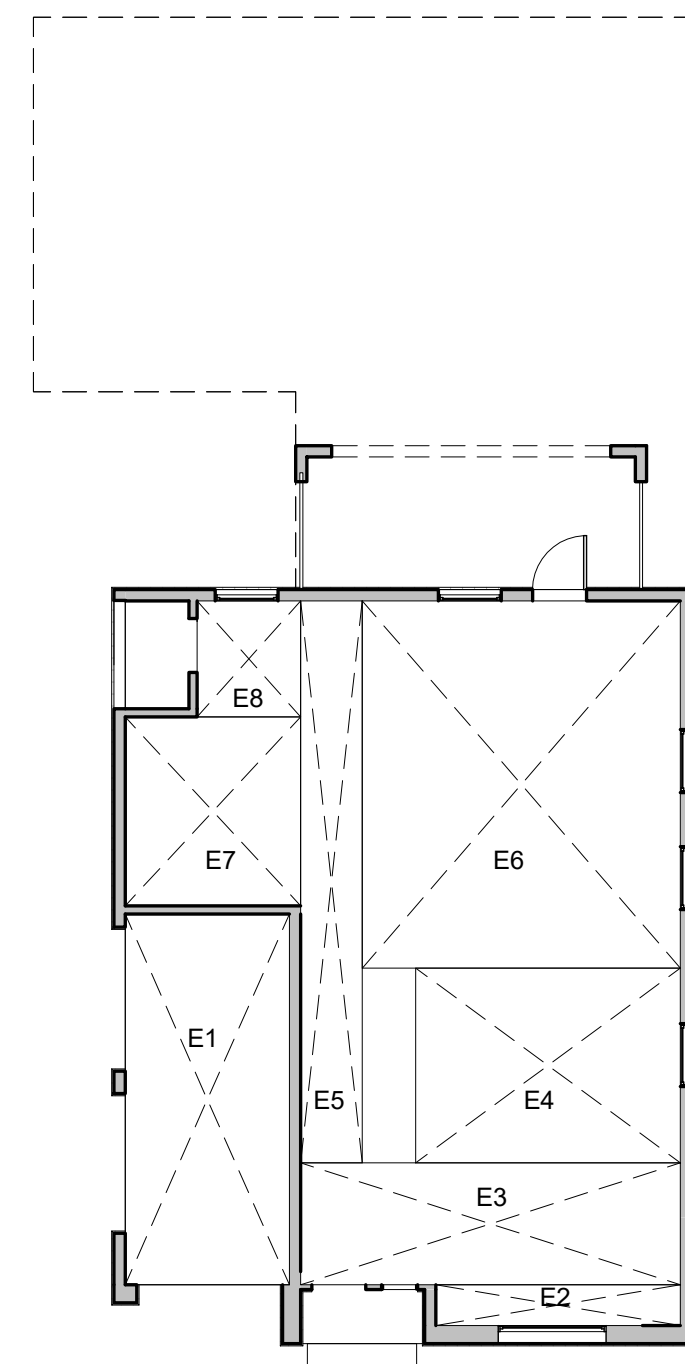
**LOT 4 AREA DIAGRAM**

**FIRST FLOOR AREA**

BLOCK E1 : 09.13 X 20.61	= 188.17 SQ.FT.
BLOCK E2 : 13.59 X 03.00	= 40.77 SQ.FT.
BLOCK E3 : 21.11 X 06.05	= 127.65 SQ.FT.
BLOCK E4 : 14.72 X 10.83	= 159.42 SQ.FT.
BLOCK E5 : 03.43 X 31.24	= 107.07 SQ.FT.
BLOCK E6 : 17.68 X 20.41	= 360.99 SQ.FT.
BLOCK E7 : 09.75 X 10.50	= 102.38 SQ.FT.
BLOCK E8 : 05.75 X 06.46	= 37.12 SQ.FT.

FIRST FLOOR AREA = **1,123.57 SQ.FT.**

TOTAL FOOTPRINT AREA = **1,504.95 SQ.FT.**



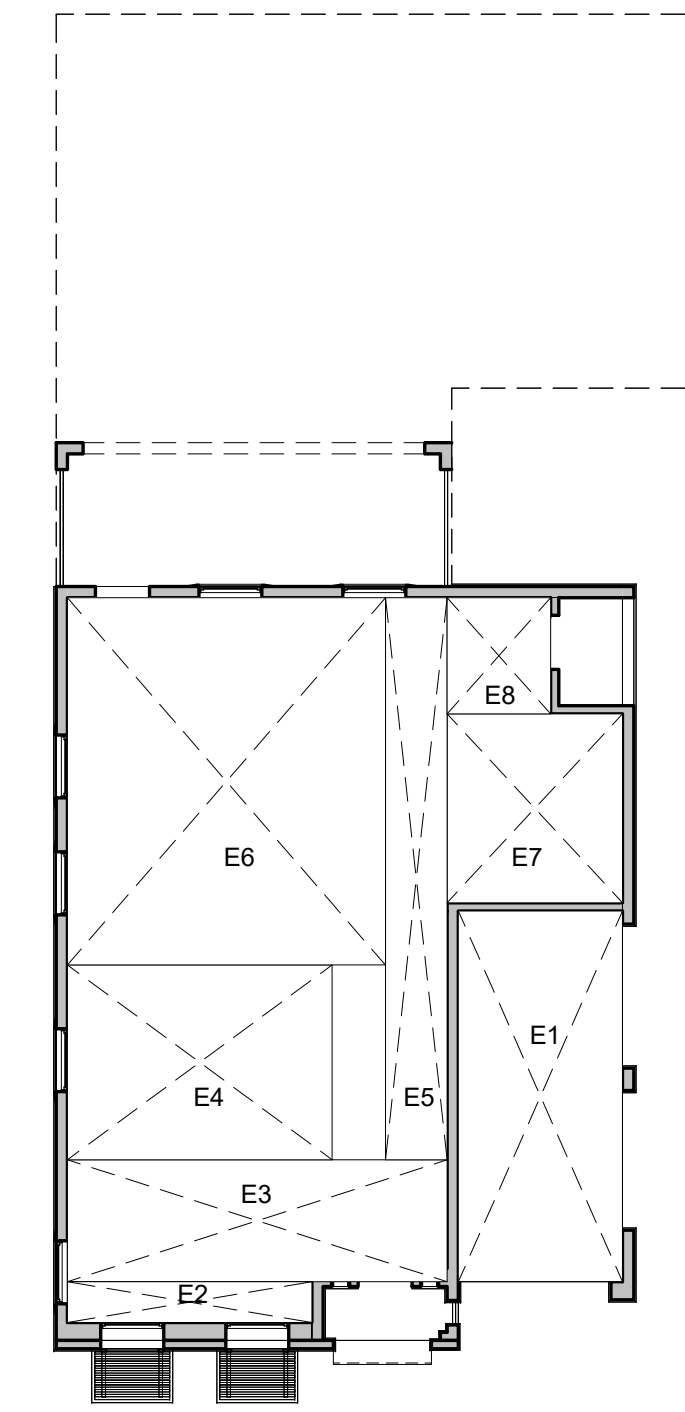
**LOT 5 AREA DIAGRAM**

**FIRST FLOOR AREA**

BLOCK E1 : 09.13 X 20.61	= 188.17 SQ.FT.
BLOCK E2 : 13.59 X 03.00	= 40.77 SQ.FT.
BLOCK E3 : 21.11 X 06.05	= 127.65 SQ.FT.
BLOCK E4 : 14.72 X 10.83	= 159.42 SQ.FT.
BLOCK E5 : 03.43 X 31.24	= 107.07 SQ.FT.
BLOCK E6 : 17.68 X 20.41	= 360.99 SQ.FT.
BLOCK E7 : 09.75 X 10.50	= 102.38 SQ.FT.
BLOCK E8 : 05.75 X 06.46	= 37.12 SQ.FT.

FIRST FLOOR AREA = **1,123.57 SQ.FT.**

TOTAL FOOTPRINT AREA = **1,499.87 SQ.FT.**



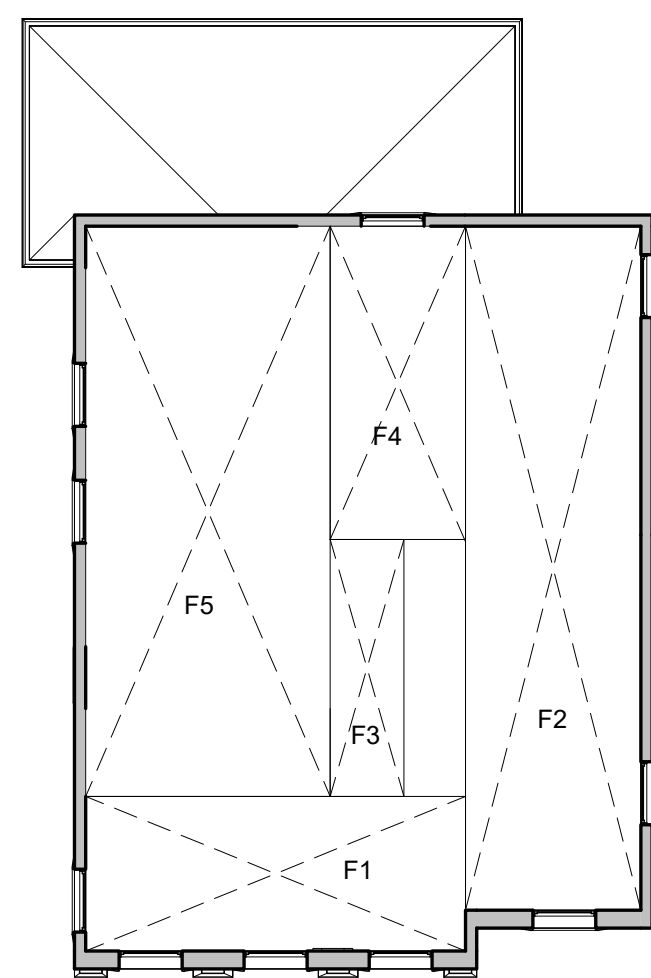
**LOT 6 AREA DIAGRAM**

**FIRST FLOOR AREA**

BLOCK E1 : 09.13 X 20.61	= 188.17 SQ.FT.
BLOCK E2 : 13.59 X 03.00	= 40.77 SQ.FT.
BLOCK E3 : 21.11 X 06.05	= 127.65 SQ.FT.
BLOCK E4 : 14.72 X 10.83	= 159.42 SQ.FT.
BLOCK E5 : 03.43 X 31.24	= 107.07 SQ.FT.
BLOCK E6 : 17.68 X 20.41	= 360.99 SQ.FT.
BLOCK E7 : 09.75 X 10.50	= 102.38 SQ.FT.
BLOCK E8 : 05.75 X 06.46	= 37.12 SQ.FT.

FIRST FLOOR AREA = **1,123.57 SQ.FT.**

TOTAL FOOTPRINT AREA = **1,504.95 SQ.FT.**



**LOT 4 AREA DIAGRAM**

**SECOND FLOOR AREA**

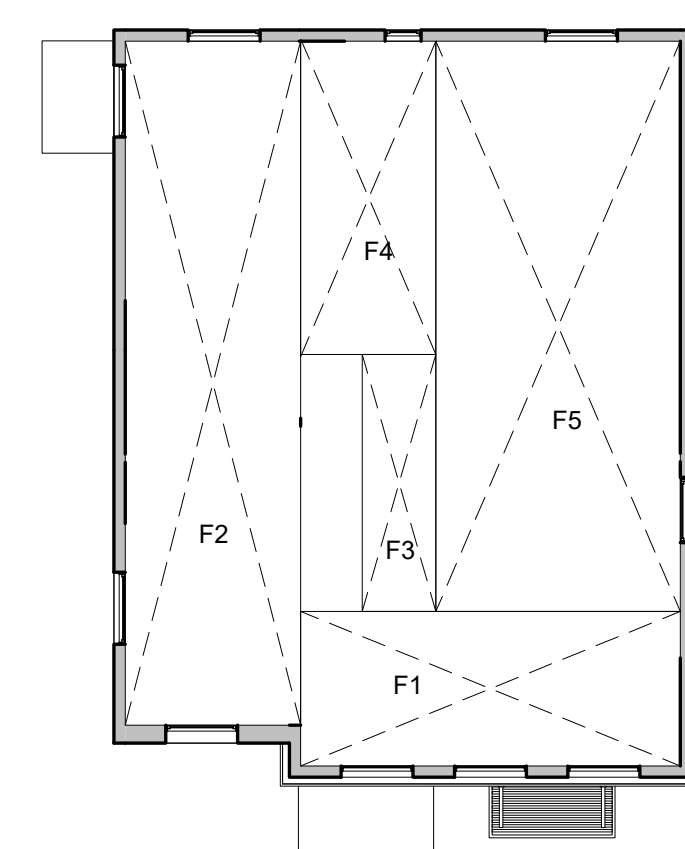
BLOCK F1 : 21.11 X 08.59	= 181.31 SQ.FT.
BLOCK F2 : 09.75 X 38.02	= 370.72 SQ.FT.
BLOCK F3 : 04.09 X 14.29	= 58.49 SQ.FT.
BLOCK F4 : 07.52 X 17.41	= 130.97 SQ.FT.
BLOCK F5 : 13.59 X 31.70	= 430.81 SQ.FT.

SECOND FLOOR AREA = **1,172.3 SQ.FT.**

TOTAL AREA = (FIRST FLOOR + SECOND FLOOR)  
= (1,123.57 + 1,172.3)  
= **2,295.87 SQ.FT.**

**LOT 4 AREA ANALYSIS**

	REQUIRED/ALLOWABLE	PROPOSED
LOT SIZE:	5,500 SQ.FT. MIN.	5,500 SQ.FT.
MAX. FAR:	0.55 (3,025 SQ.FT.)	2,295.87 SQ.FT. (0.42)
MAX. COVERAGE AREA:	50%	1,504.95 SQ.FT. (27.36%)
MIN. PRIVATE OPEN SPACE:	750 SQ.FT. (AREA)	2,361.92 SQ.FT. (AREA)
LOT WIDTH:	50 FT MIN. FRONTAGE	50 FEET
LOT DEPTH:	100 FT MIN.	100 FEET



**LOT 5 AREA DIAGRAM**

**SECOND FLOOR AREA**

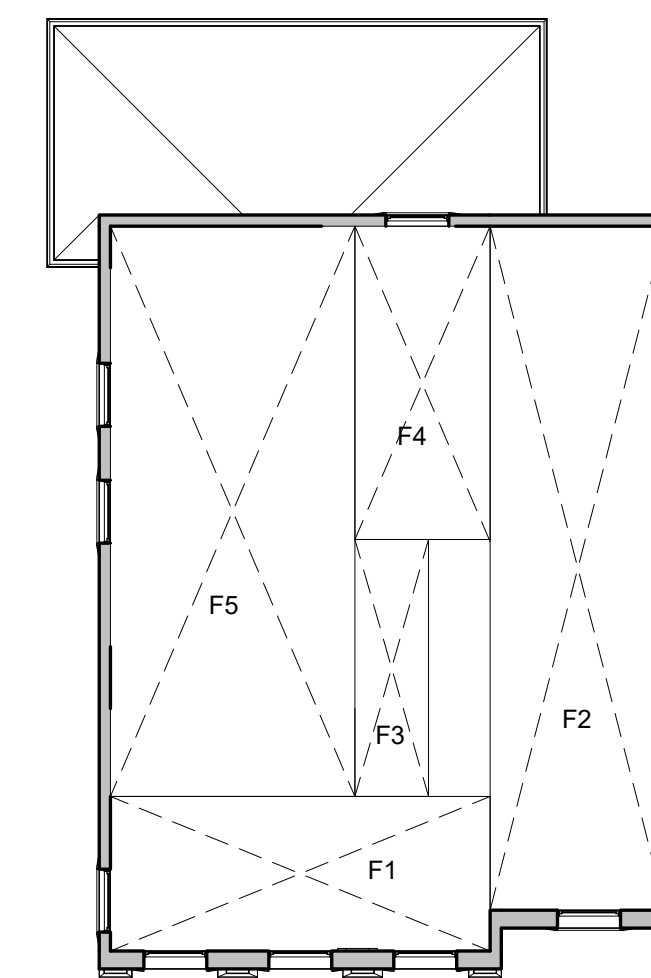
BLOCK F1 : 21.11 X 08.59	= 181.31 SQ.FT.
BLOCK F2 : 09.75 X 38.02	= 370.72 SQ.FT.
BLOCK F3 : 04.09 X 14.29	= 58.49 SQ.FT.
BLOCK F4 : 07.52 X 17.41	= 130.97 SQ.FT.
BLOCK F5 : 13.59 X 31.70	= 430.81 SQ.FT.

SECOND FLOOR AREA = **1,172.3 SQ.FT.**

TOTAL AREA = (FIRST FLOOR + SECOND FLOOR)  
= (1,123.57 + 1,172.3)  
= **2,295.87 SQ.FT.**

**LOT 5 AREA ANALYSIS**

	REQUIRED/ALLOWABLE	PROPOSED
LOT SIZE:	5,500 SQ.FT. MIN.	5,500 SQ.FT.
MAX. FAR:	0.55 (3,025 SQ.FT.)	2,295.87 SQ.FT. (0.42)
MAX. COVERAGE AREA:	50%	1,499.87 SQ.FT. (27.27%)
MIN. PRIVATE OPEN SPACE:	750 SQ.FT. (AREA)	2,554.86 (AREA)
LOT WIDTH:	50 FT MIN. FRONTAGE	50 FEET
LOT DEPTH:	100 FT MIN.	100 FEET



**LOT 6 AREA DIAGRAM**

**SECOND FLOOR AREA**

BLOCK F1 : 21.11 X 08.59	= 181.31 SQ.FT.
BLOCK F2 : 09.75 X 38.02	= 370.72 SQ.FT.
BLOCK F3 : 04.09 X 14.29	= 58.49 SQ.FT.
BLOCK F4 : 07.52 X 17.41	= 130.97 SQ.FT.
BLOCK F5 : 13.59 X 31.70	= 430.81 SQ.FT.

SECOND FLOOR AREA = **1,172.3 SQ.FT.**

TOTAL AREA = (FIRST FLOOR + SECOND FLOOR)  
= (1,123.57 + 1,172.3)  
= **2,295.87 SQ.FT.**

**LOT 6 AREA ANALYSIS**

	REQUIRED/ALLOWABLE	PROPOSED
LOT SIZE:	5,500 SQ.FT. MIN.	5,500 SQ.FT.
MAX. FAR:	0.55 (3,025 SQ.FT.)	2,295.87 SQ.FT. (0.42)
MAX. COVERAGE AREA:	50%	1,504.95 SQ.FT. (27.36%)
MIN. PRIVATE OPEN SPACE:	750 SQ.FT. (AREA)	2,555.09 SQ.FT. (AREA)
LOT WIDTH:	50 FT MIN. FRONTAGE	50 FEET
LOT DEPTH:	100 FT MIN.	100 FEET

LOT #4

LOT #5

LOT #6

Date: 12/14/2022

REVISION:

Scale: AS NOTED

Sheet title:

AREA ANALYSIS

Sheet no.

A0.5

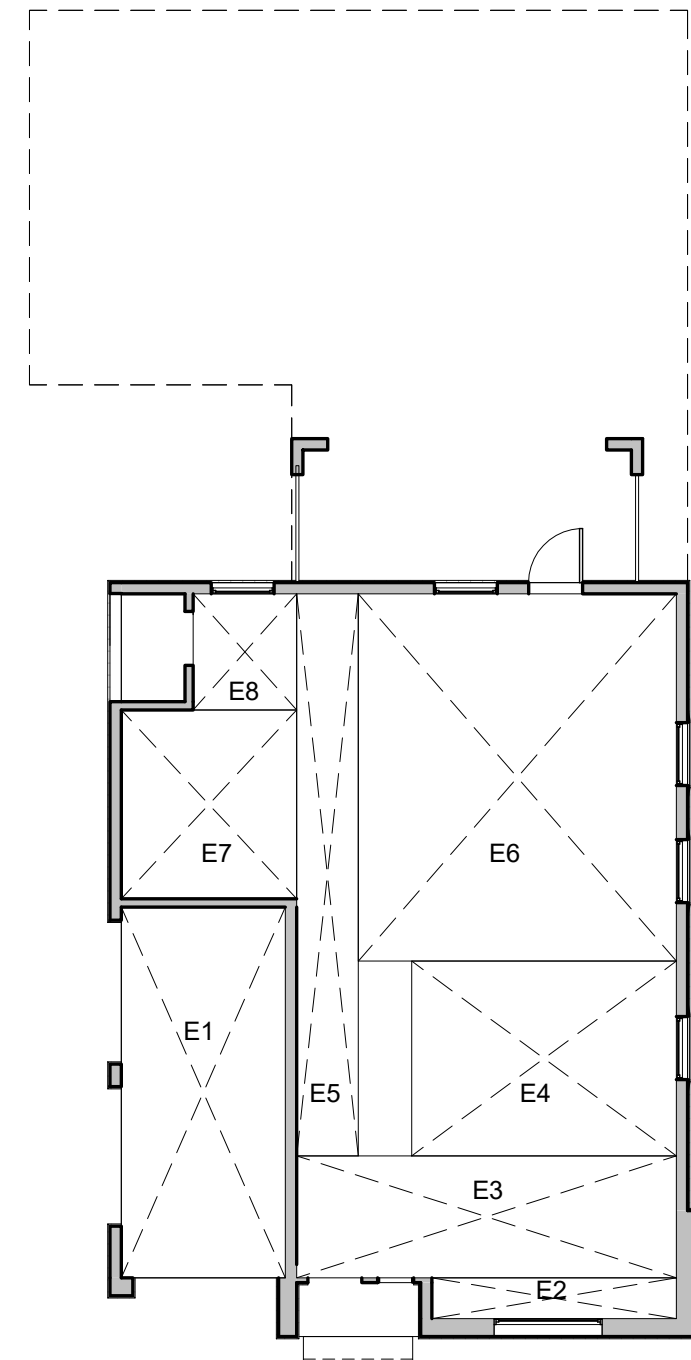
of



**GARDEN PLACE**

990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



**LOT 7 AREA DIAGRAM**

**FIRST FLOOR AREA**

BLOCK E1 : 09.13 X 20.61	= 188.17 SQ.FT.
BLOCK E2 : 13.59 X 03.00	= 40.77 SQ.FT.
BLOCK E3 : 21.11 X 06.05	= 127.65 SQ.FT.
BLOCK E4 : 14.72 X 10.83	= 159.42 SQ.FT.
BLOCK E5 : 03.43 X 31.24	= 107.07 SQ.FT.
BLOCK E6 : 17.68 X 20.41	= 360.99 SQ.FT.
BLOCK E7 : 09.75 X 10.50	= 102.38 SQ.FT.
BLOCK E8 : 05.75 X 06.46	= 37.12 SQ.FT.

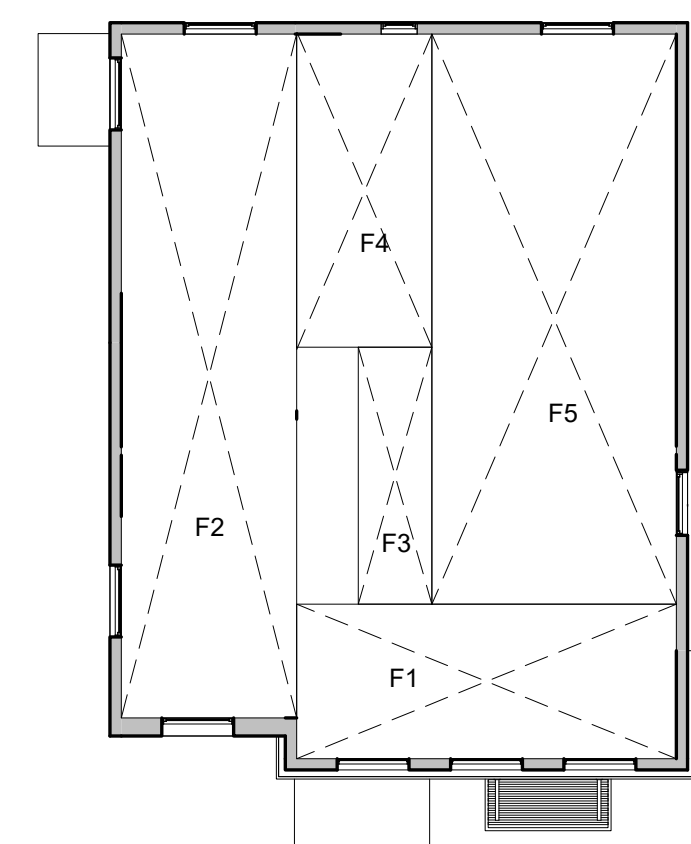
**FIRST FLOOR AREA = 1,123.57 SQ.FT.**

**TOTAL FOOTPRINT AREA = 1,499.87 SQ.FT.**

Date: 12/14/2022

REVISION:

Scale: AS NOTED



**LOT 7 AREA DIAGRAM**

**SECOND FLOOR AREA**

BLOCK F1 : 21.11 X 08.59	= 181.31 SQ.FT.
BLOCK F2 : 09.75 X 38.02	= 370.72 SQ.FT.
BLOCK F3 : 04.09 X 14.29	= 58.49 SQ.FT.
BLOCK F4 : 07.52 X 17.41	= 130.97 SQ.FT.
BLOCK F5 : 13.59 X 31.70	= 430.81 SQ.FT.

**SECOND FLOOR AREA = 1,172.3 SQ.FT.**

**TOTAL AREA = (FIRST FLOOR + SECOND FLOOR)  
= (1123.57 + 1172.3)  
= 2,295.87 SQ. FT.**

**LOT 7 AREA ANALYSIS**

	REQUIRED/ALLOWABLE	PROPOSED
LOT SIZE:	5,500 SQ.FT. MIN.	5,500 SQ.FT.
MAX. FAR:	0.55 (3.025 SQ.FT.)	2,295.87 SQ.FT. (0.42)
MAX. COVERAGE AREA:	50%	1,499.87 SQ.FT. (27.27%)
MIN. PRIVATE OPEN SPACE:	750 SQ.FT. (AREA)	2,194.23 SQ.FT. (AREA)
LOT WIDTH:	50 FT MIN. FRONTAGE	50 FEET
LOT DEPTH:	100 FT MIN.	100 FEET

Sheet title:

AREA ANALYSIS

Sheet no.

A0.6

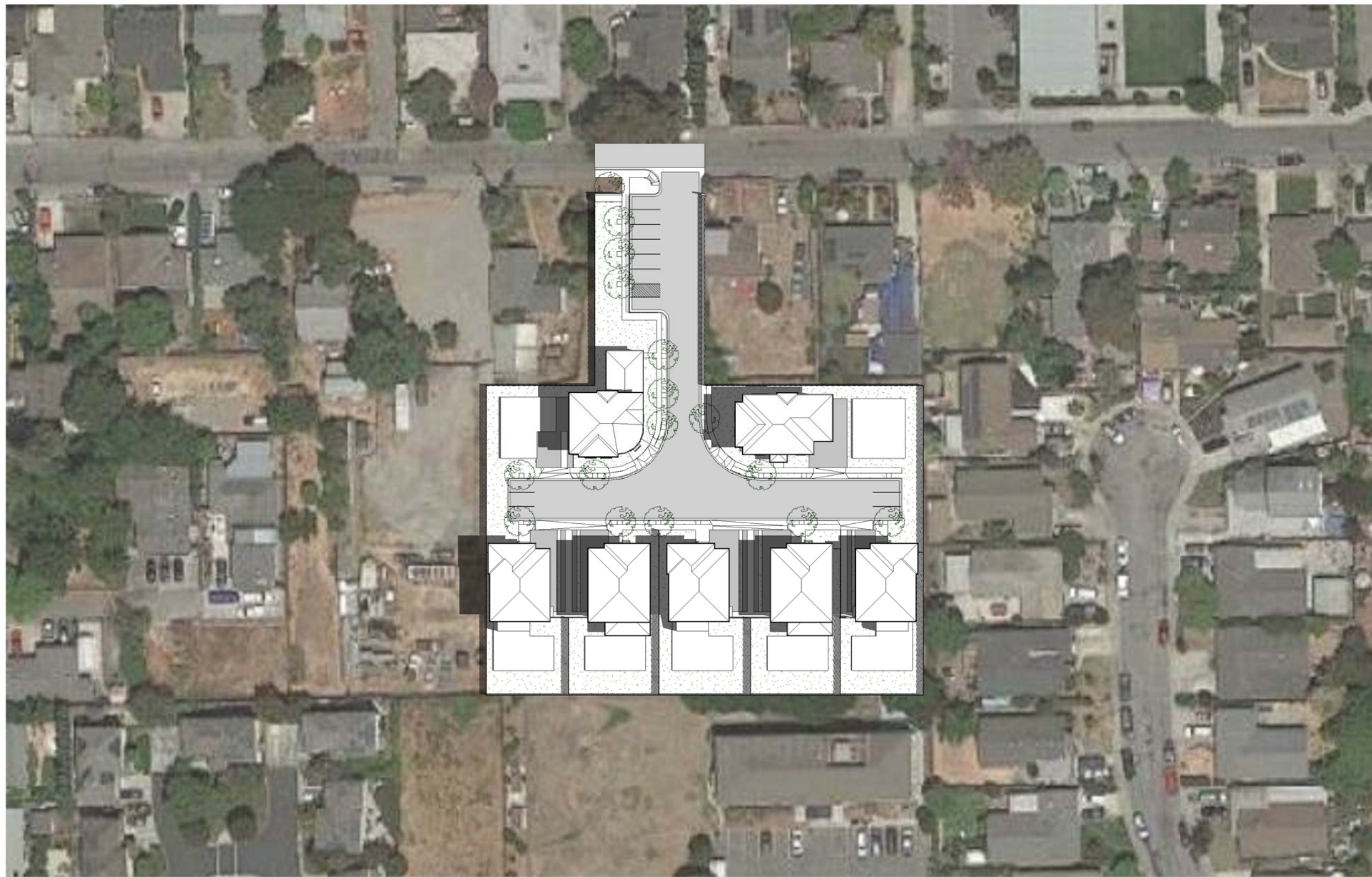
of

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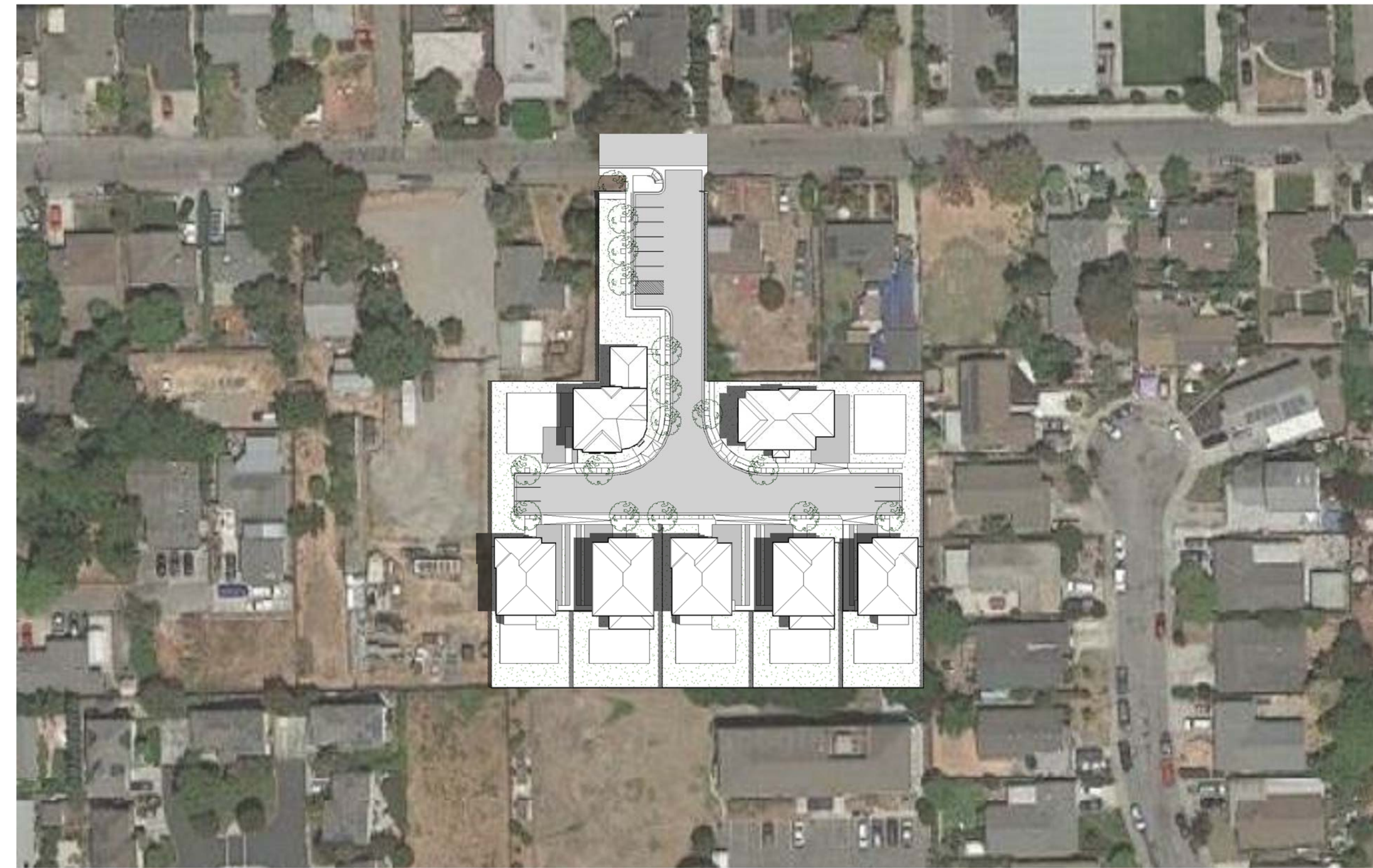


**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

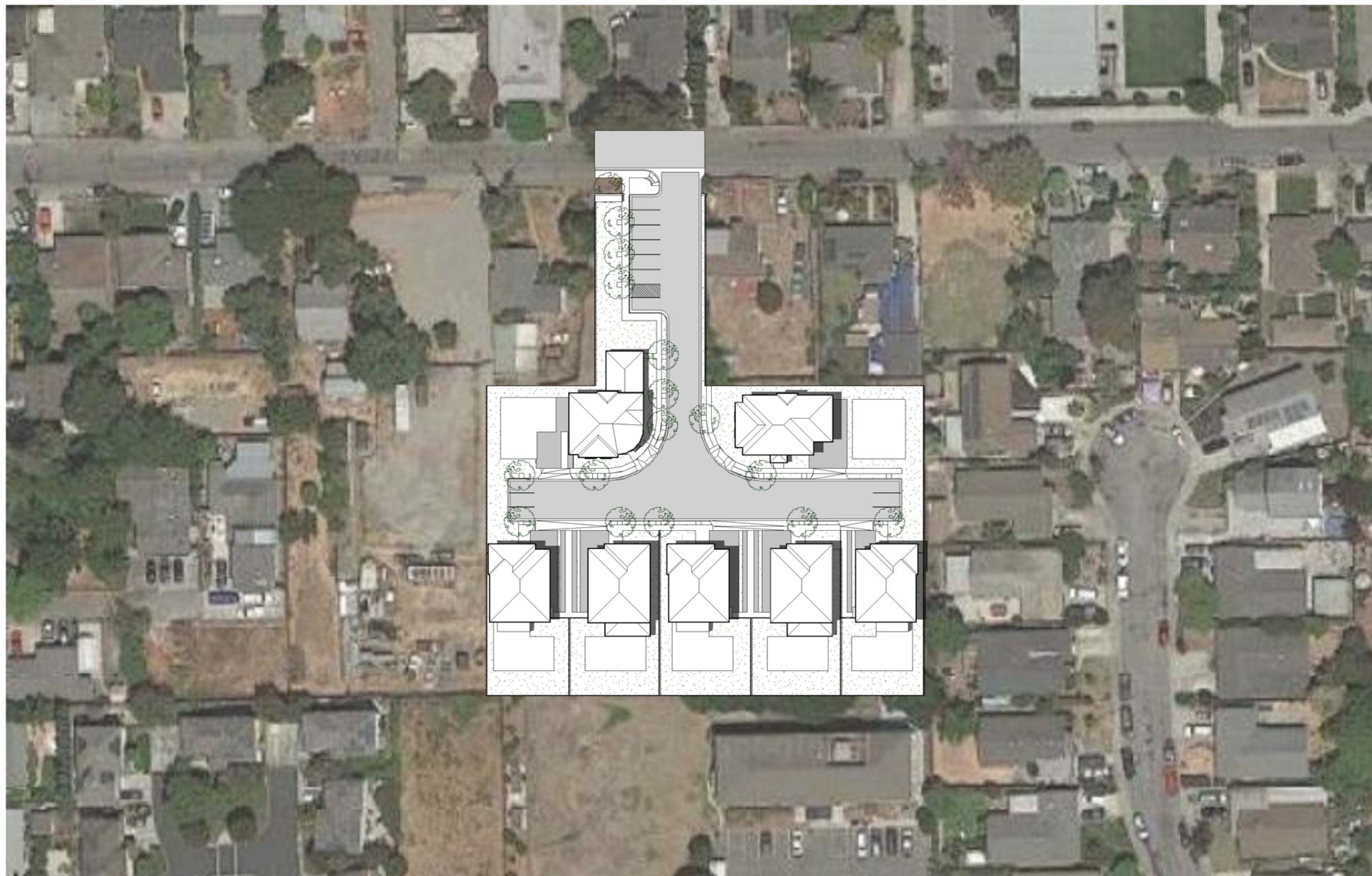
PLANNING SUBMITTAL



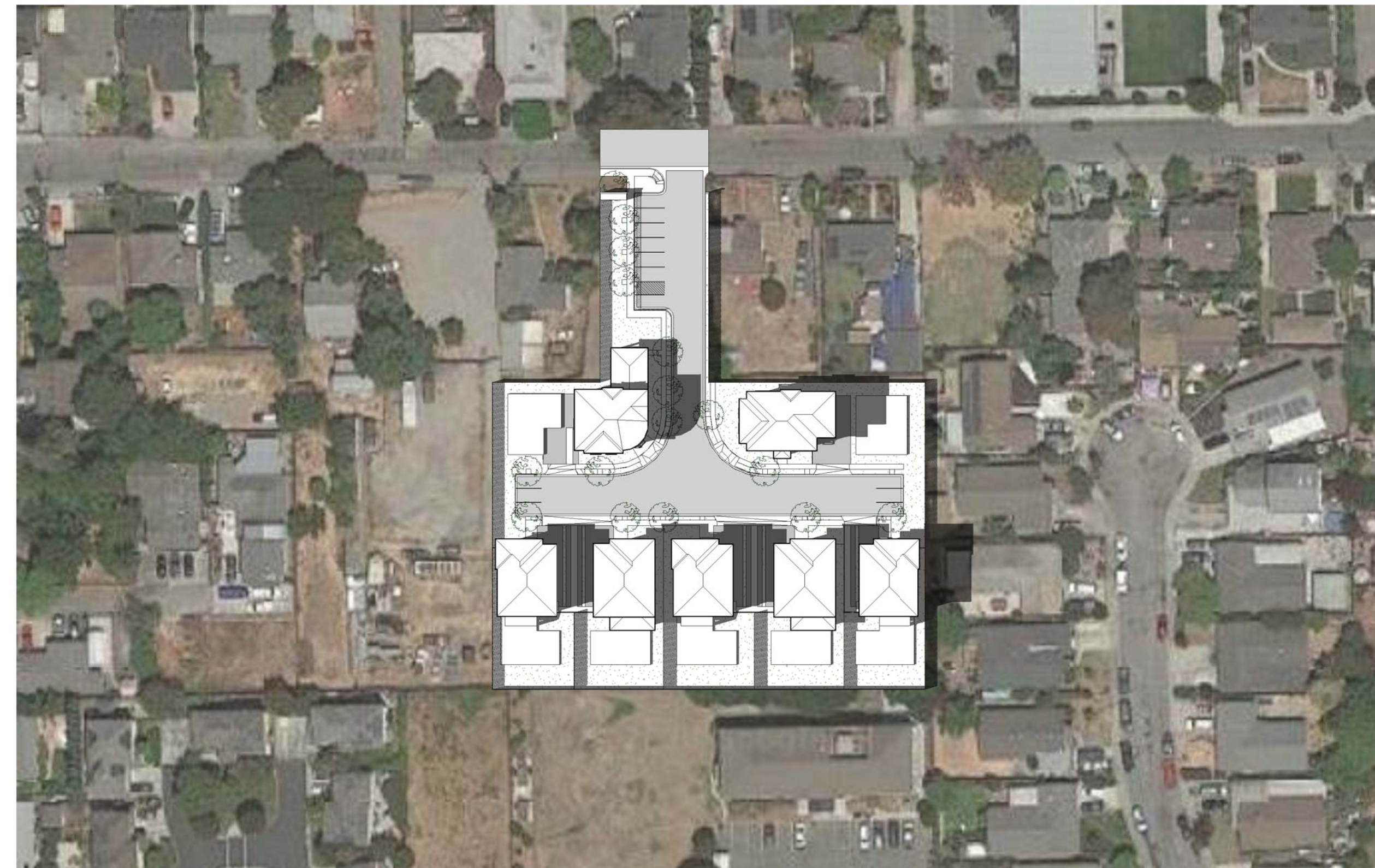
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② SHADOW STUDY - DECEMBER 21, 10AM (UTC-7)



③ SHADOW STUDY - DECEMBER 21, 1PM (UTC-7)



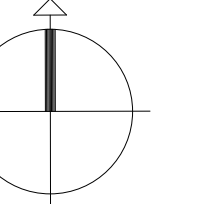
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Date: 12/14/2022

REVISION:

Scale: AS NOTED

TRUE  
NORTH



Sheet title:

SHADOW STUDY

Sheet no.

A0.7

of

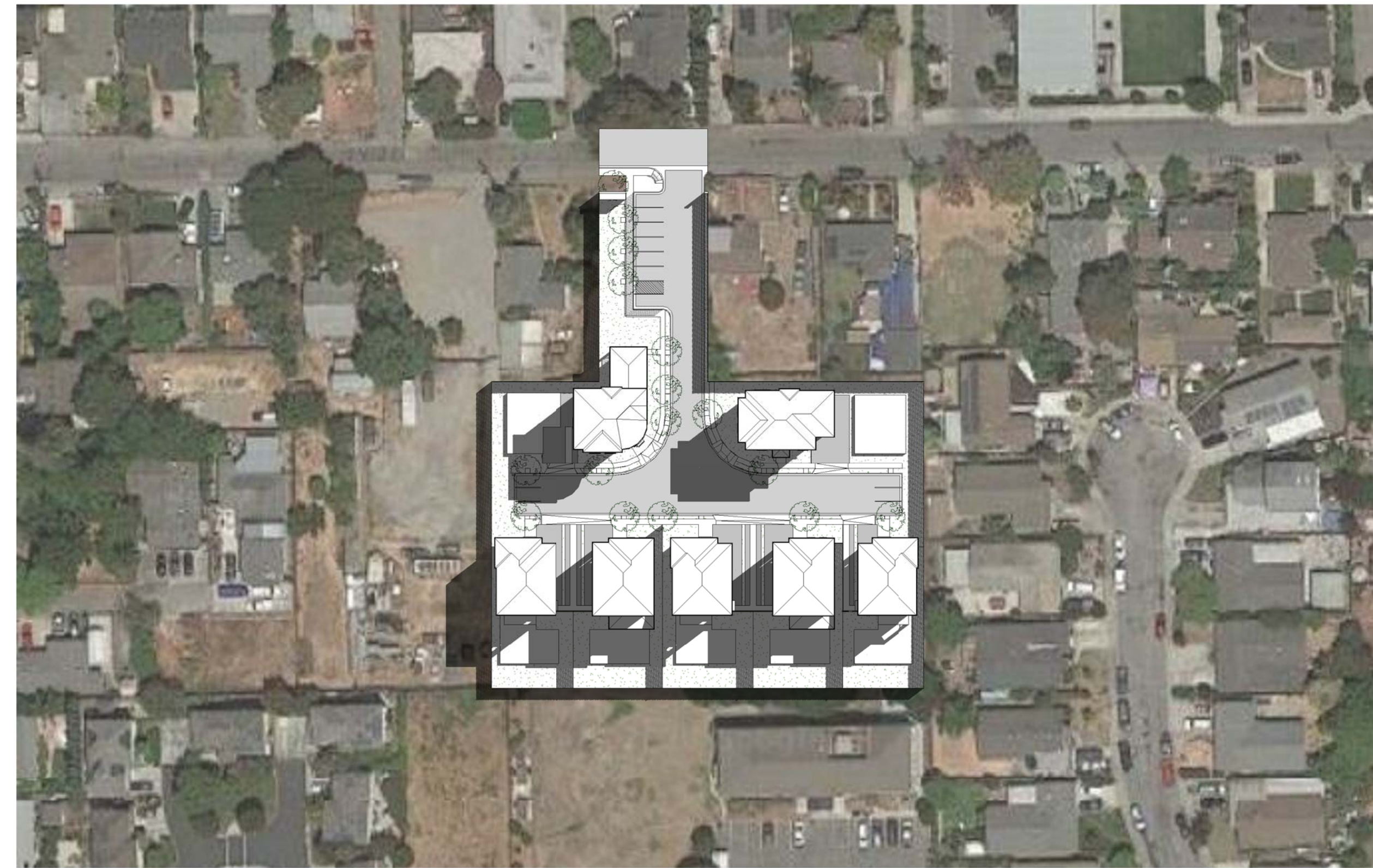


**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

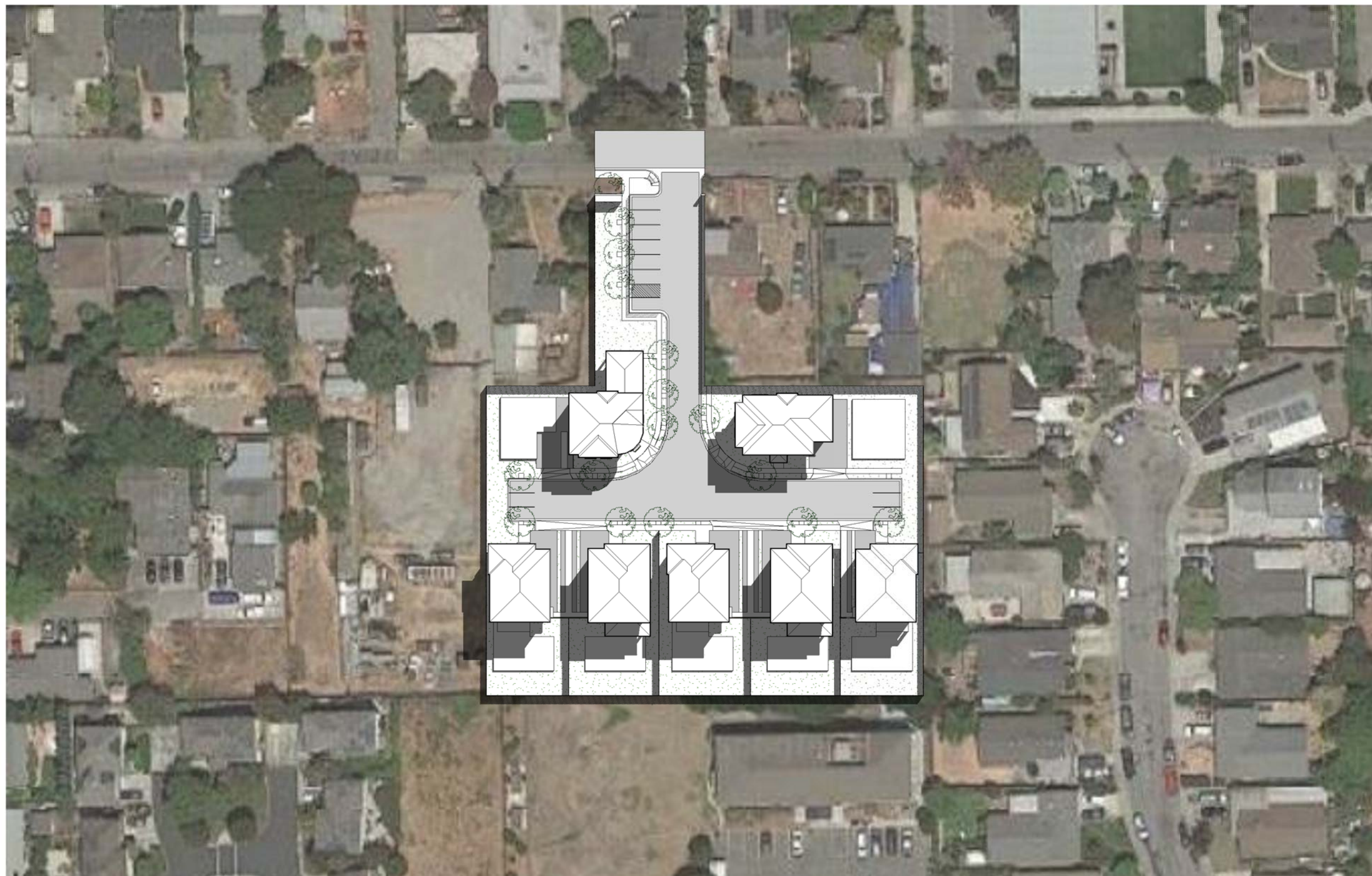
PLANNING SUBMITTAL



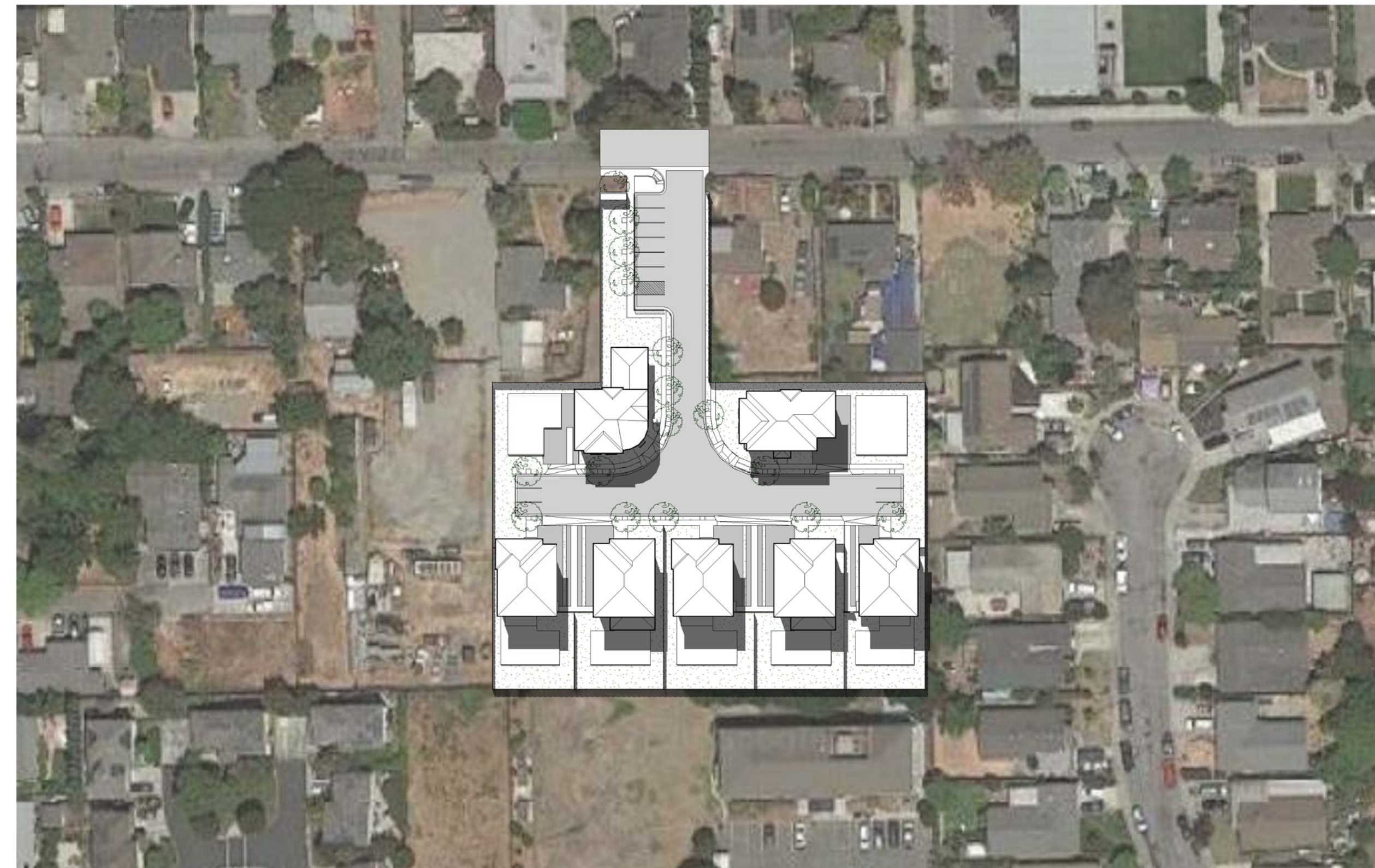
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② SHADOW STUDY - JUNE 21, 8.30AM (UTC-7)



③ SHADOW STUDY - JUNE 21, 10AM (UTC-7)



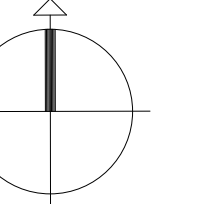
④ SHADOW STUDY - JUNE 21, 1PM (UTC-7)

Date: 12/14/2022

REVISION:

Scale: AS NOTED

TRUE  
NORTH



Sheet title:

SHADOW STUDY

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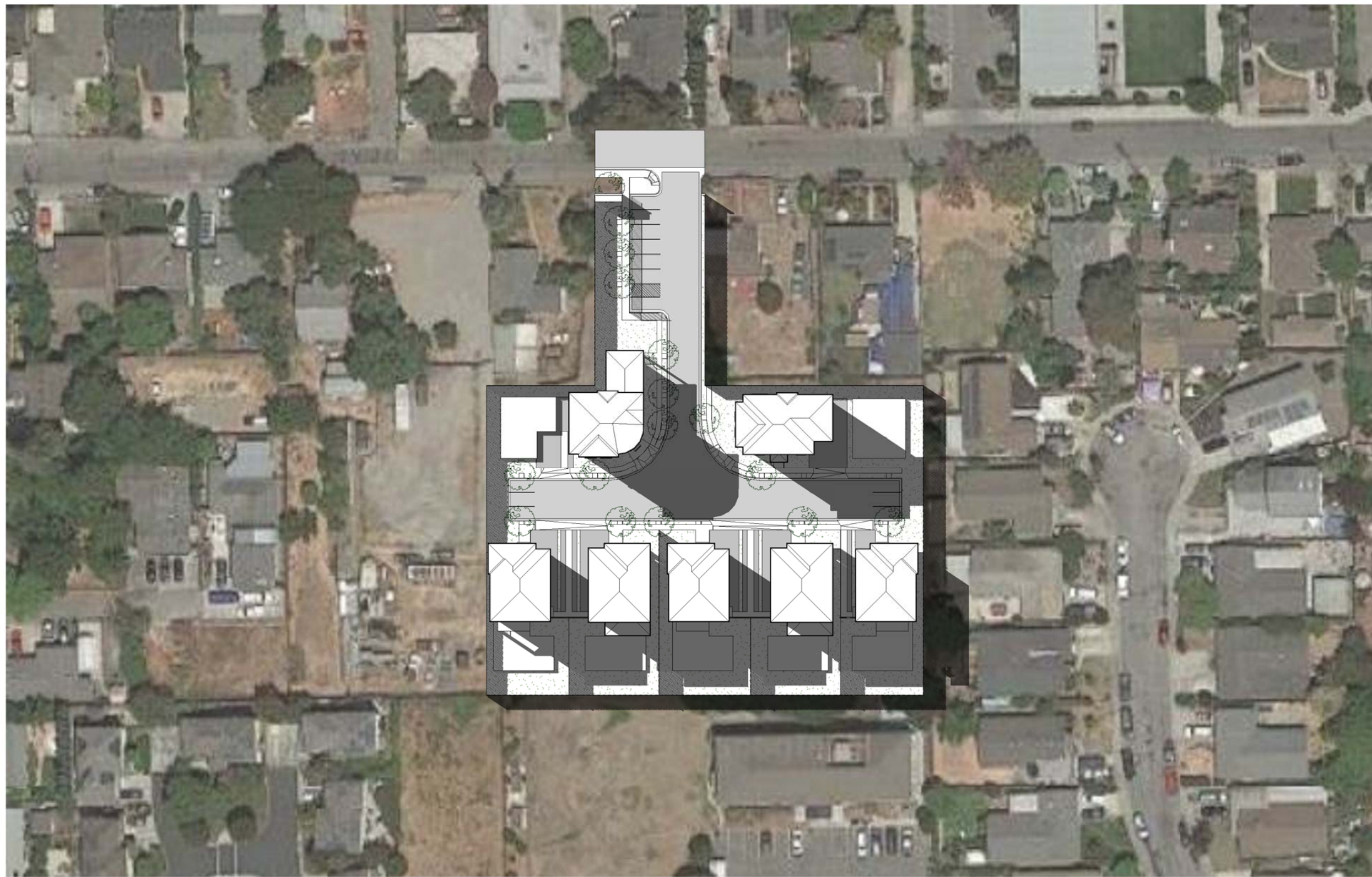
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of



**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

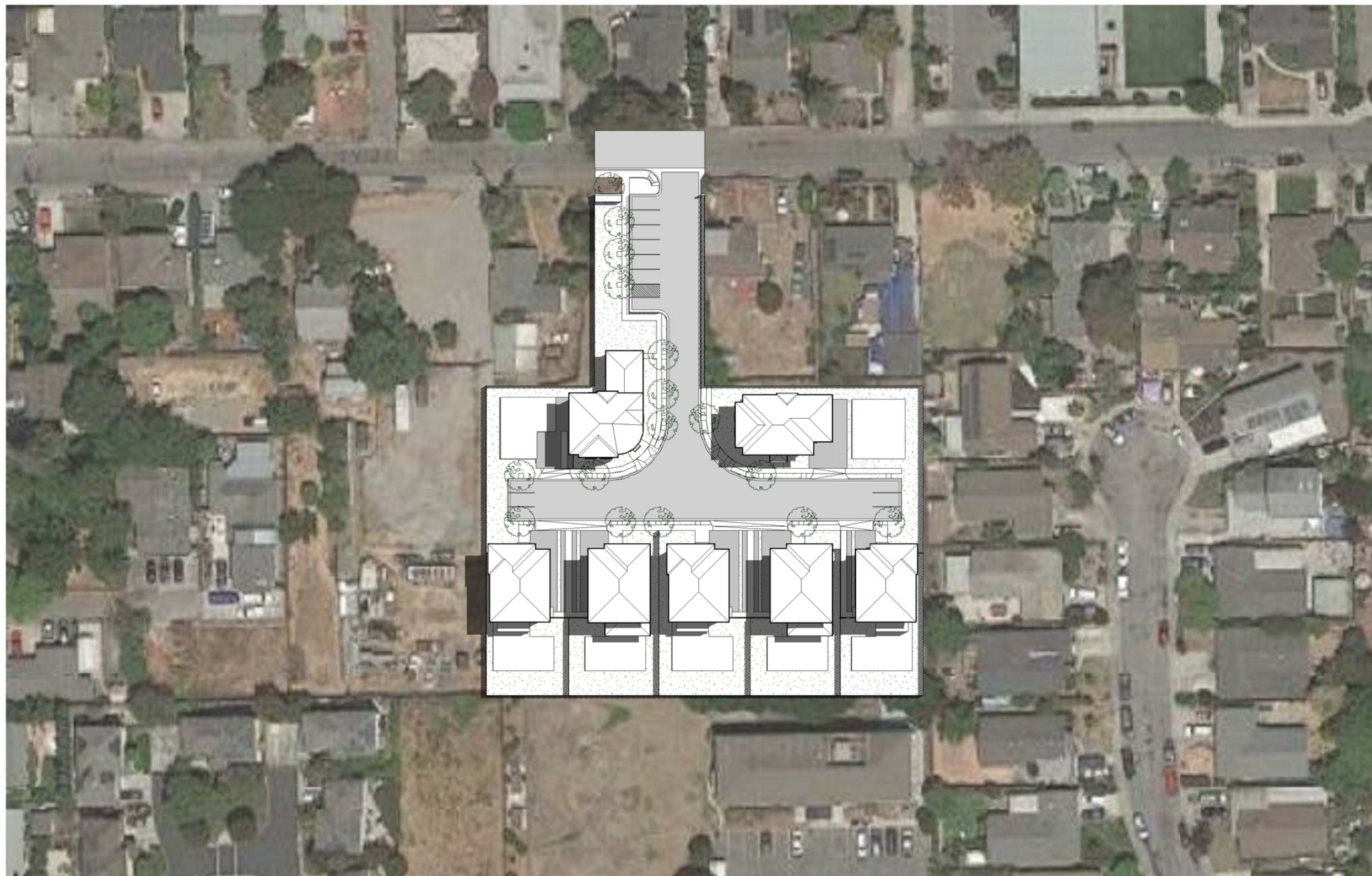
PLANNING SUBMITTAL



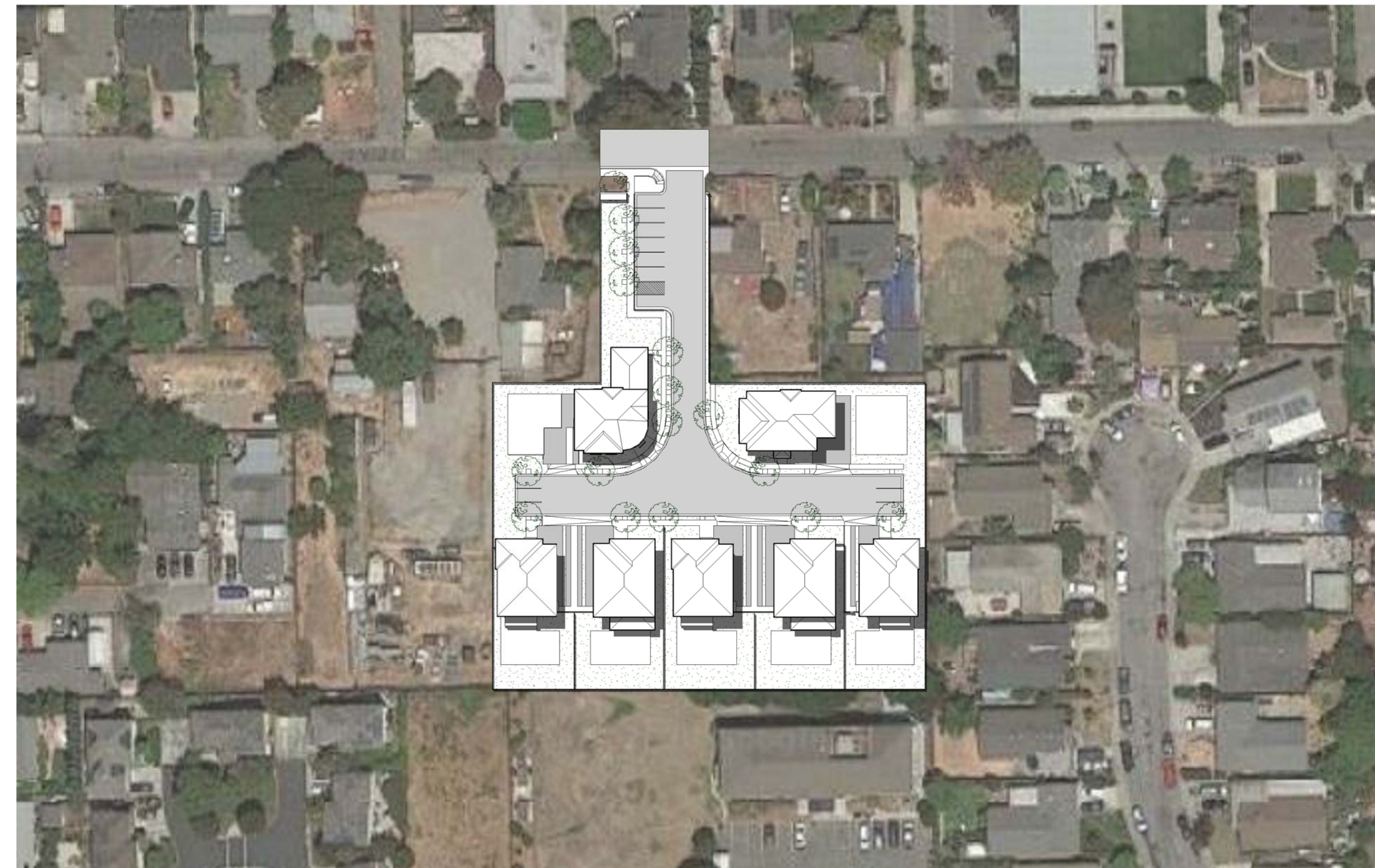
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② SHADOW STUDY - MARCH 21, 7.30AM (UTC-7)



③ SHADOW STUDY - MARCH 21, 10AM (UTC-7)



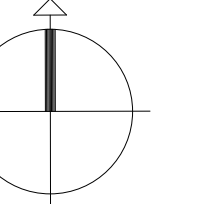
④ SHADOW STUDY - MARCH 21, 1PM (UTC-7)

Date: 12/14/2022

REVISION:

Scale: AS NOTED

TRUE  
NORTH



Sheet title:

SHADOW STUDY

Sheet no.

A0.9

of



**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL

- CARPORPTS HAVE BEEN PROVIDED FOR PARKING OF THE RESIDENTIAL UNITS. SHOWN IN DASHED LINES IN PLAN.
- PARKING FOR ADU UNITS HAVE BEEN PROVIDED IN THE DRIVEWAY.
- PROPOSED ATTACHED ADU UNITS ARE SET IN REAR YARD.
- FOR LOT DIMENSIONS SEE CIVIL PLAN SHEET C1.
- PER 18.96.040. (F) OPEN AREA GREATER THAN 750 SQ.FT. HAS BEEN PROVIDED ON ALL THE LOTS. ("Open Space: A minimum of 750 square feet area shall be maintained on the lot")
- REAR OPEN SPACE IS CALCULATED BASED BEYOND FIRST FLOOR REAR SETBACK. SEE HATCHED AREA. IN ADDITION TO THIS AN INTERIOR COURT IS PROVIDED IN LOTS #3, 4, 5, 6 & 7. LOTS 1 & LOT#2 HAVE ADDITIONAL OPEN AREA IN SIDE YARDS.
- ANY PROPOSED ADU ON LOT#3 WILL BE SUBJECT TO SEPRATE REVIEW PROCESS OR PERMIT.

SETBACK - RESIDENTIAL UNITS

LOT #	MAIN FRONT SETBACK	ALLOWABLE MAIN FRONT SETBACK	CARPORT WALL SETBACK	ALLOWABLE CARPORT WALL SETBACK	SIDE SETBACK		REAR SETBACK	
					ALLOWABLE	REAR SETBACK	ALLOWABLE	REAR SETBACK
LOT 1	10'-0"	10'-0"	22'-3"	23'-0"	6'-10"	5'-0"	54'-0"	5'-0"
LOT 2	17'-11"	10'-0"	20'-9"	23'-0"	8'-0"	5'-0"	57'-0"	5'-0"
LOT 3	11'-3"	10'-0"	14'-0"	23'-0"	5'-0"	5'-0"	46'-4"	5'-0"
LOT 4	11'-3"	10'-0"	14'-0"	23'-0"	8'-0"	5'-0"	46'-4"	5'-0"
LOT 5	11'-3"	10'-0"	14'-0"	23'-0"	8'-0"	5'-0"	46'-4"	5'-0"
LOT 6	11'-3"	10'-0"	14'-0"	23'-0"	8'-0"	5'-0"	46'-4"	5'-0"
LOT 7	11'-3"	10'-0"	14'-0"	23'-0"	5'-0"	5'-0"	46'-4"	5'-0"

SUBDIVISION OF 9 LOTS WITH 7 RESIDENTIAL LOTS

LOT #	LOT AREA	DUPLEX UNIT	REAR OPEN SPACE	F.A.R.
LOT A	17160 SF	NA	NA	NA
LOT 1	6459 SF	978 SF	826 SF	3552 SF
LOT 2	6237 SF	1152 SF	900 SF	3430 SF
LOT 3	5513 SF	1025 SF	935 SF	3032 SF
LOT 4	5500 SF	1025 SF	1075 SF	3025 SF
LOT 5	5500 SF	1025 SF	1065 SF	3025 SF
LOT 6	5500 SF	1025 SF	1075 SF	3025 SF
LOT 7	5511 SF	1025 SF	925 SF	3031 SF

LEGEND

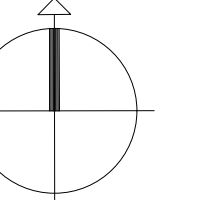
- PROPERTY LINE
- SETBACK LINE
- BUILDING FOOTPRINT
- ADU FOOTPRINT
- 9' X 18' PARKING
- REAR OPEN AREA
- FIRETRUCK APPARATUS ACCESS
- COMPACT CAR PARKING
- NEW STREET LIGHT (TYP)

Date: 12/14/2022

REVISION:

Scale: 1 : 200

TRUE NORTH



Sheet title:

**SITE PLAN**

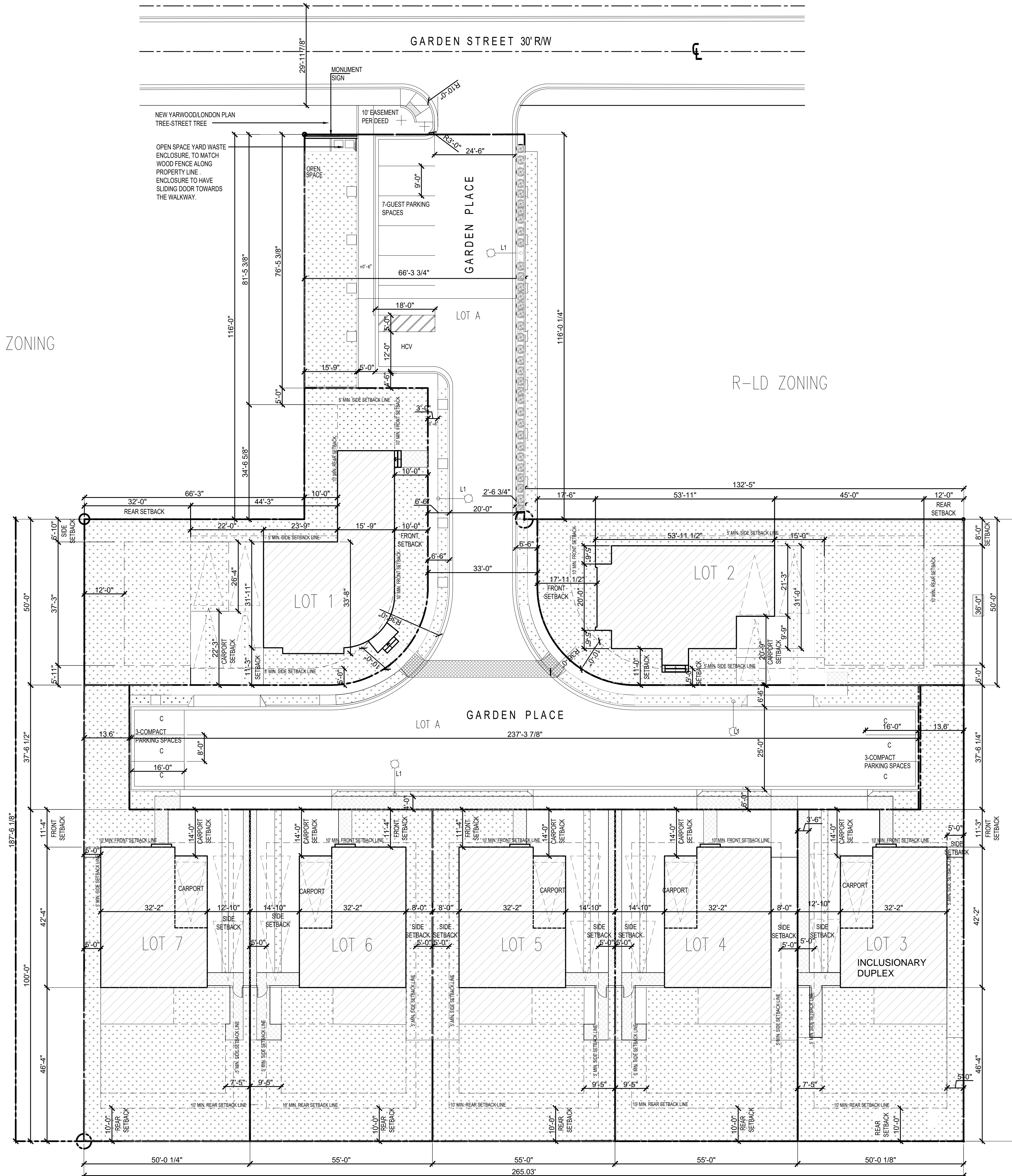
Sheet no.

**A1.0**

of

R-LD ZONING

R-LD ZONING





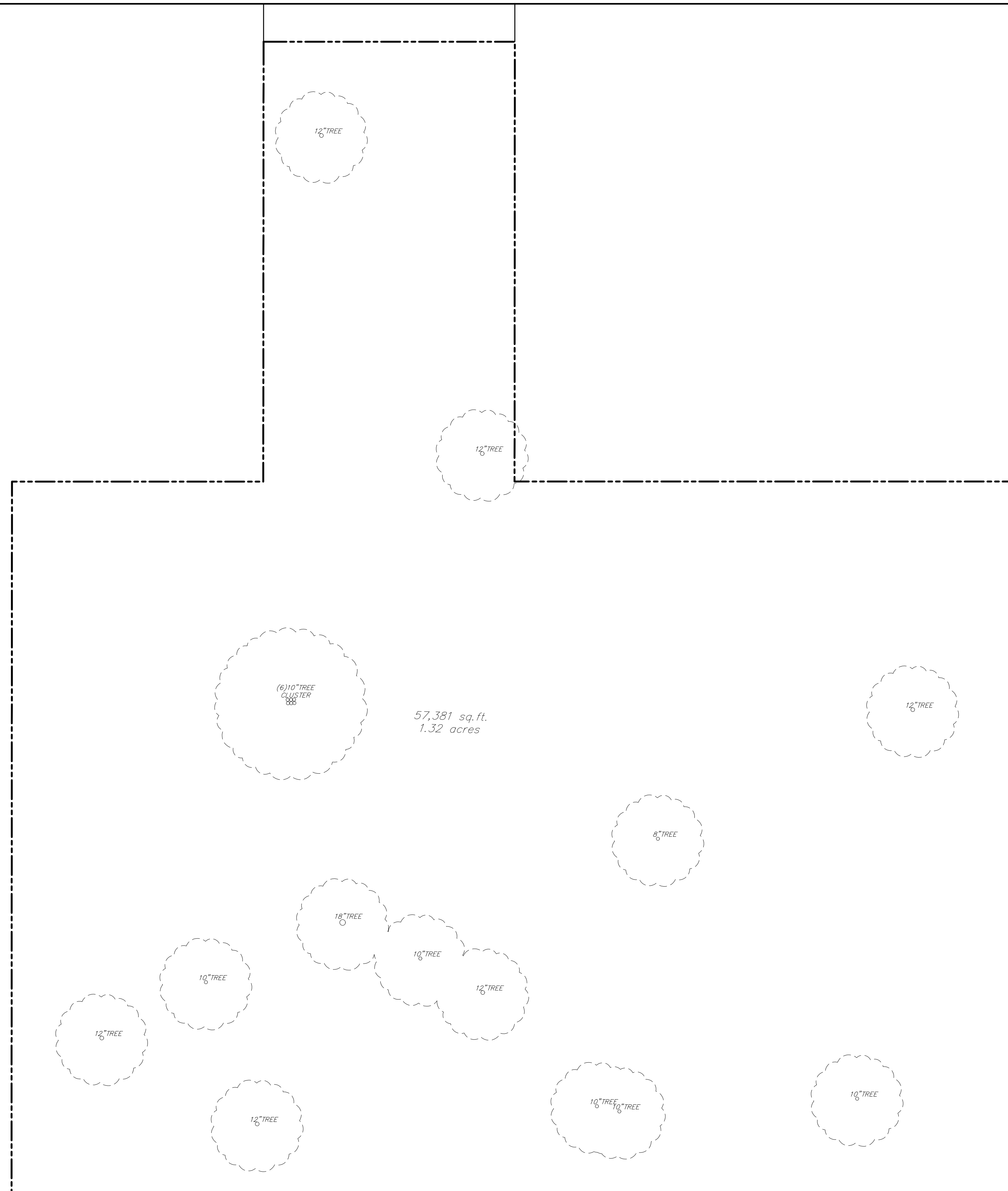
GARDEN STREET

30' R/W

**GARDEN PLACE**

990 GARDEN  
EAST PALO ALTO  
CA 94301

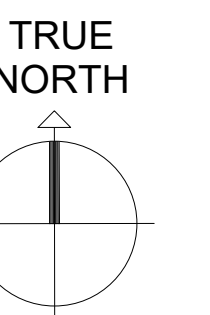
PLANNING SUBMITTAL



Date: 12/14/2022

REVISION:

Scale: 1 : 200



Sheet title:

**DEMO PLAN**

Sheet no.

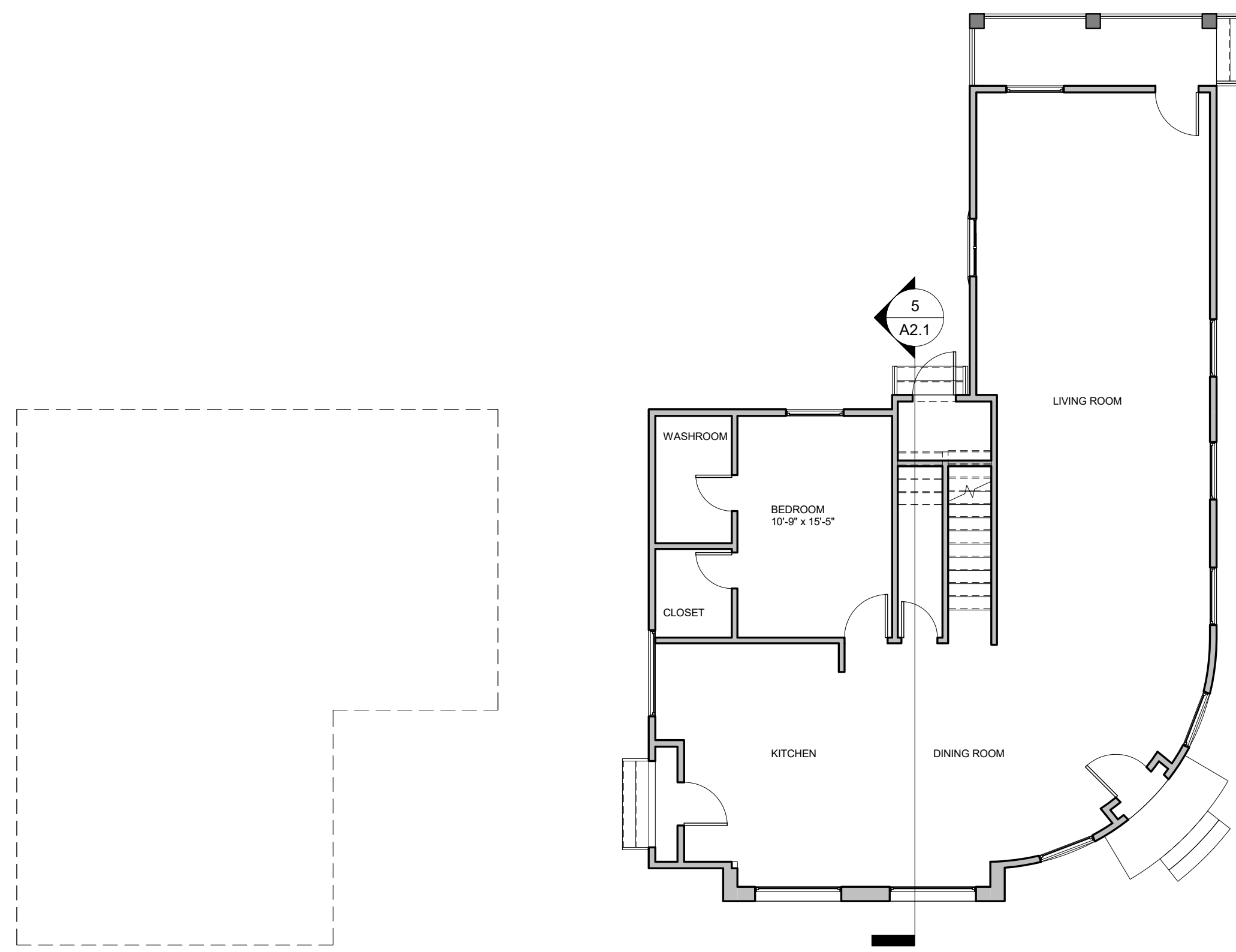
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of

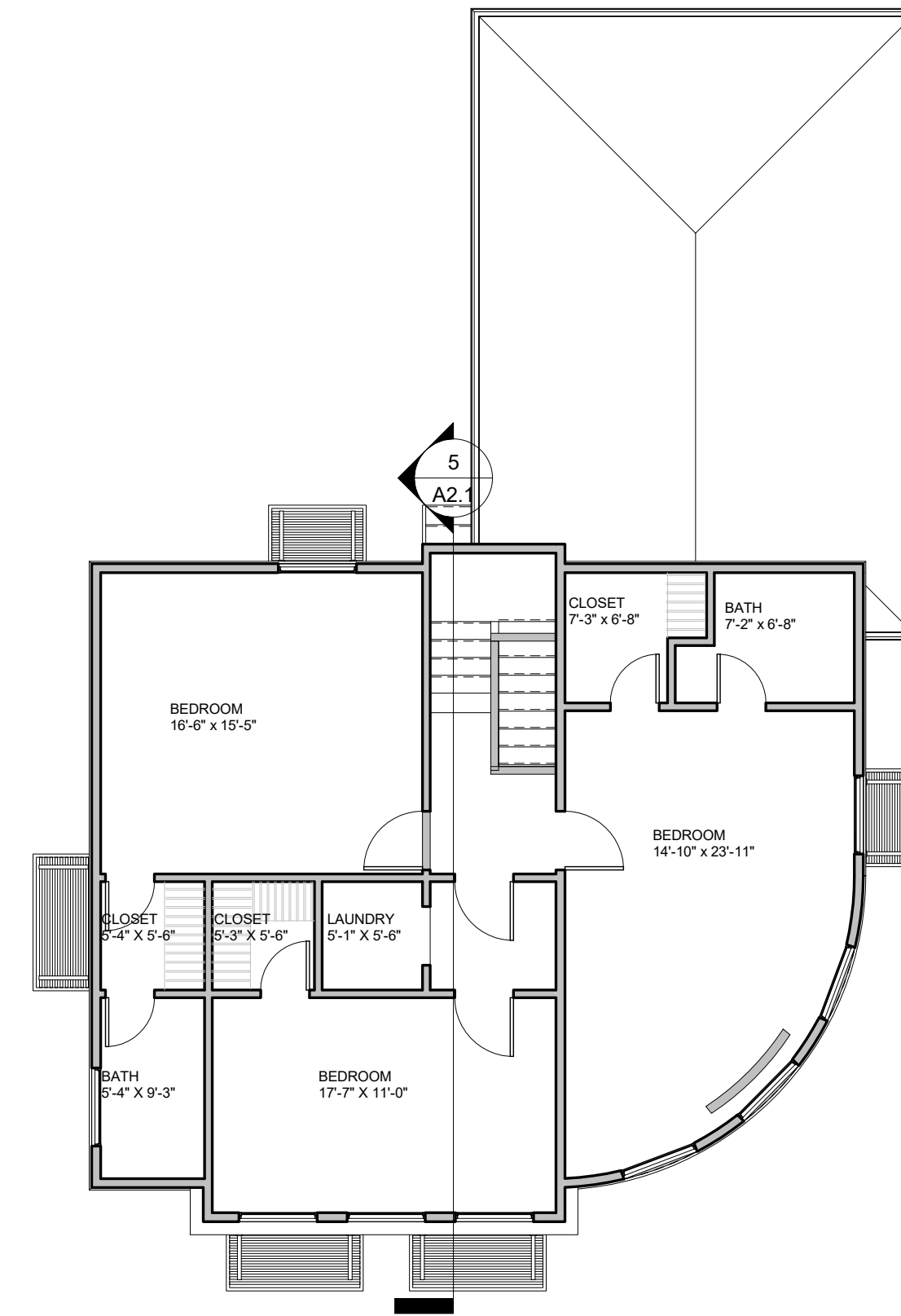


**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



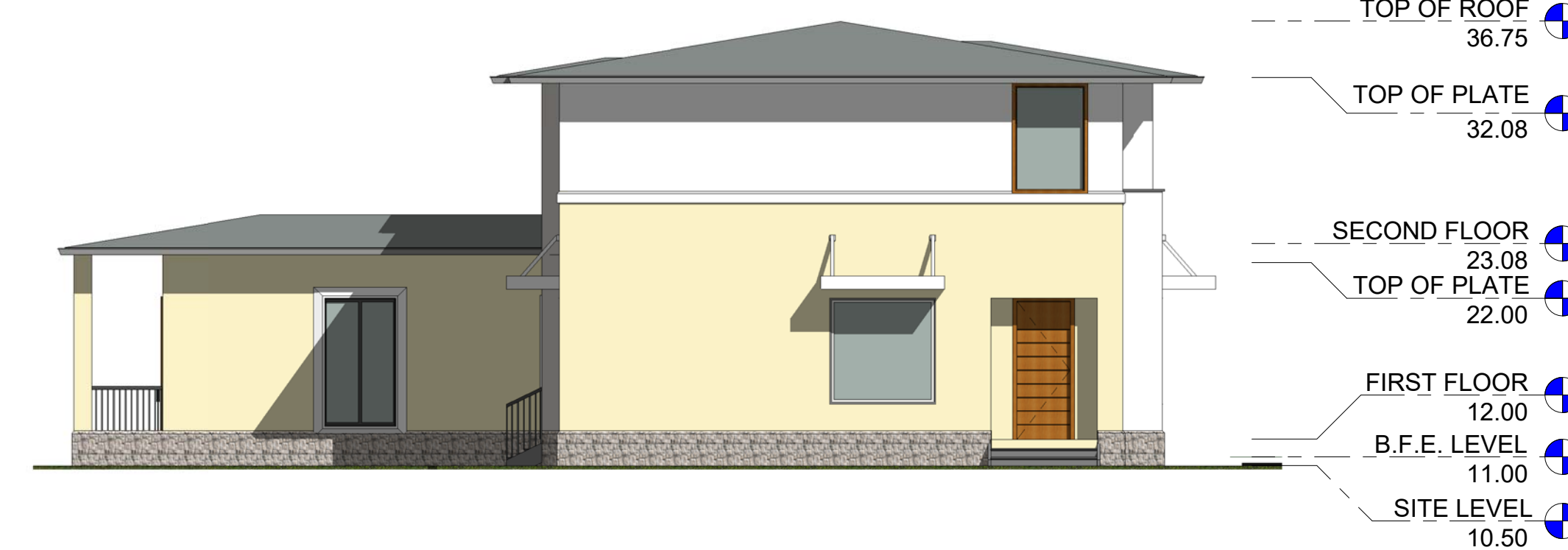
FIRST FLOOR PLAN



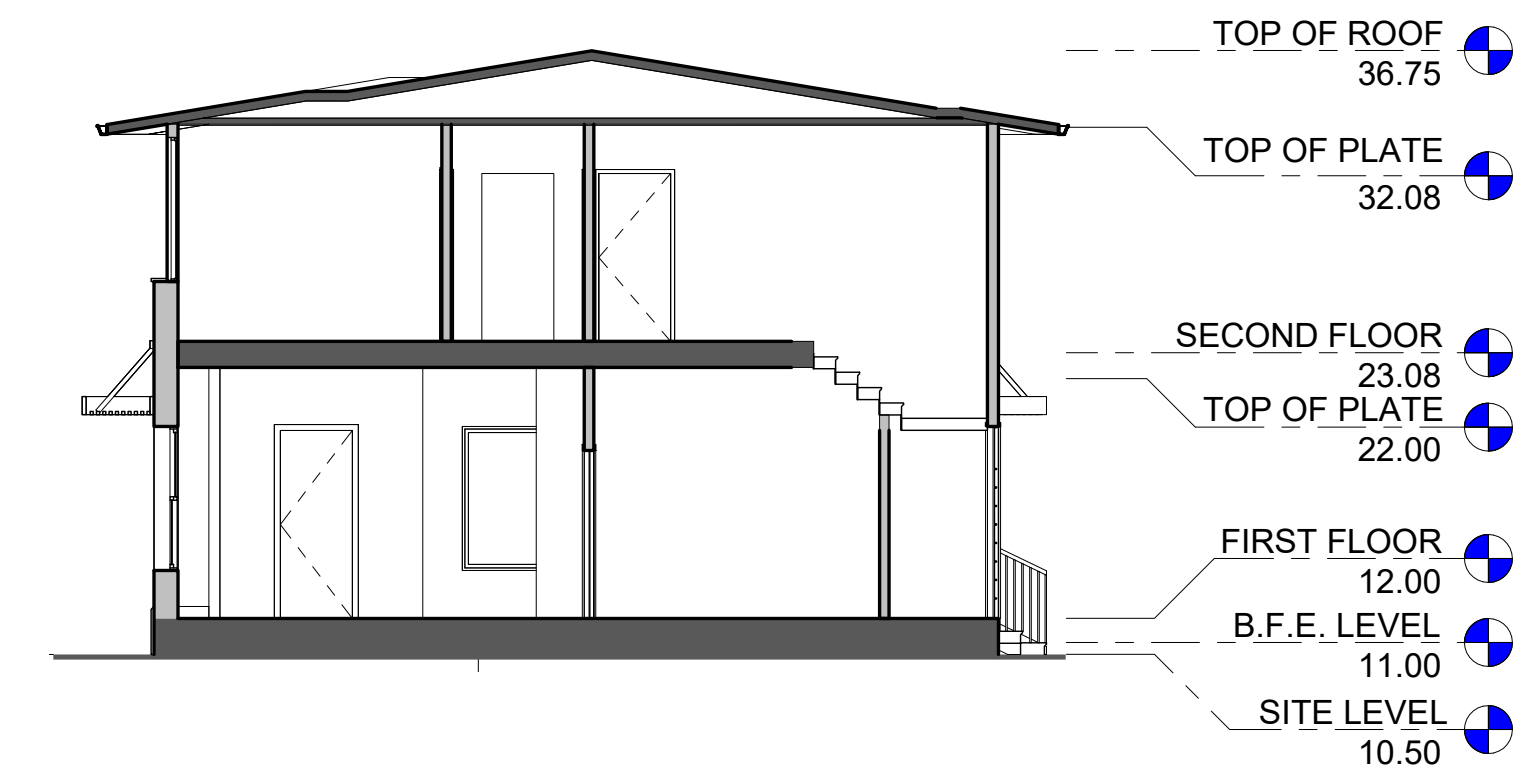
SECOND FLOOR PLAN



NORTH ELEVATION



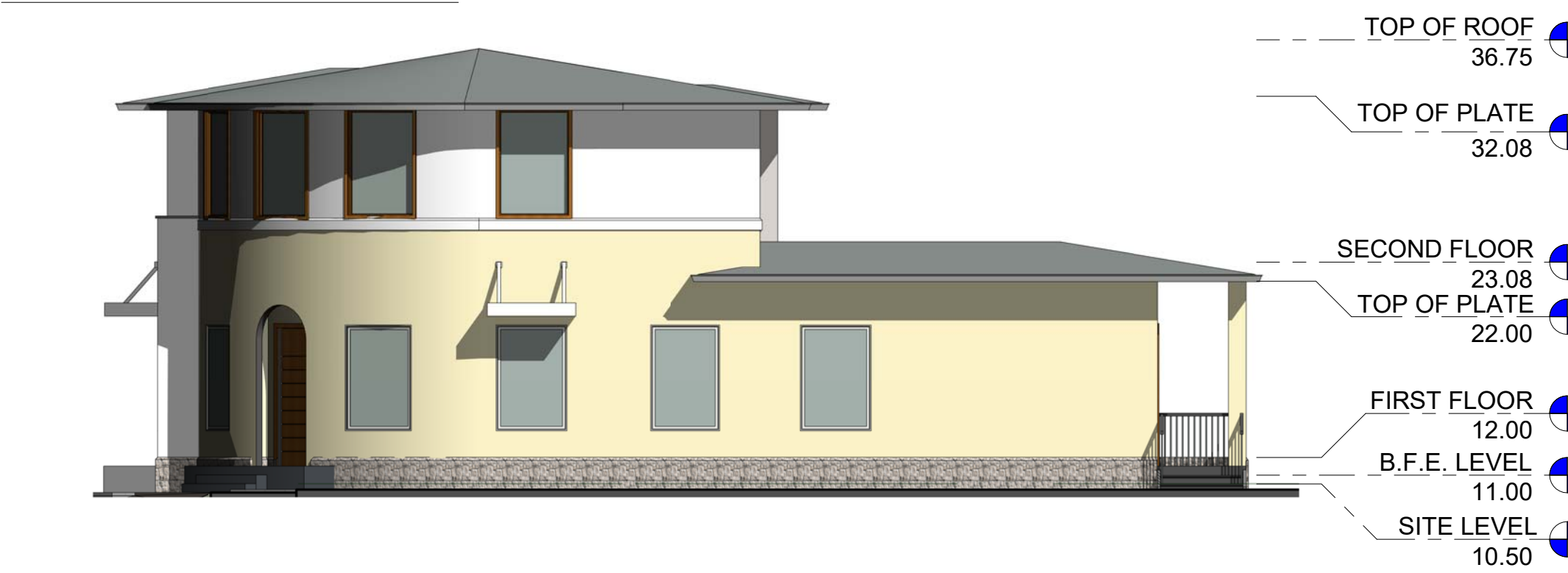
WEST ELEVATION



SECTION



SOUTH ELEVATION



EAST ELEVATION

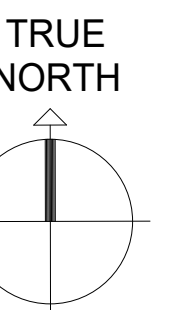
MATERIAL BOARD



Date: 12/14/2022

REVISION:

Scale: AS NOTED



Sheet title:

LOT #1

PLAN, ELEVATIONS & SECTIONS

Sheet no.

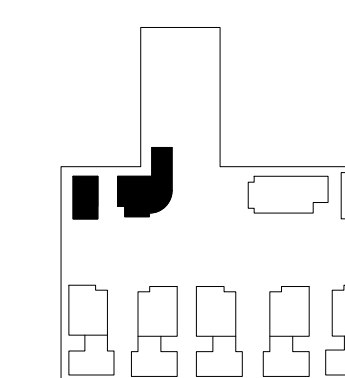
GENERAL NOTES

- SEE A0.3 SHEET FOR AREA ANALYSIS
- SEE SITE PLAN FOR SETBACK
- EXTERIOR FINISH : STUCCO
- ROOFING : HIGH PERFORMANCE ROOFING SHINGLES FROM "OWENS CORNING"
- GUARD RAIL : METAL
- DRIVEWAY : CONCRETE
- WINDOW : VINYL/FIBERGLASS
- B.F.E. LEVEL : 11.00'
- HOUSE ADDRESS NUMBER TO BE MINIMUM 4" TALL WITH 1/2" STROKE ILLUMINATED.
- RECESSED CEILING LIGHT
- WALL SCONE
- MOTION SENSOR LIGHT ON ASTRONOMICAL CLOCK

AREA DETAIL

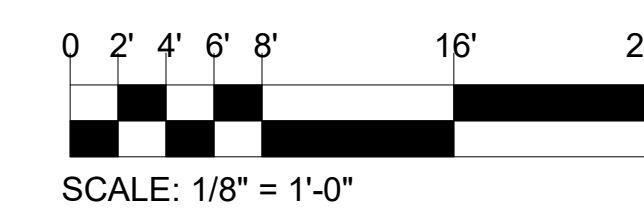
- UNIT 1
- FIRST FLOOR : 1,557.87 SQ.FT.
  - SECOND FLOOR : 1,126.32 SQ.FT.

KEY PLAN



LEGEND

GRAPHIC SCALE



A2.1

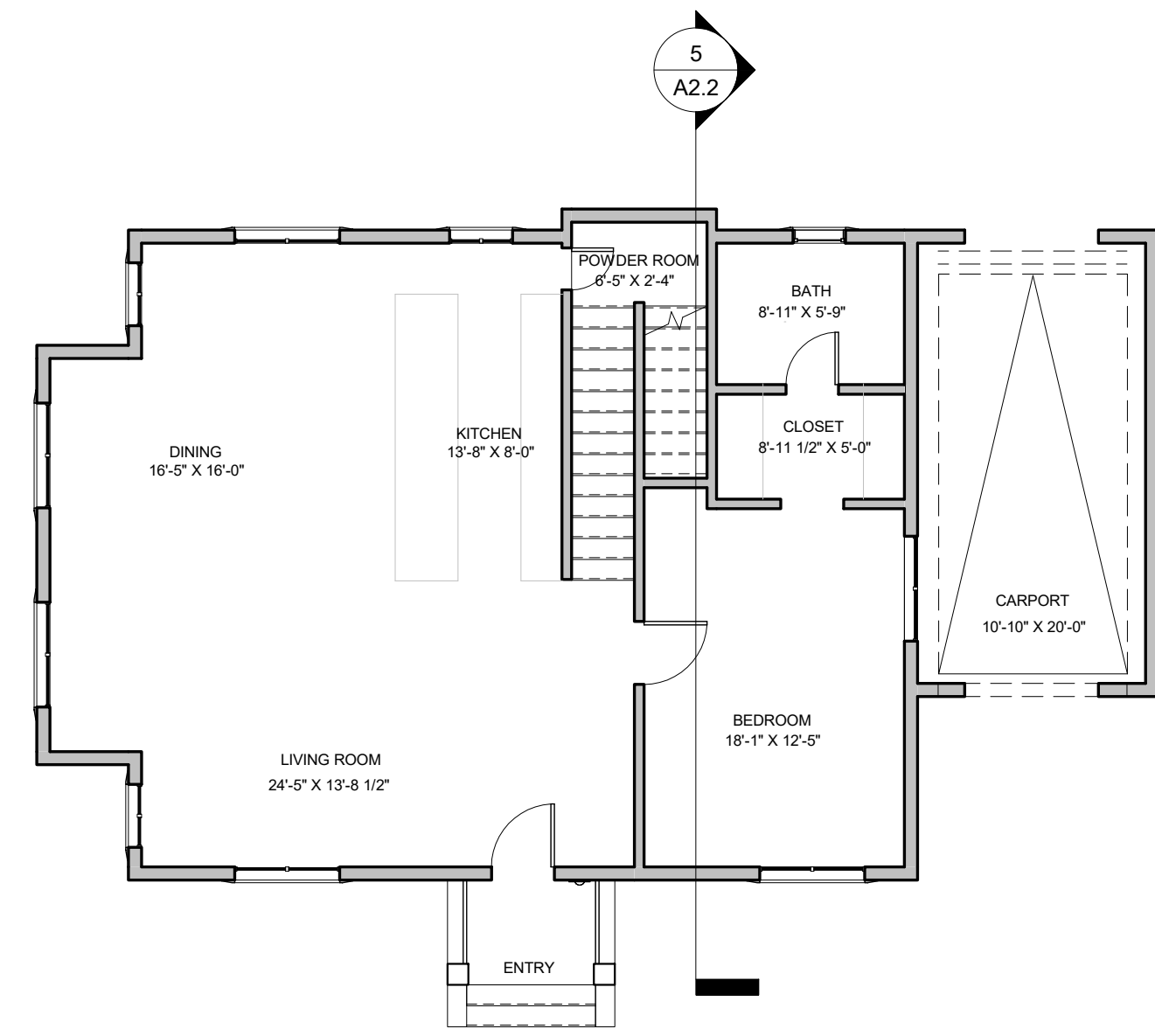
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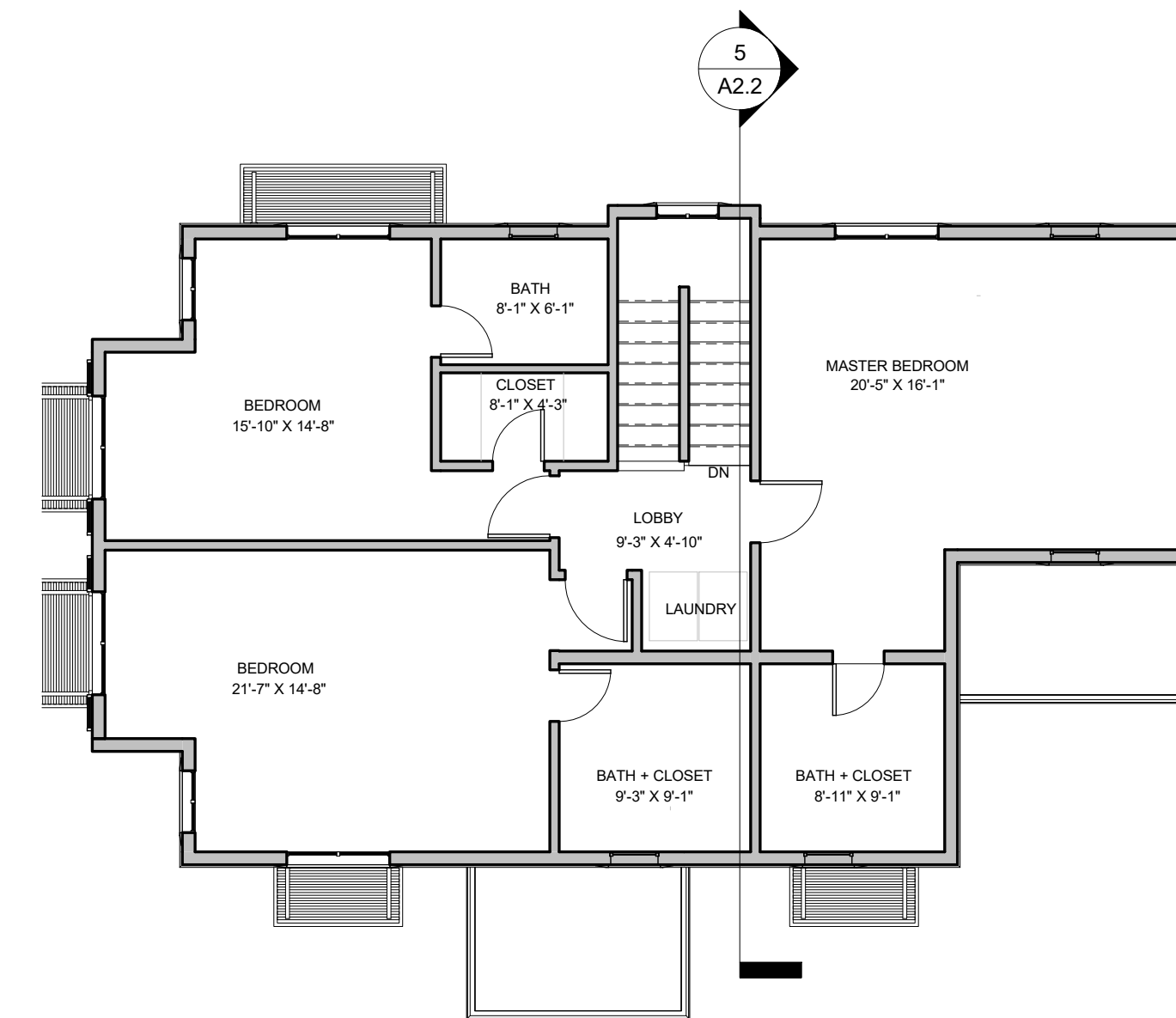


**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



FIRST FLOOR PLAN



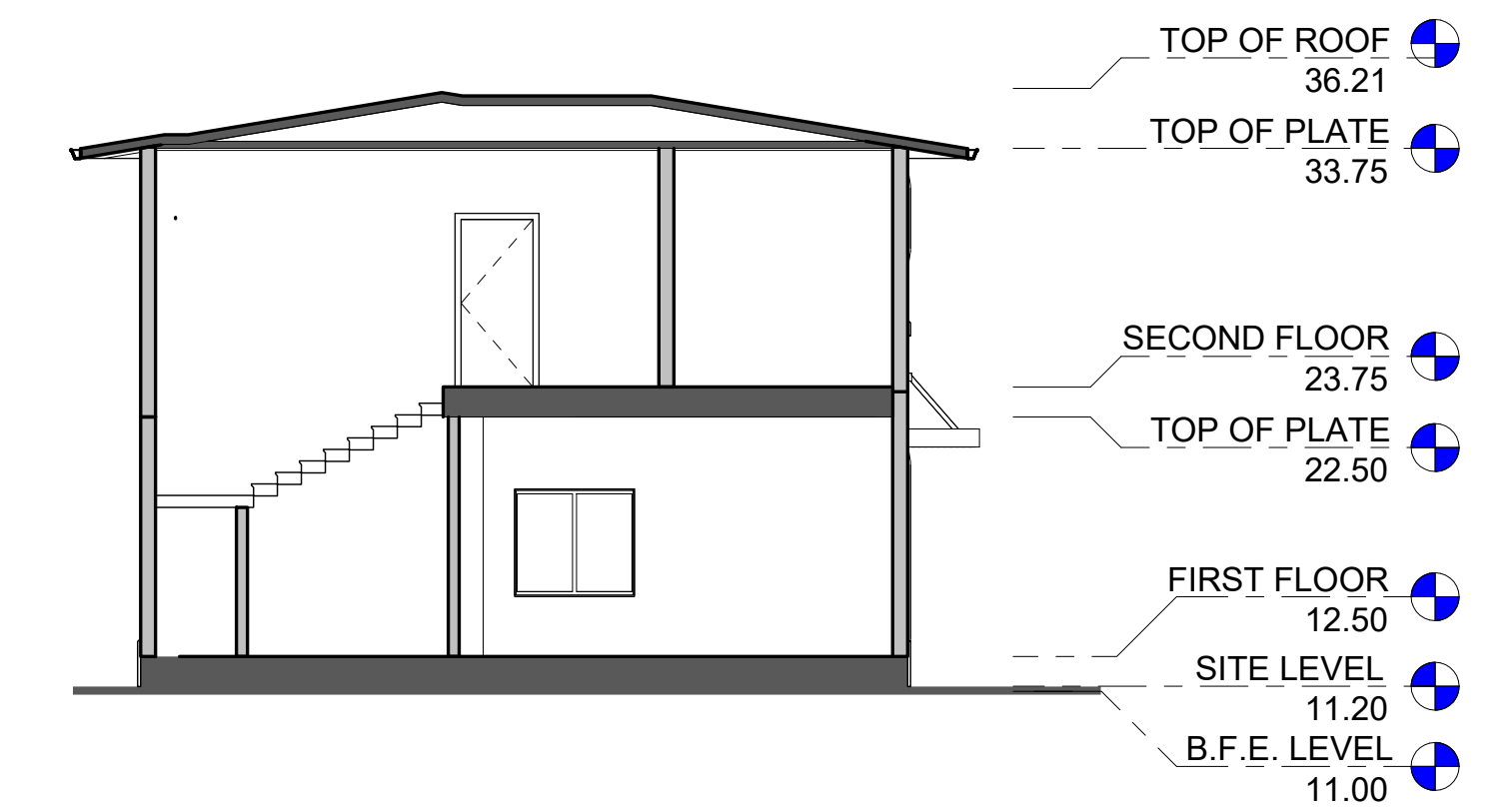
SECOND FLOOR PLAN



NORTH ELEVATION



WEST ELEVATION



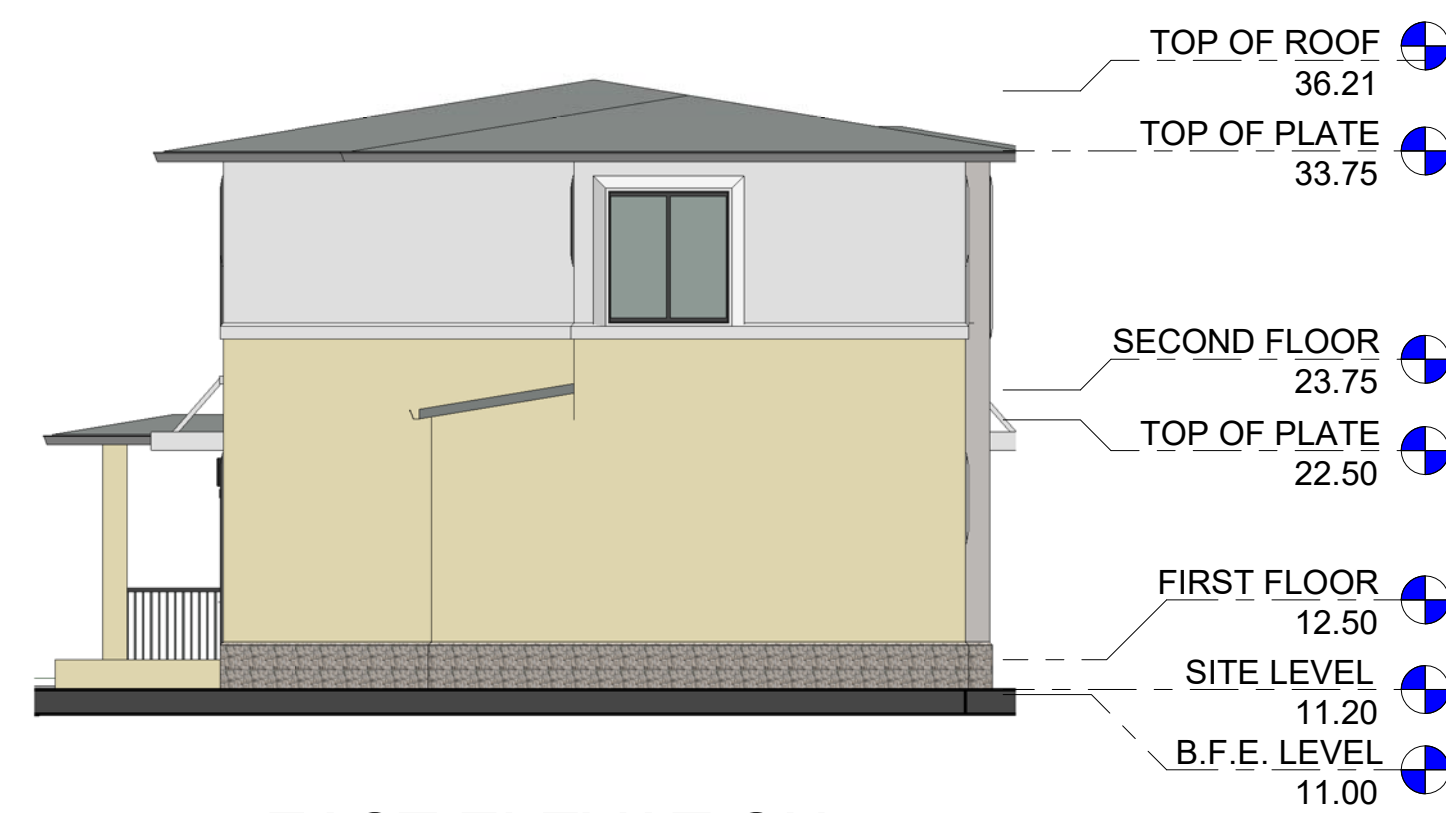
SECTION

Date: 12/14/2022

REVISION:



SOUTH ELEVATION



EAST ELEVATION

MATERIAL BOARD



BENJAMIN MOORE - WINTER SUNSHINE - 345

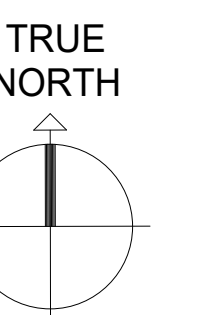


#d7d2ce



ELDORADO STONE - ROUGH CUT - LOIRE VALLEY

Scale: AS NOTED



Sheet title:

LOT #2

PLAN, ELEVATIONS & SECTIONS

Sheet no.

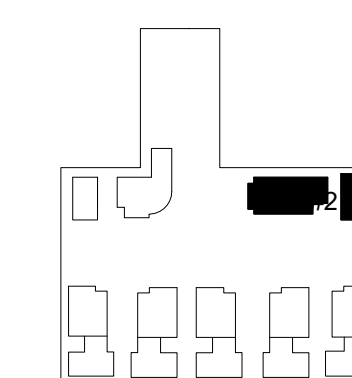
GENERAL NOTES

- SEE A0.3 SHEET FOR AREA ANALYSIS
- SEE SITE PLAN FOR SETBACK
- EXTERIOR FINISH : STUCCO
- ROOFING : HIGH PERFORMANCE ROOFING SHINGLES FROM "OWENS CORNING"
- GUARD RAIL : METAL
- DRIVEWAY : CONCRETE
- WINDOW : VINYL/FIBERGLASS
- B.F.E. LEVEL : 11.00'
- HOUSE ADDRESS NUMBER TO BE MINIMUM 4" TALL WITH 1/2" STROKE ILLUMINATED.
- RECESSED CEILING LIGHT
- WALL SCONE
- MOTION SENSOR LIGHT ON ASTRONOMICAL CLOCK

AREA DETAIL

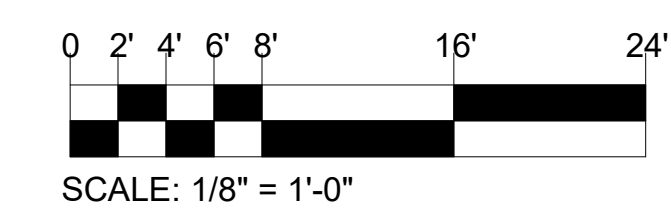
- UNIT 2
- FIRST FLOOR : 1,347.80 SQ.FT.
  - SECOND FLOOR : 1,285.15 SQ.FT.

KEY PLAN



LEGEND

GRAPHIC SCALE



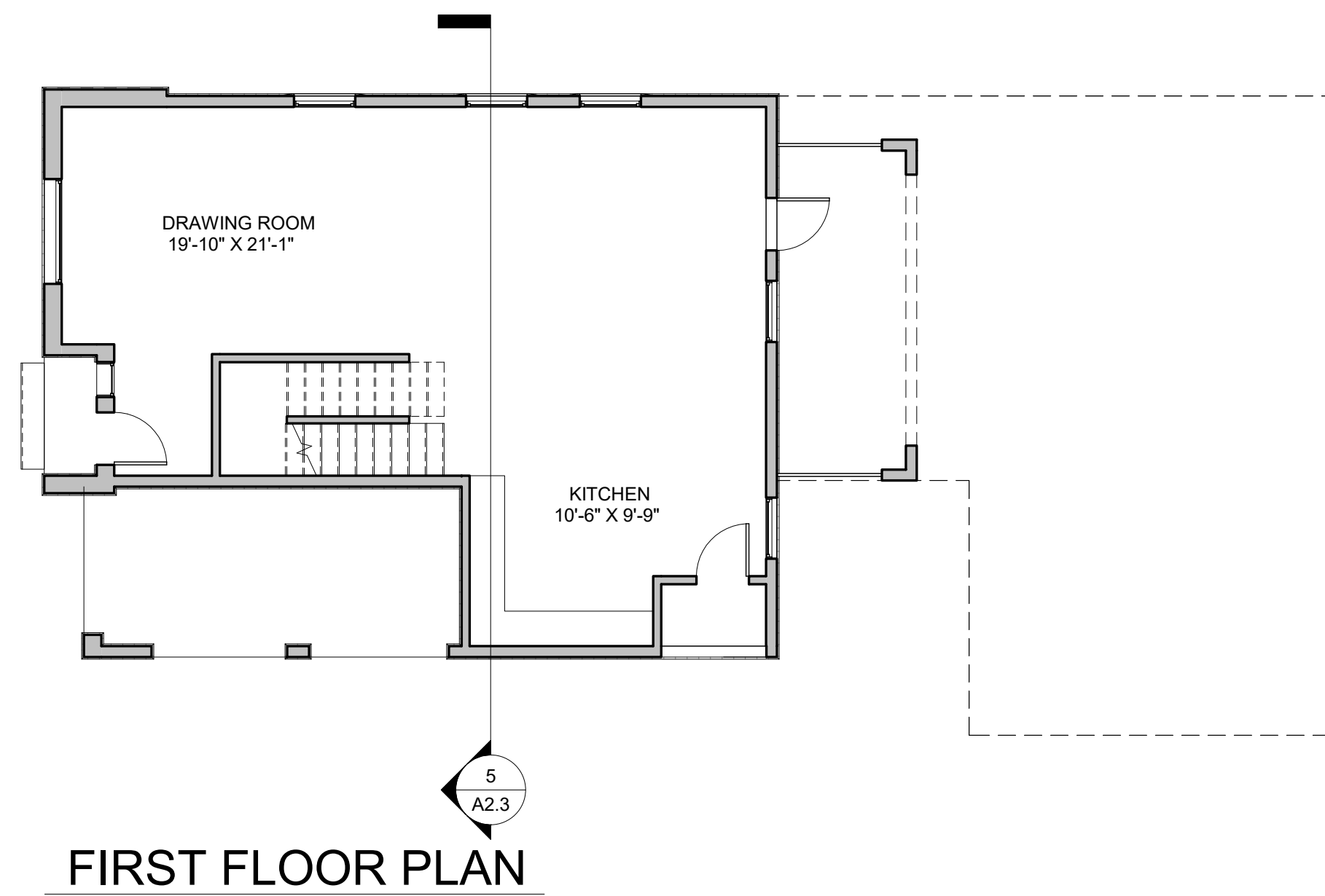
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of

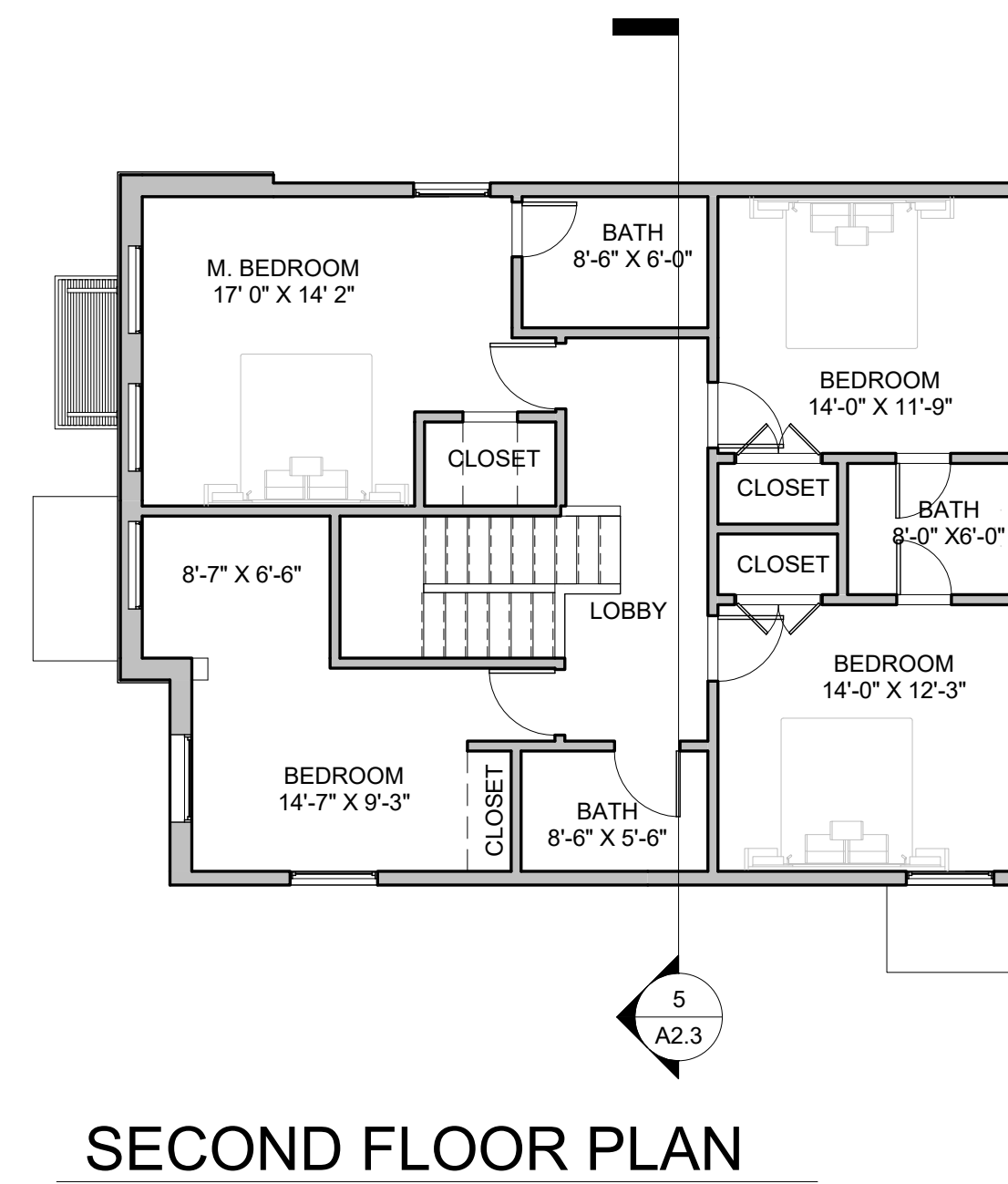


**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

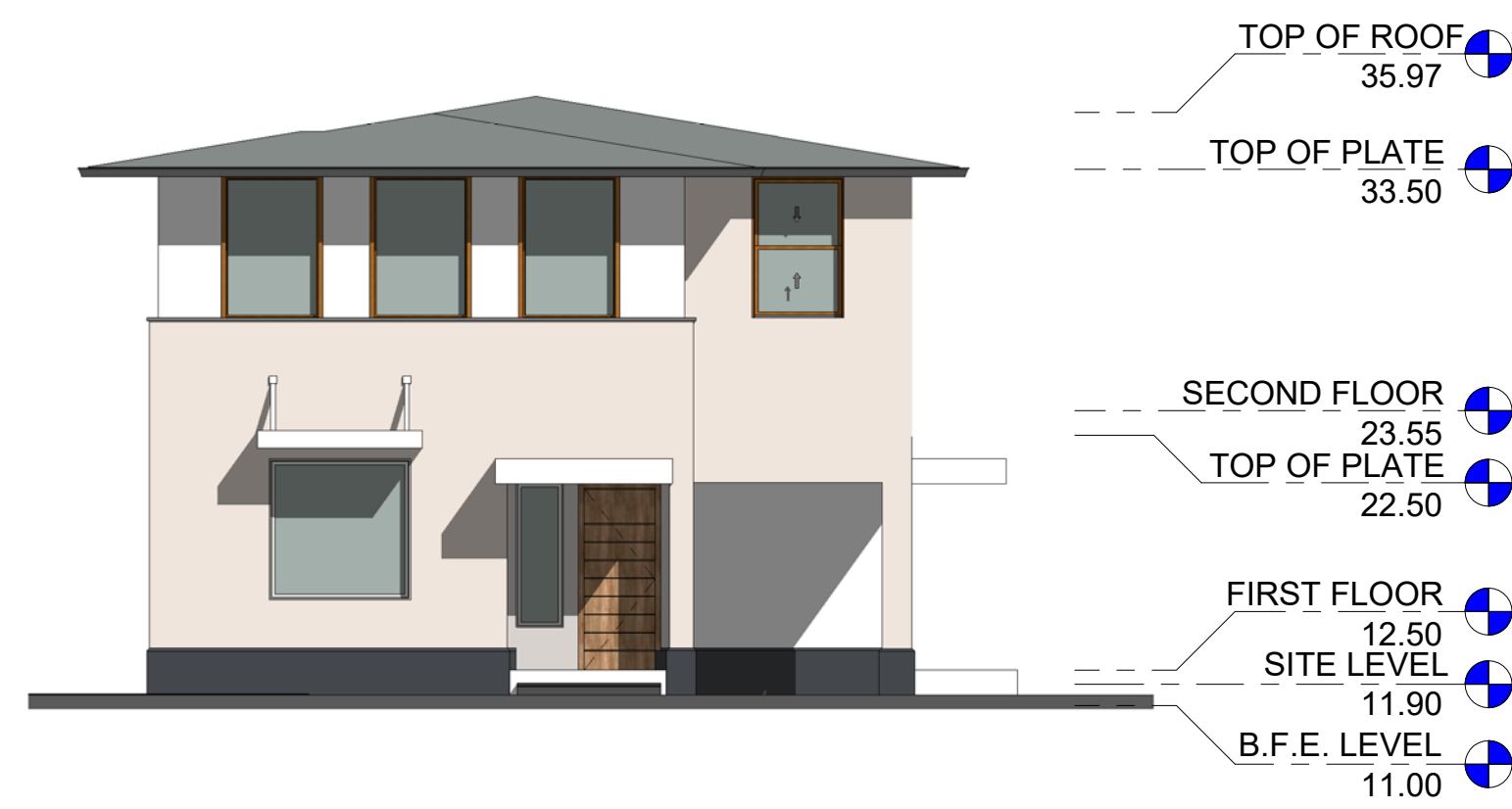
PLANNING SUBMITTAL



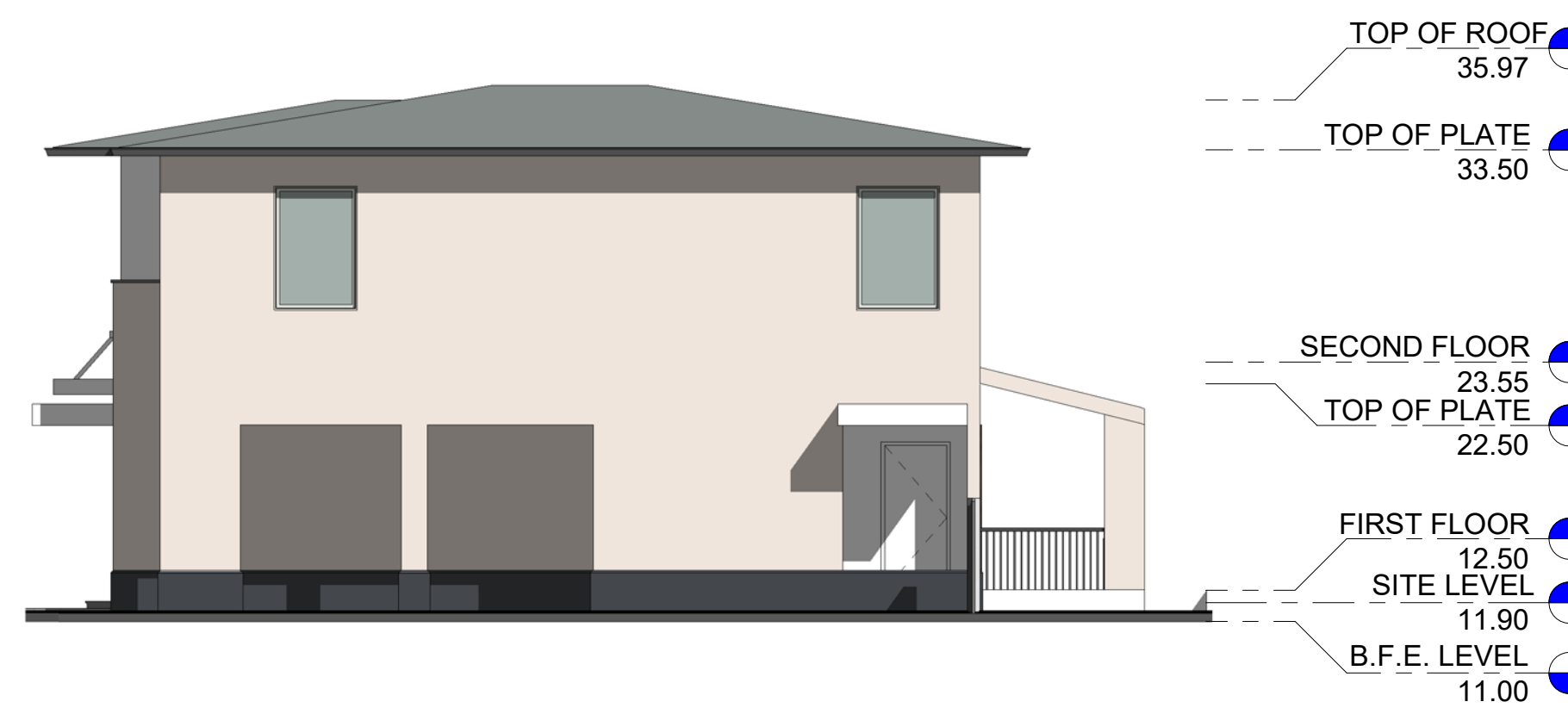
FIRST FLOOR PLAN



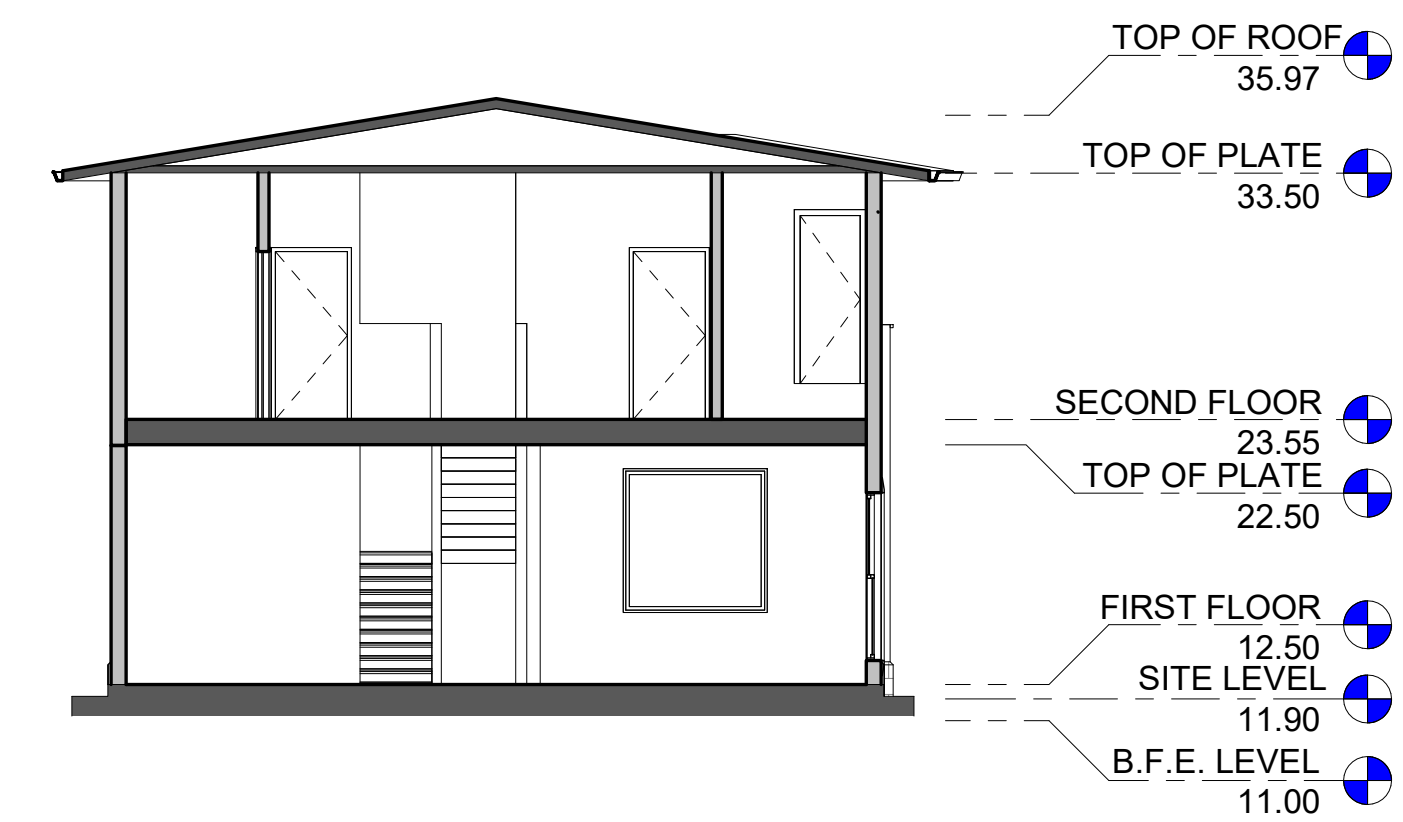
SECOND FLOOR PLAN



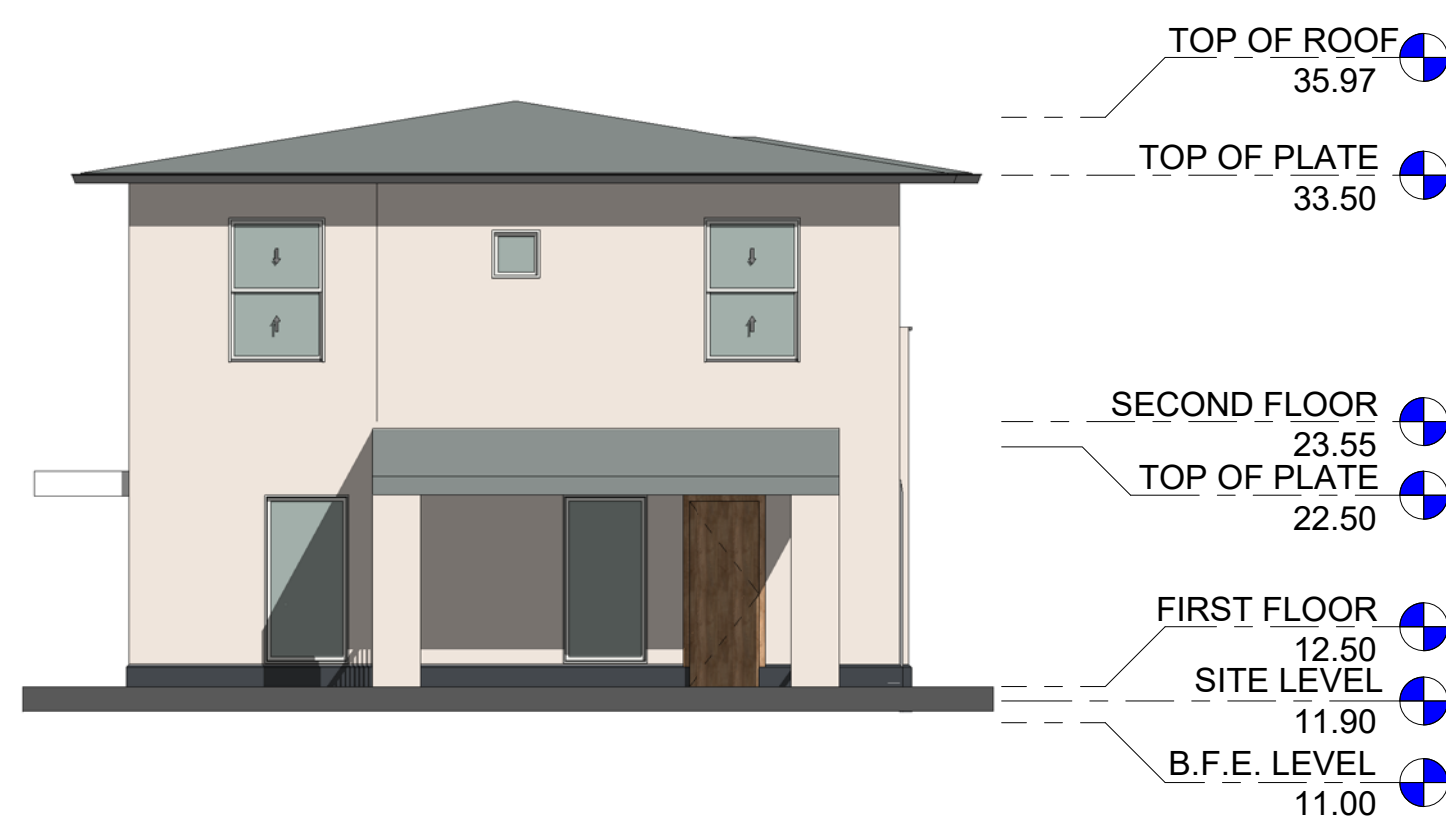
NORTH ELEVATION



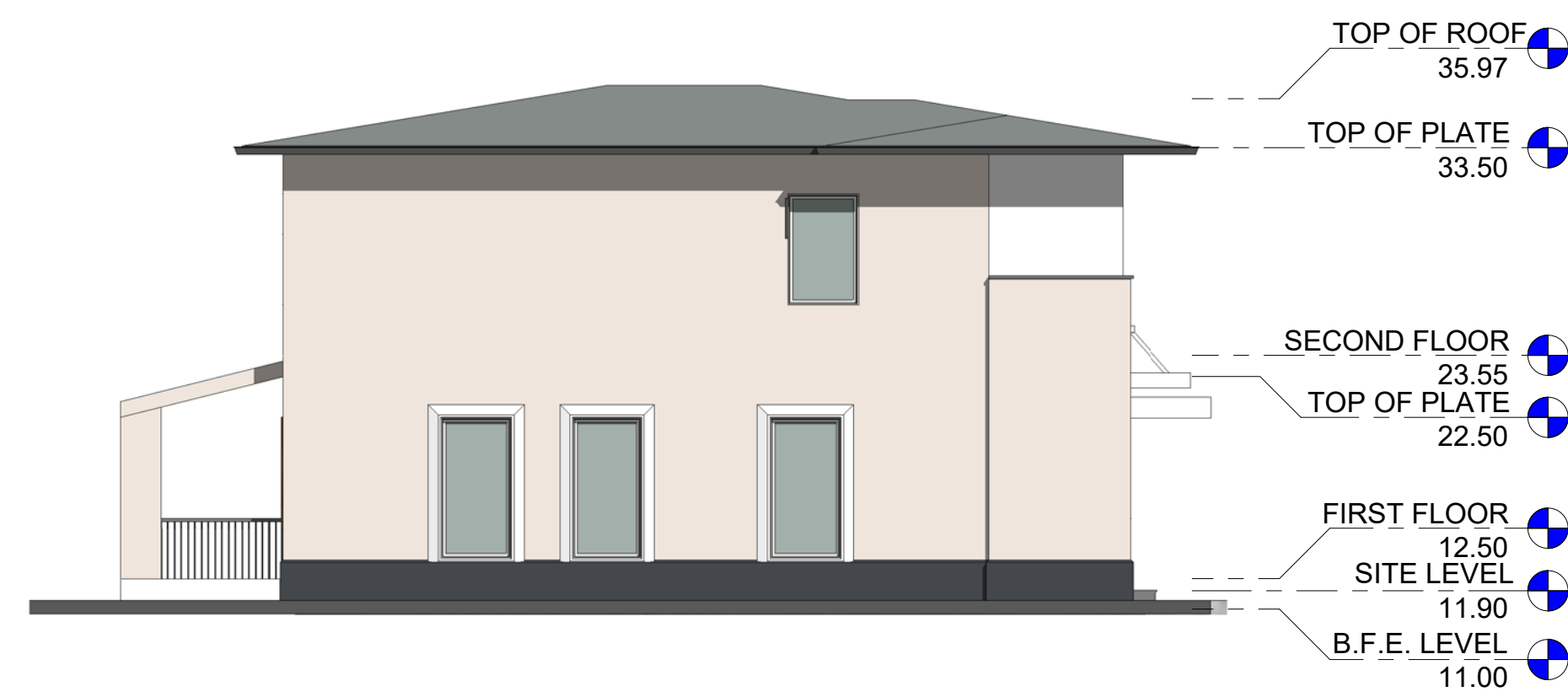
WEST ELEVATION



SECTION



SOUTH ELEVATION



EAST ELEVATION

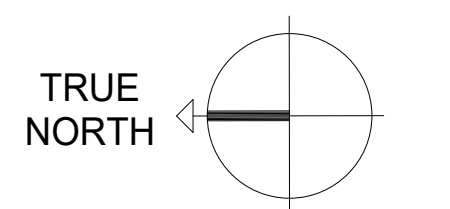
**MATERIAL BOARD**



Date: 12/14/2022

REVISION:

Scale: AS NOTED



Sheet title:

LOT #3  
INCLUSIONARTY DUPLEX  
HOUSING UNIT  
PLAN, ELEVATIONS &  
SECTIONS

Sheet no.

A2.3

of

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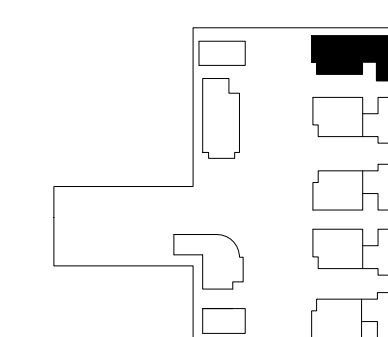
**GENERAL NOTES**

1. SEE A0.5 SHEET FOR AREA ANALYSIS
2. SEE SITE PLAN FOR SETBACK
3. EXTERIOR FINISH : STUCCO
4. ROOFING : HIGH PERFORMANCE ROOFING SHINGLES FROM "OWENS CORNING"
5. GUARD RAIL : METAL
6. DRIVEWAY : CONCRETE
7. WINDOW : VINYL/FIBERGLASS
8. B.F.E. LEVEL : 11.00'
9. HOUSE ADDRESS NUMBER TO BE MINIMUM 4" TALL WITH 1/2" STROKE ILLUMINATED.
10. RECESSED CEILING LIGHT
11. WALL SCONES
12. MOTION SENSOR LIGHT ON ASTRONOMICAL CLOCK

**AREA DETAIL**

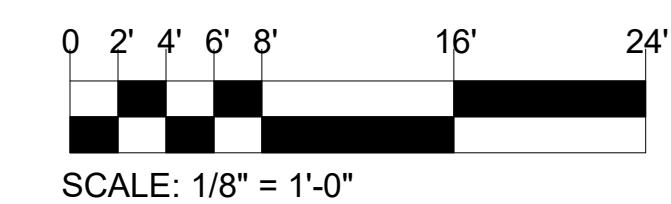
- UNIT 3
1. FIRST FLOOR : 1,123.57 SQ.FT.
  2. SECOND FLOOR : 1,172.3 SQ.FT.

**KEY PLAN**

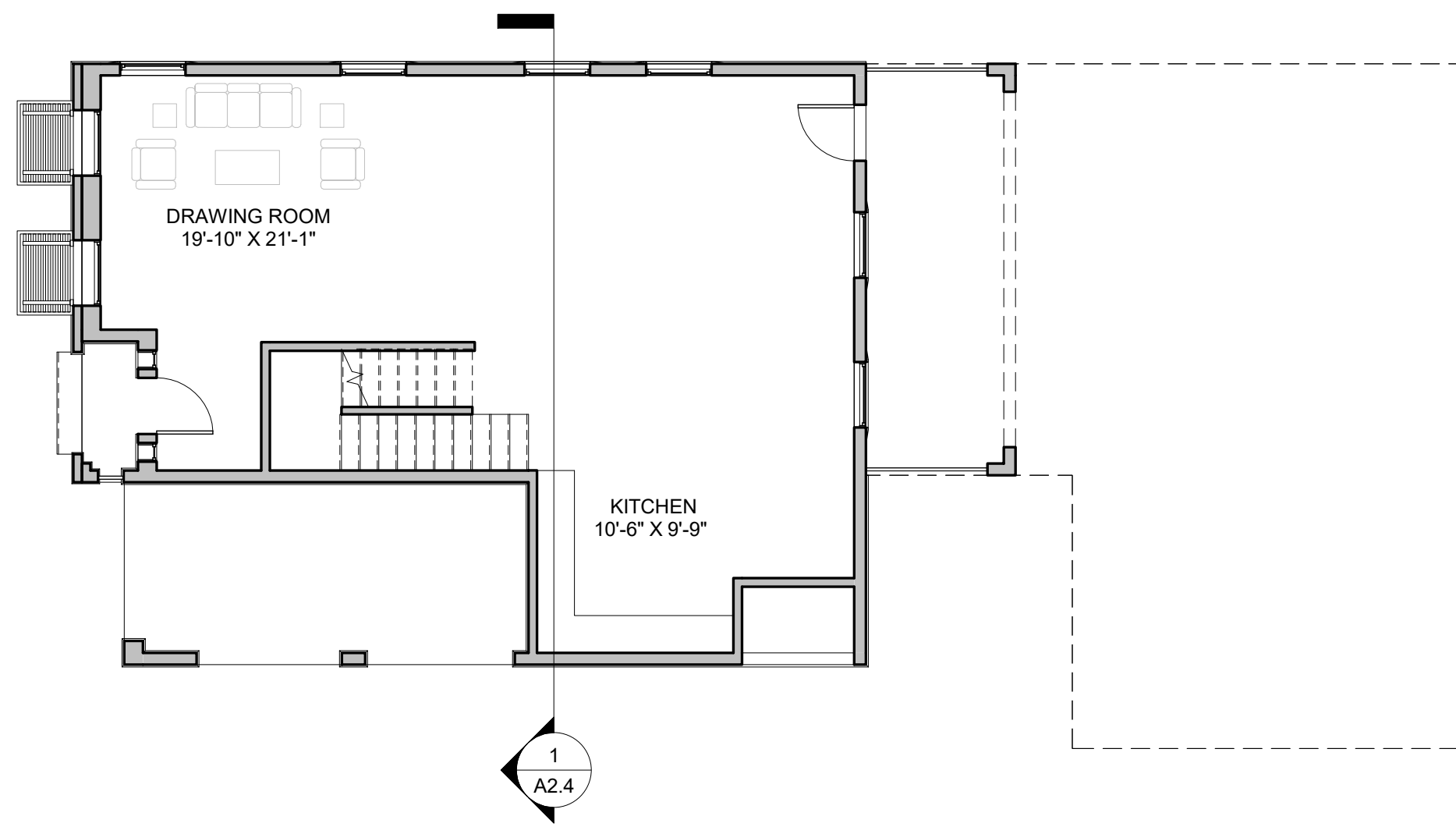


**LEGEND**

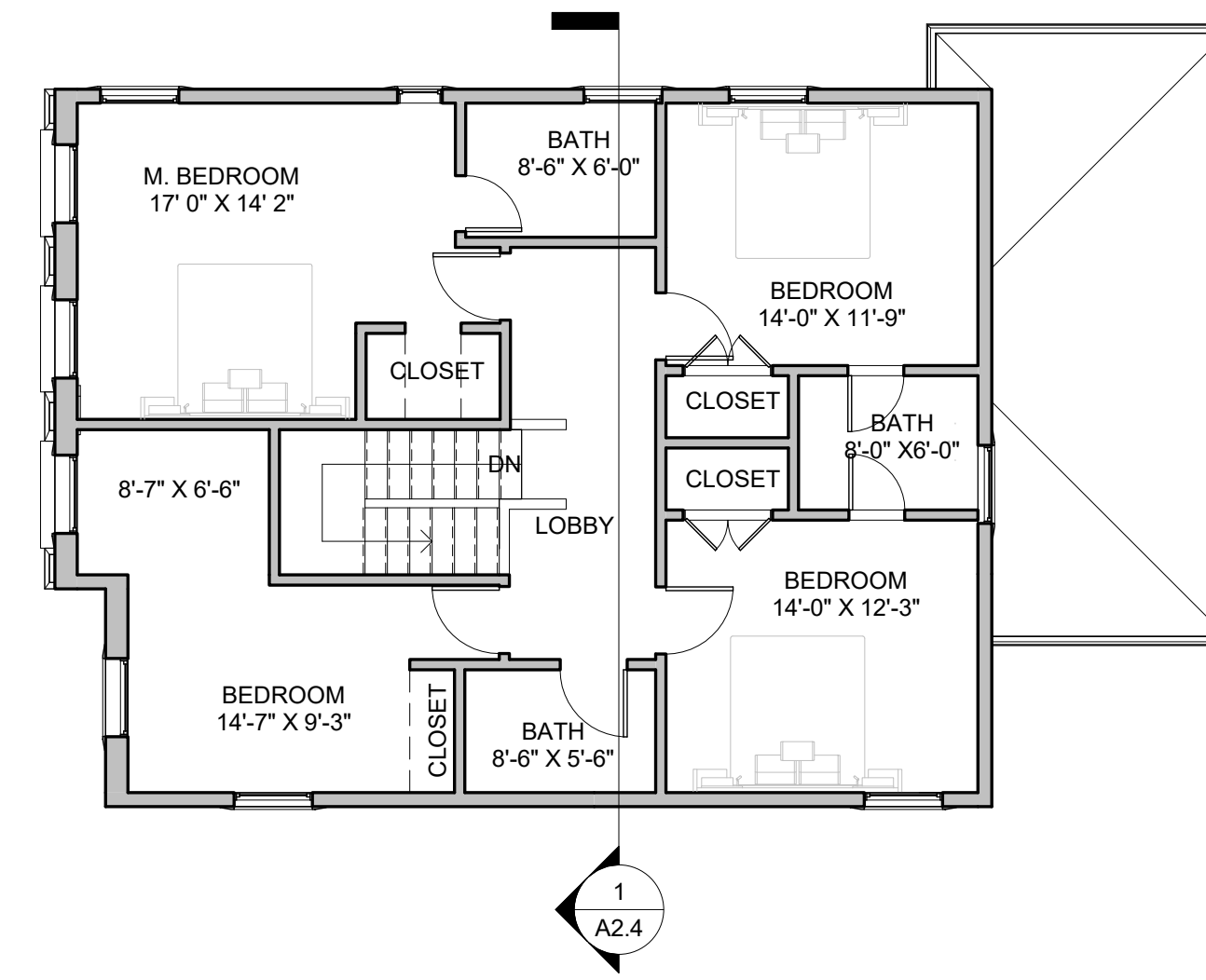
**GRAPHIC SCALE**







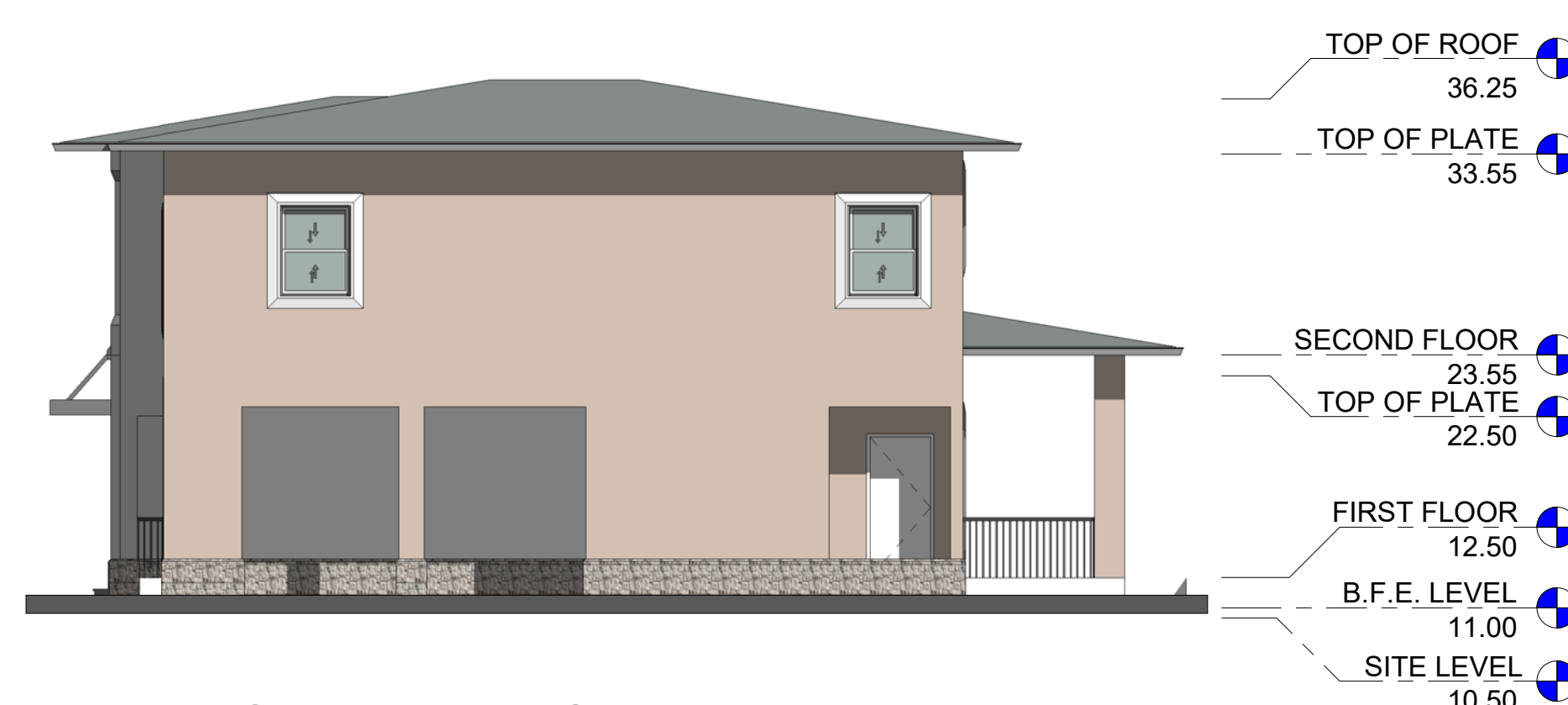
FIRST FLOOR PLAN



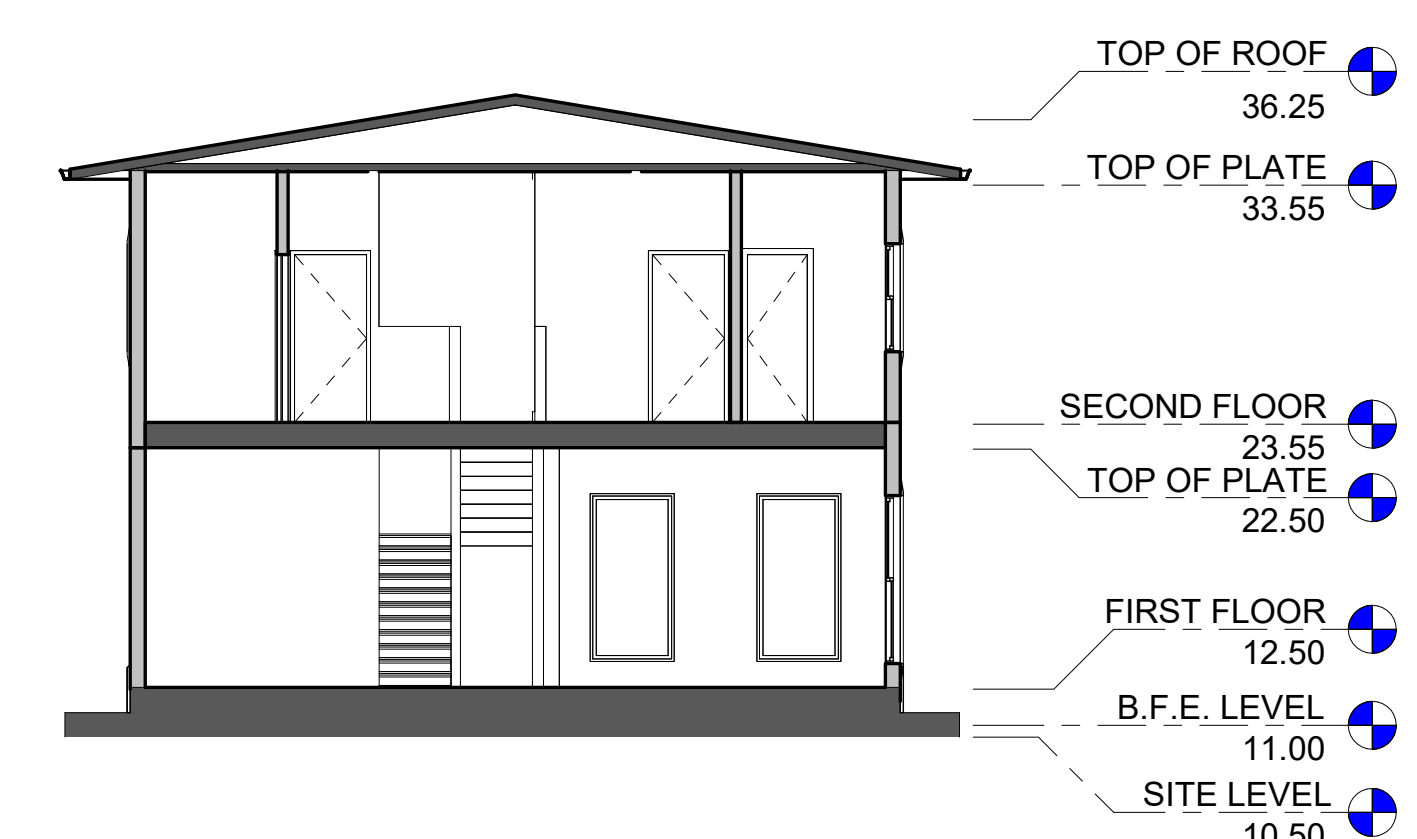
SECOND FLOOR PLAN



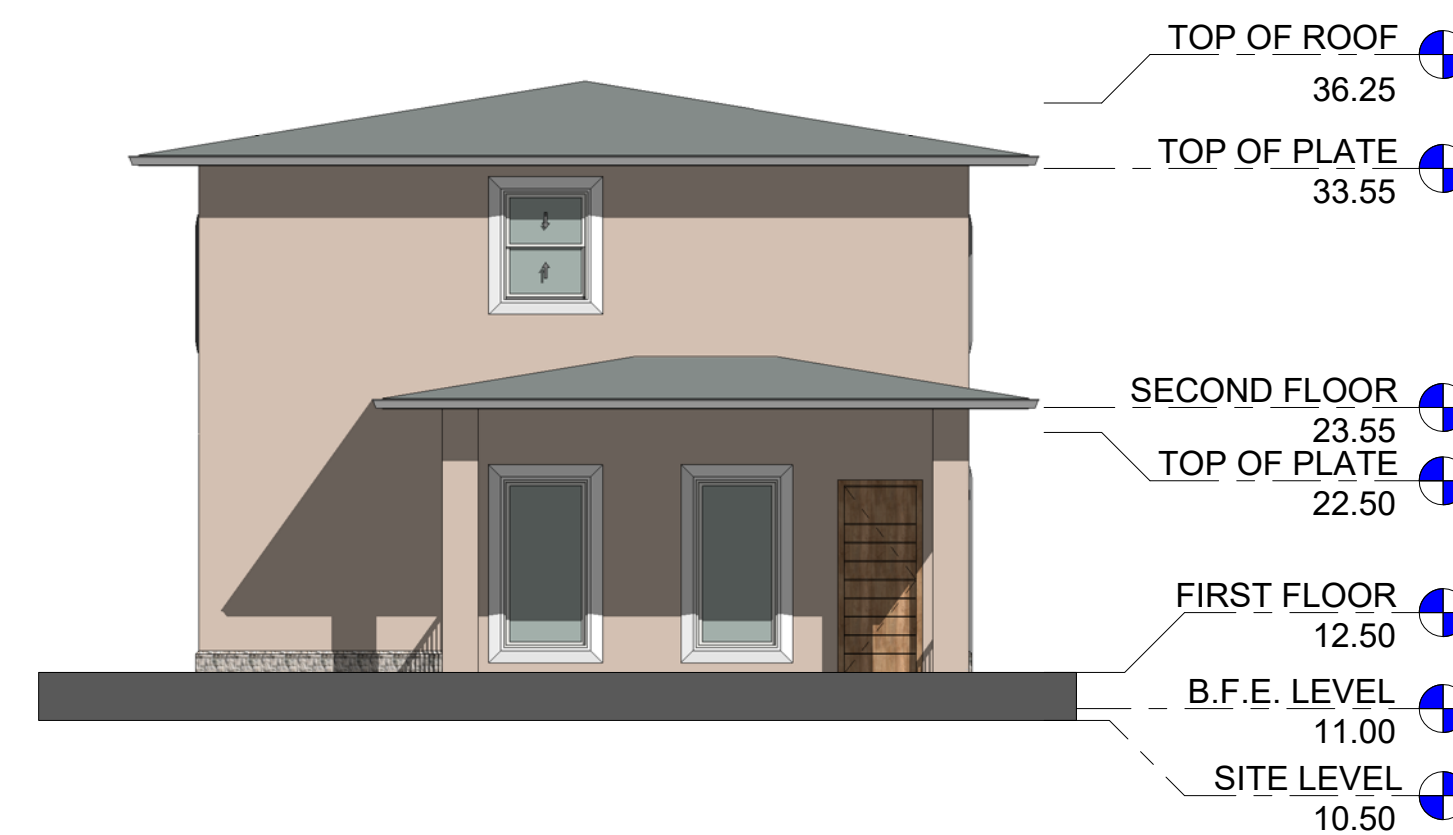
NORTH ELEVATION



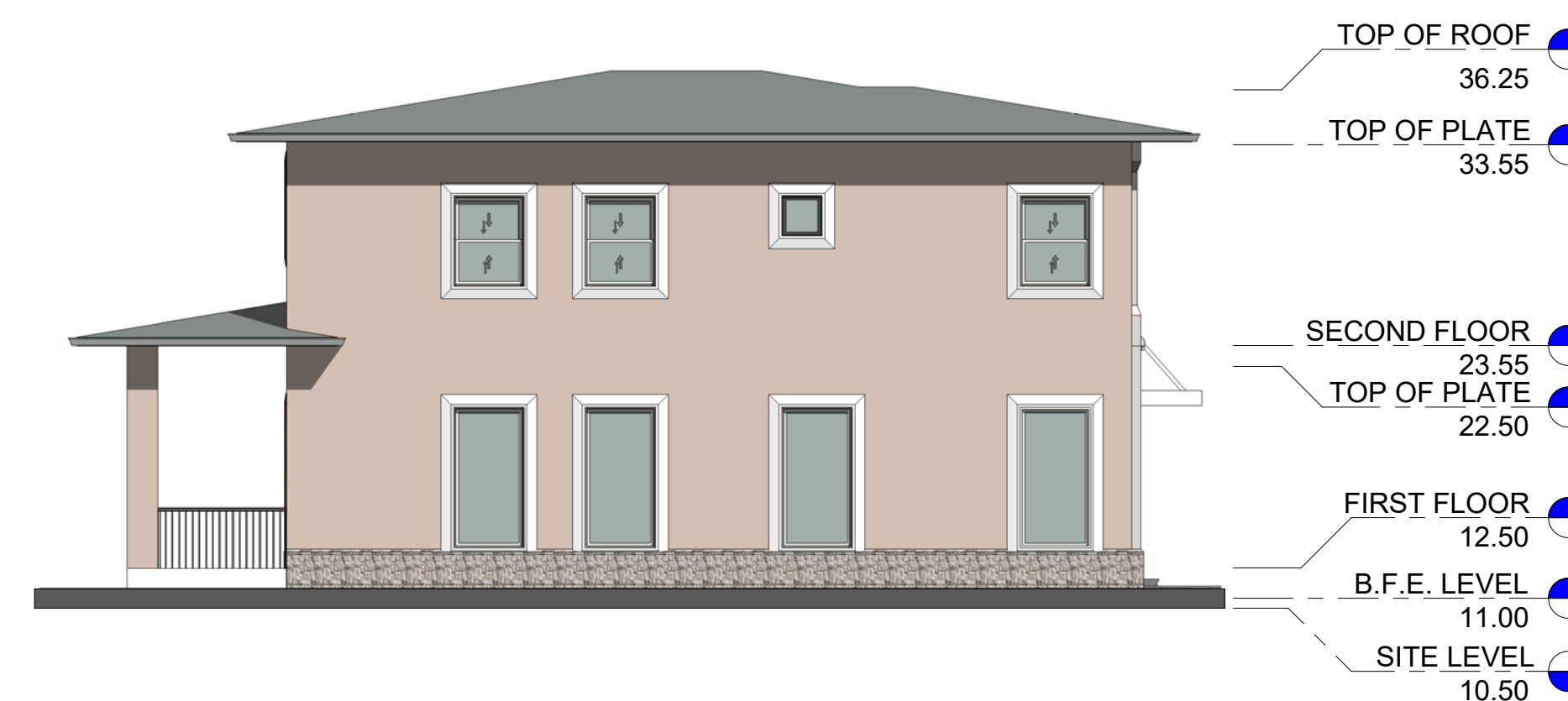
WEST ELEVATION



SECTION



SOUTH ELEVATION



EAST ELEVATION

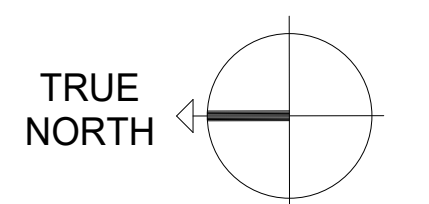
MATERIAL BOARD



Date: 12/14/2022

REVISION:

Scale: AS NOTED



Sheet title:

LOT #4  
PLAN, ELEVATIONS &  
SECTIONS

Sheet no.

A2.4

of

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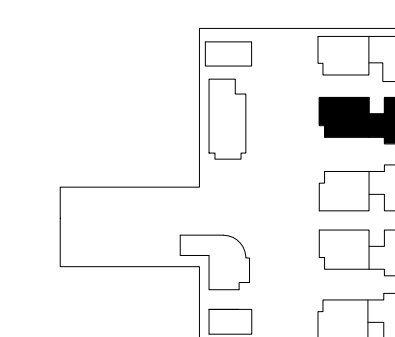
GENERAL NOTES

- SEE A0.4 SHEET FOR AREA ANALYSIS
- SEE SITE PLAN FOR SETBACK
- EXTERIOR FINISH : STUCCO
- ROOFING : HIGH PERFORMANCE ROOFING SHINGLES FROM "OWENS CORNING"
- GUARD RAIL : METAL
- DRIVEWAY : CONCRETE
- WINDOW : VINYL/FIBERGLASS
- B.F.E. LEVEL : 11.00'
- HOUSE ADDRESS NUMBER TO BE MINIMUM 4" TALL WITH 1/2" STROKE ILLUMINATED.
- RECESSED CEILING LIGHT
- WALL SCONES
- MOTION SENSOR LIGHT ON ASTRONOMICAL CLOCK

AREA DETAIL

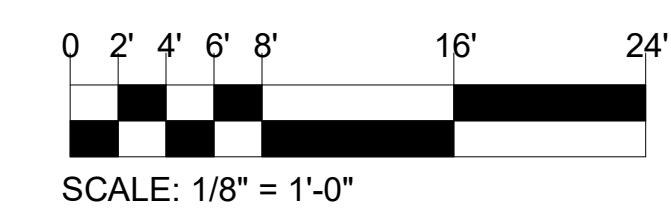
- UNIT 4
- FIRST FLOOR : 1,123.57 SQ.FT.
  - SECOND FLOOR : 1,172.3 SQ.FT.

KEY PLAN



LEGEND

GRAPHIC SCALE





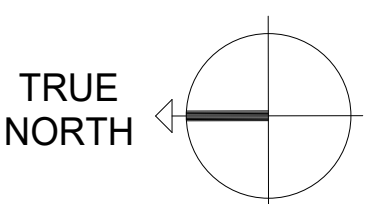
**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL

Date: 12/14/2022

REVISION:

Scale: AS NOTED



Sheet title:

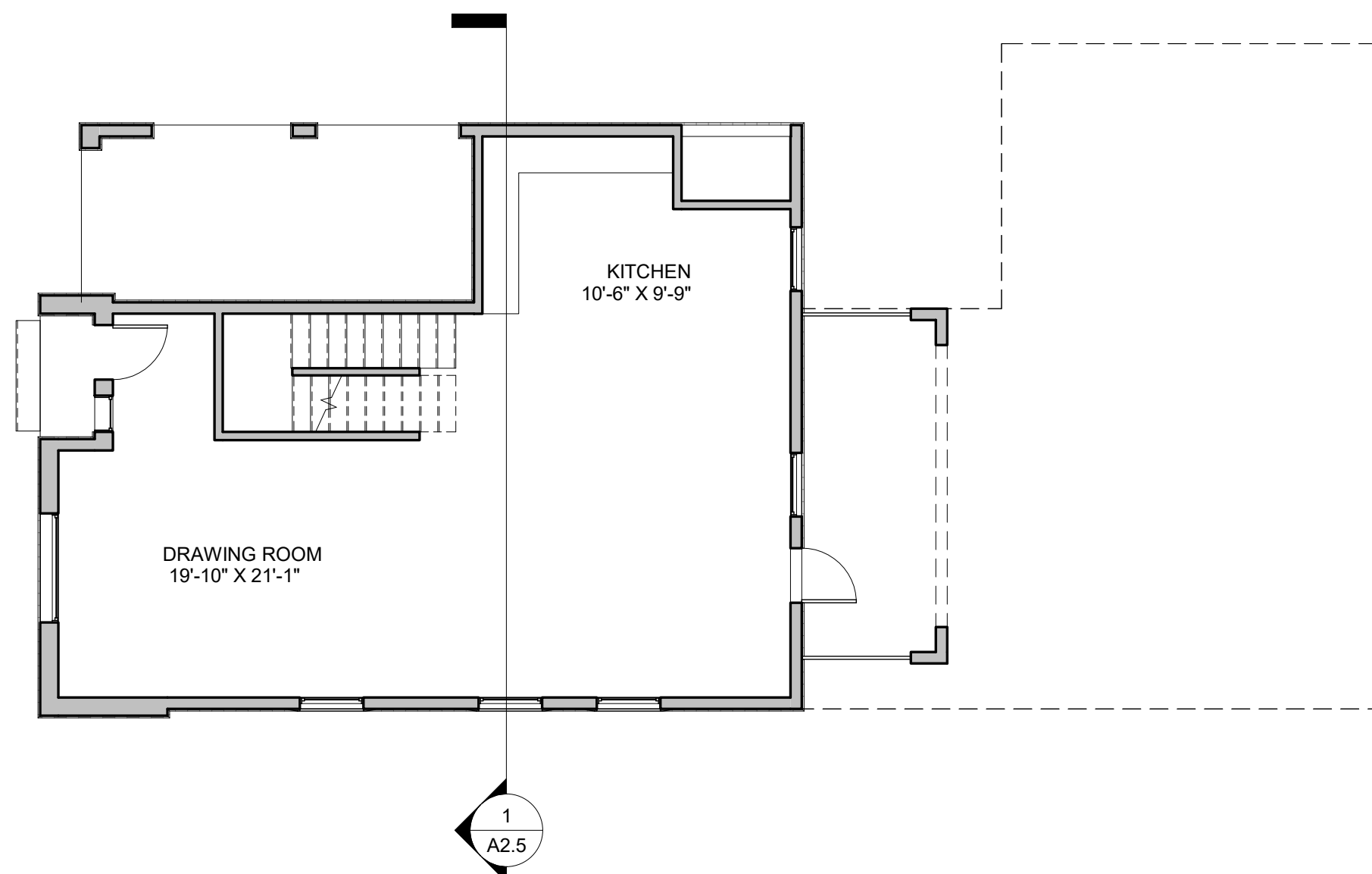
LOT #5  
PLAN, ELEVATIONS &  
SECTIONS

Sheet no.

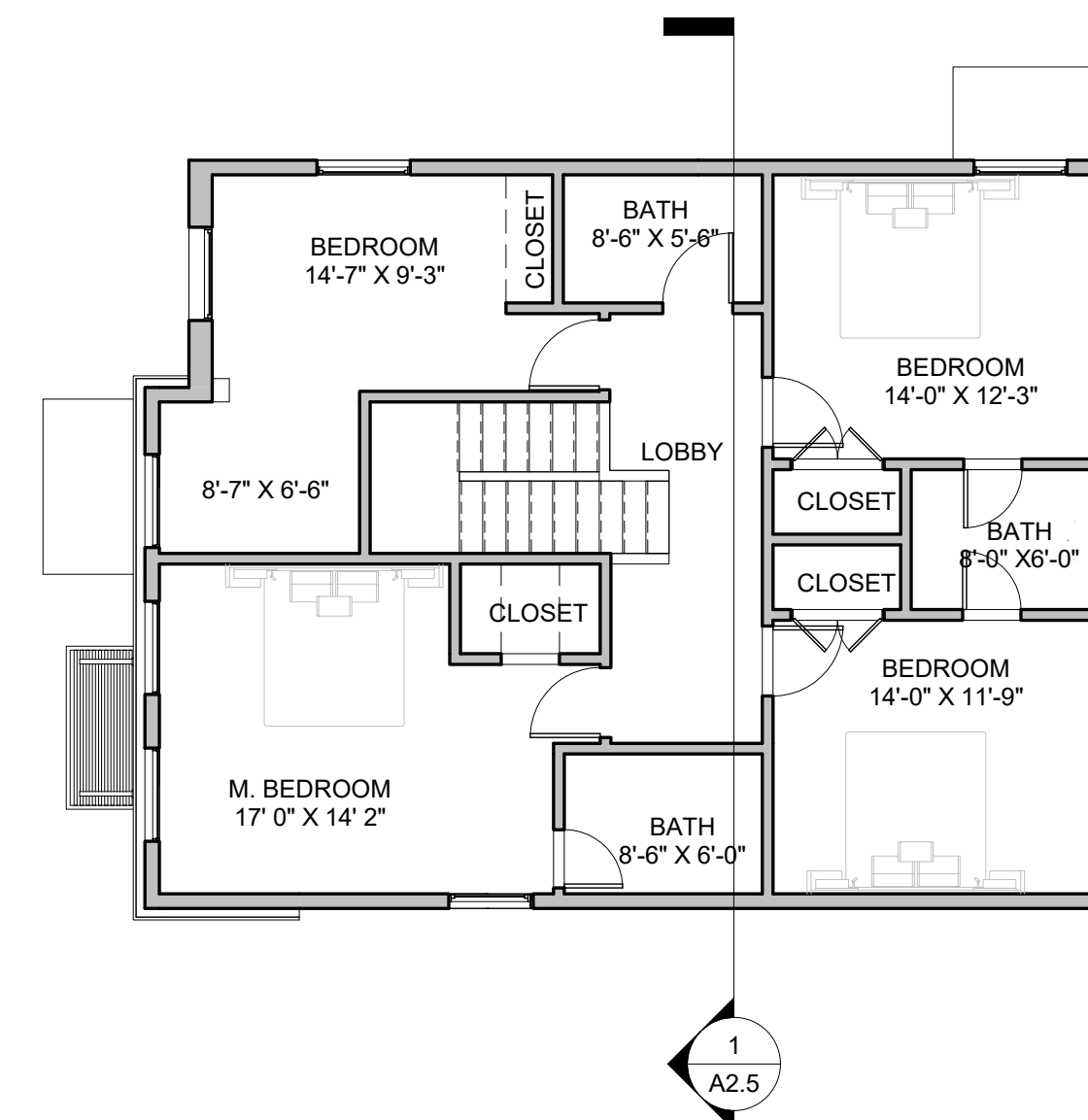
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of

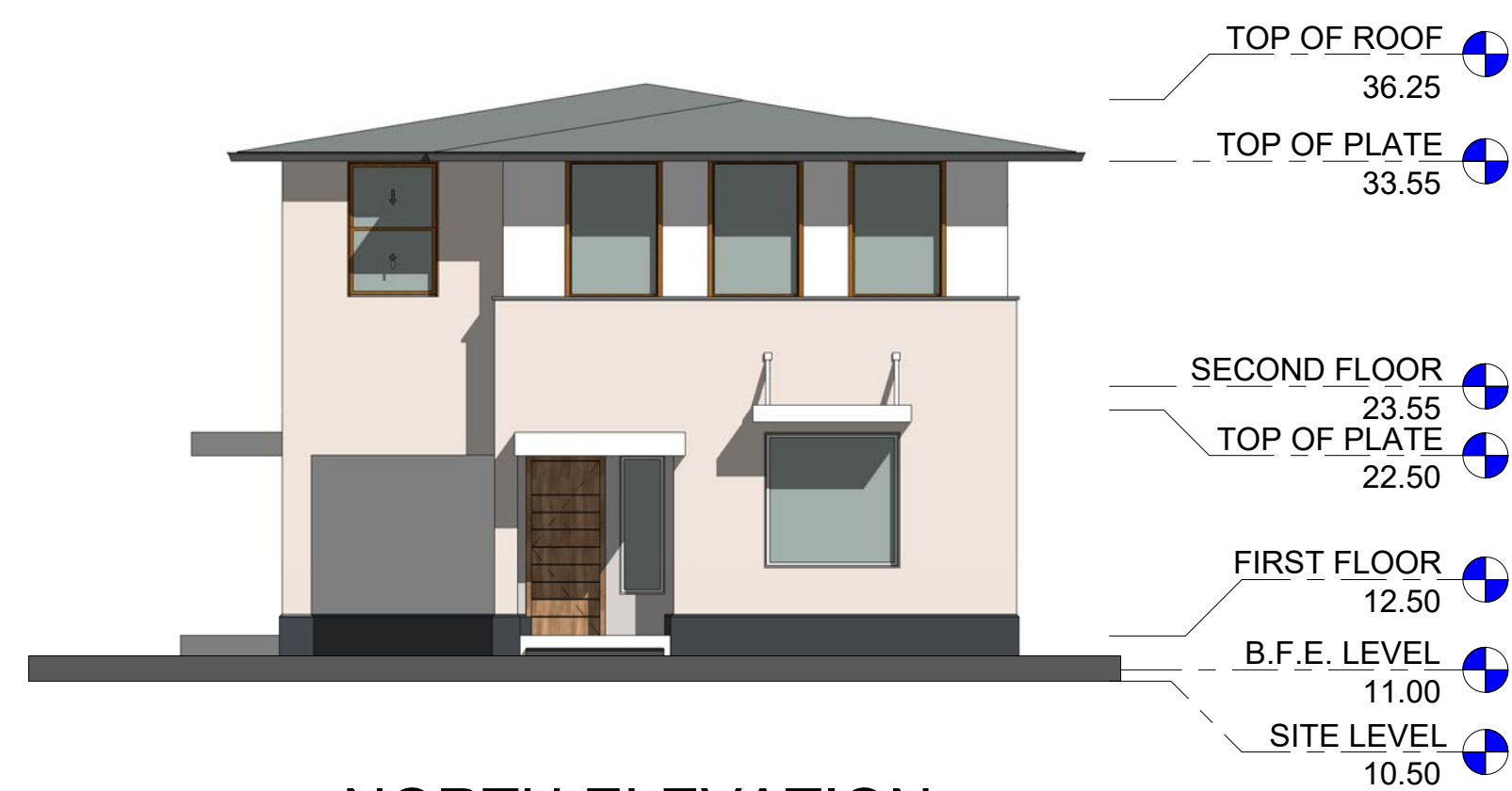
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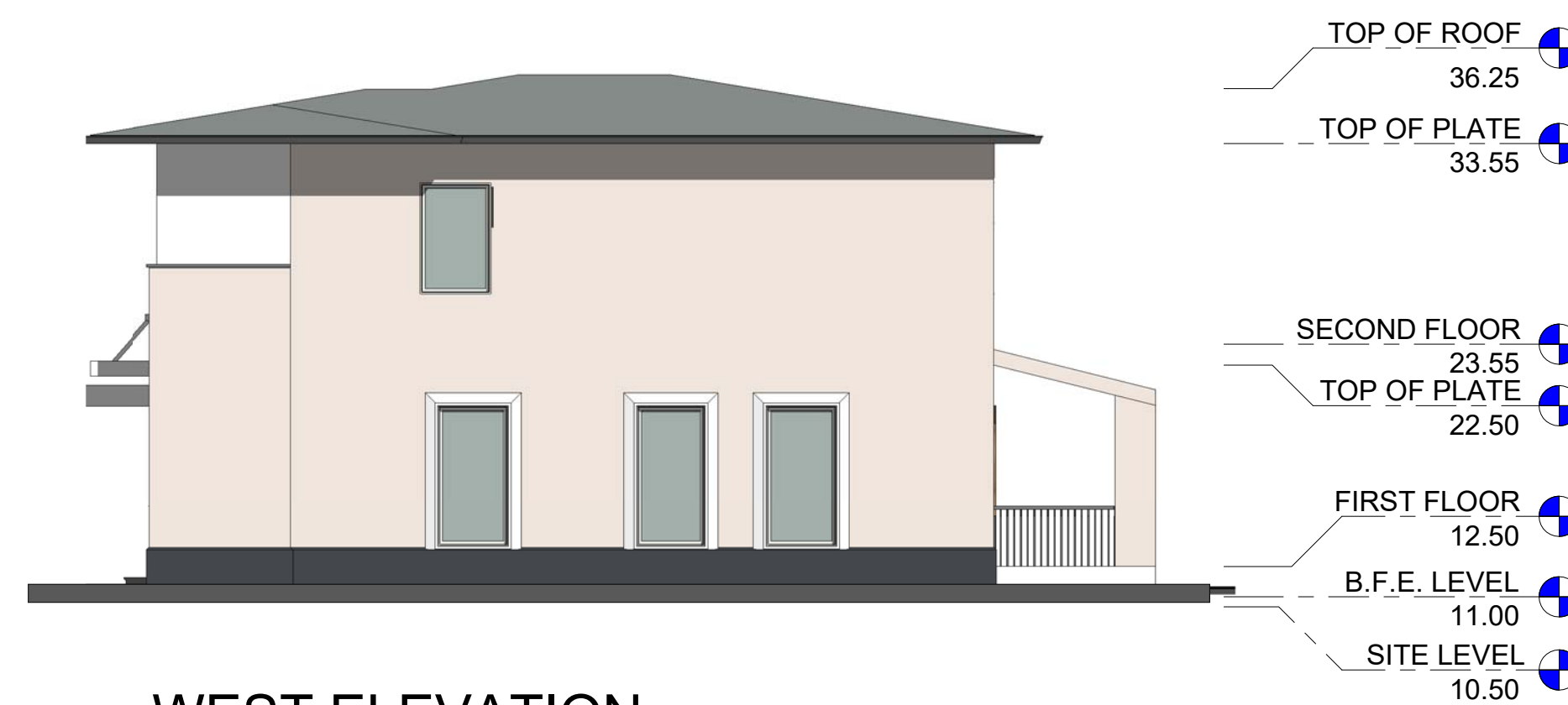
FIRST FLOOR PLAN



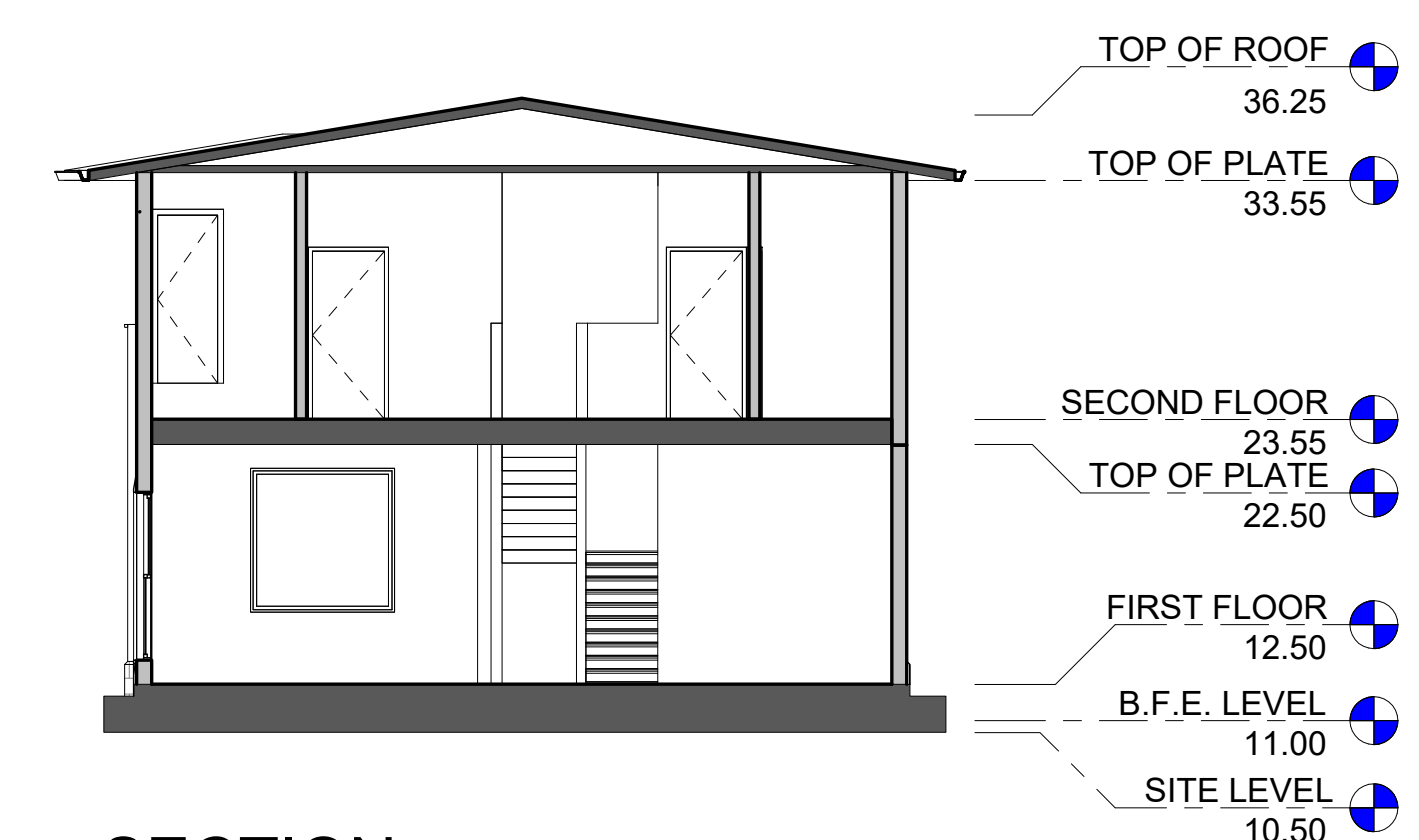
SECOND FLOOR PLAN



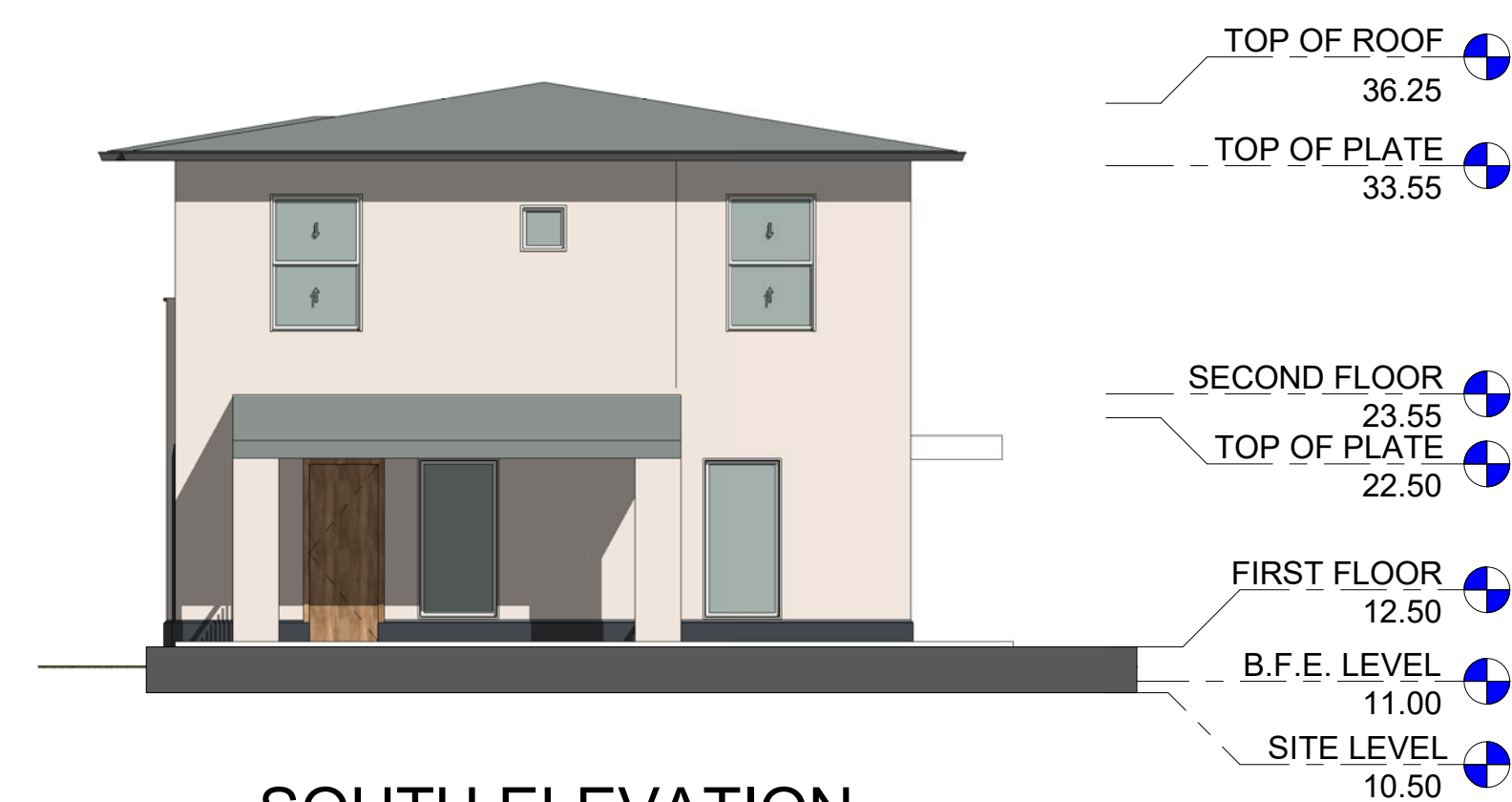
NORTH ELEVATION



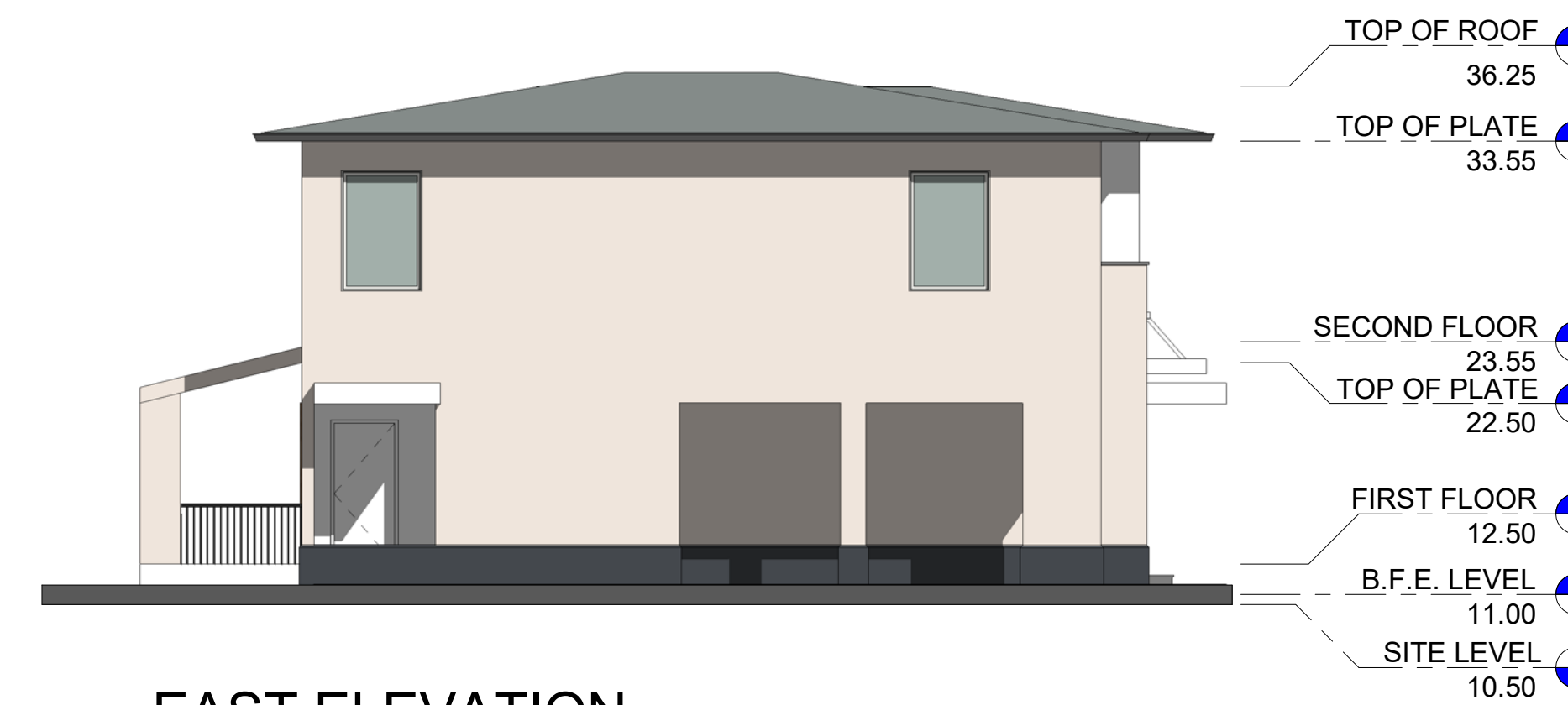
WEST ELEVATION



SECTION

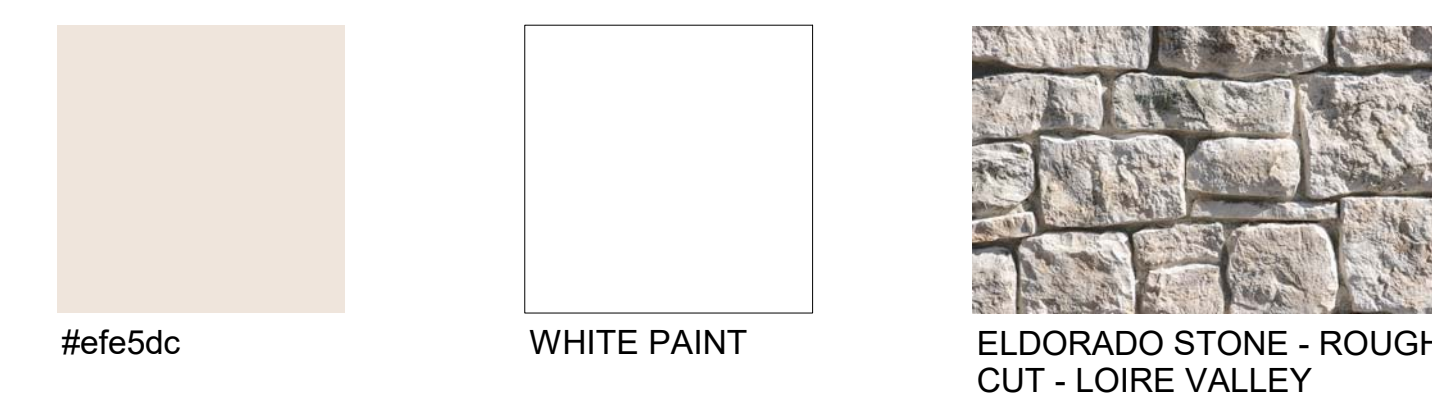


SOUTH ELEVATION



EAST ELEVATION

MATERIAL BOARD



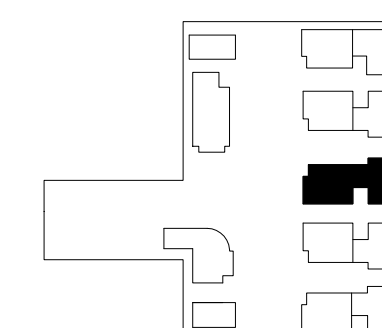
GENERAL NOTES

- SEE A0.4 SHEET FOR AREA ANALYSIS
- SEE SITE PLAN FOR SETBACK
- EXTERIOR FINISH : STUCCO
- ROOFING : HIGH PERFORMANCE ROOFING SHINGLES FROM "OWENS CORNING"
- GUARD RAIL : METAL
- DRIVEWAY : CONCRETE
- WINDOW : VINYL/FIBERGLASS
- B.F.E. LEVEL : 11.00'
- HOUSE ADDRESS NUMBER TO BE MINIMUM 4" TALL WITH 1/2" STROKE ILLUMINATED.
- RECESSED CEILING LIGHT
- WALL SCONE
- MOTION SENSOR LIGHT ON ASTRONOMICAL CLOCK

AREA DETAIL

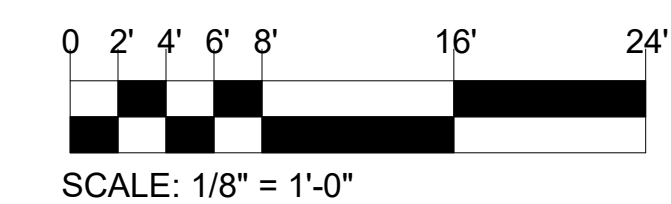
- UNIT 5
- FIRST FLOOR : 1,123.57 SQ.FT.
  - SECOND FLOOR : 1,172.3 SQ.FT.

KEY PLAN



LEGEND

GRAPHIC SCALE



of



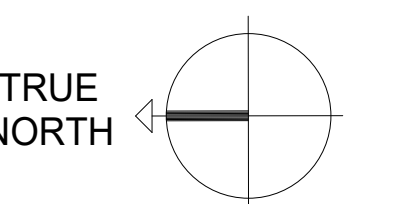
**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL

Date: 12/14/2022

REVISION:

Scale: AS NOTED



Sheet title:

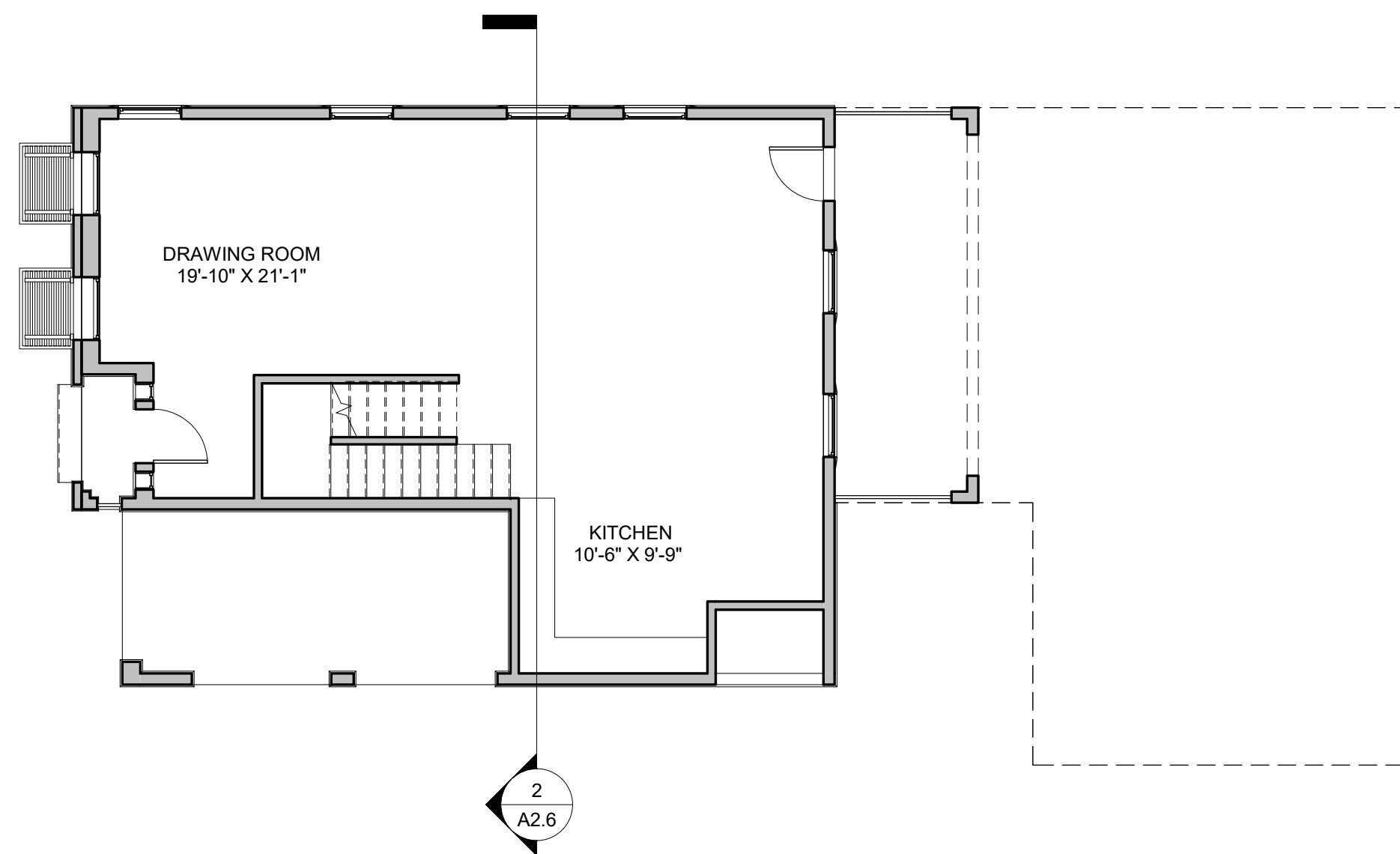
LOT #6  
PLAN, ELEVATIONS &  
SECTIONS

Sheet no.

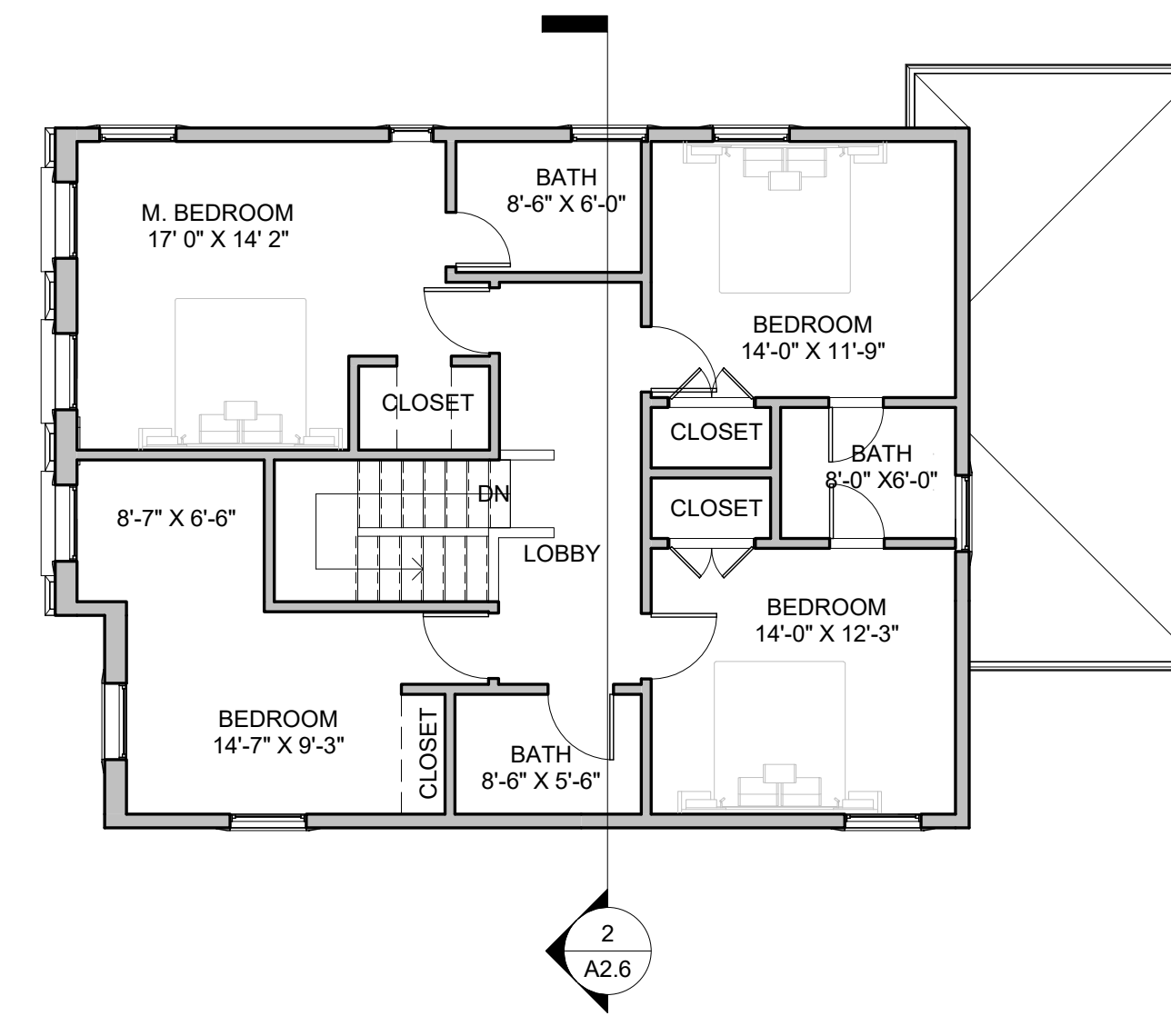
A2.6

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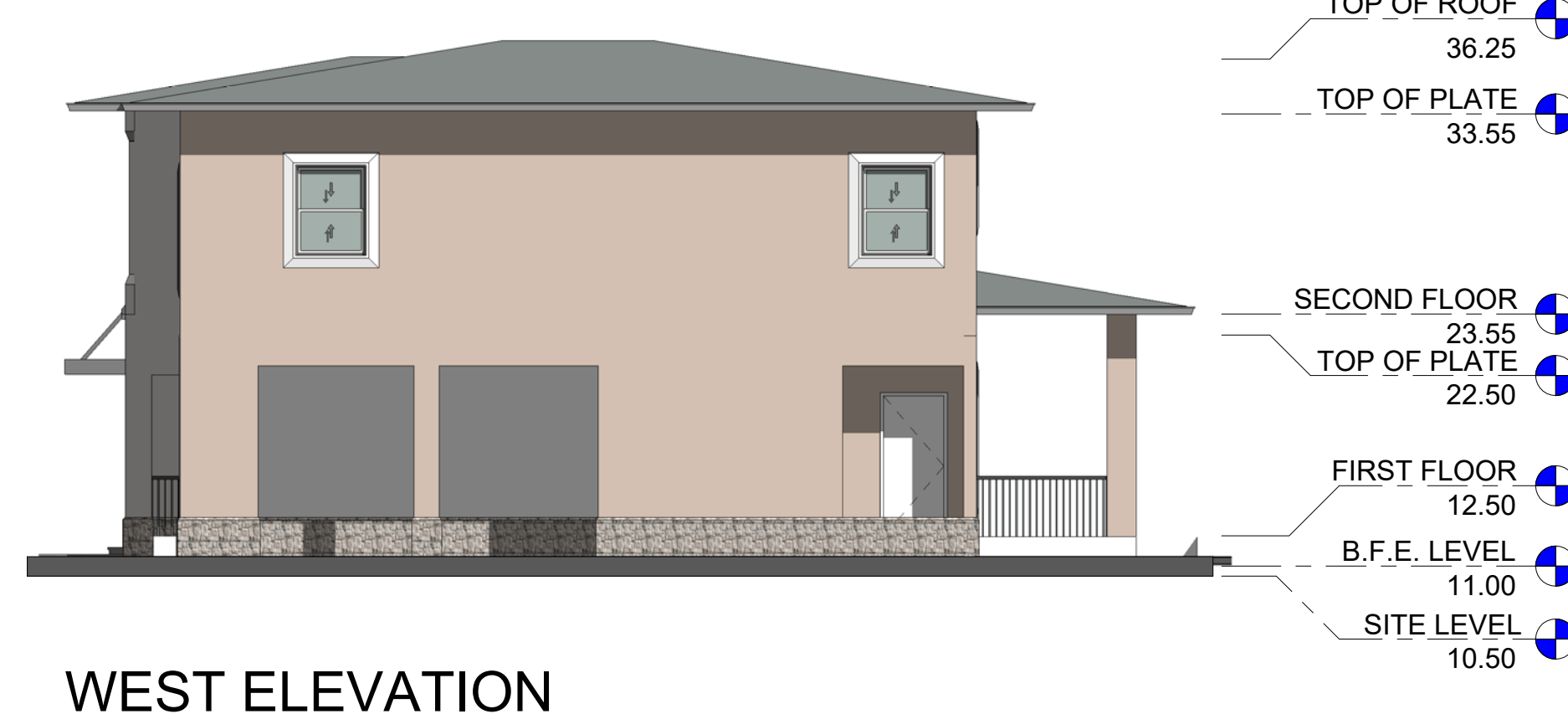
FIRST FLOOR PLAN



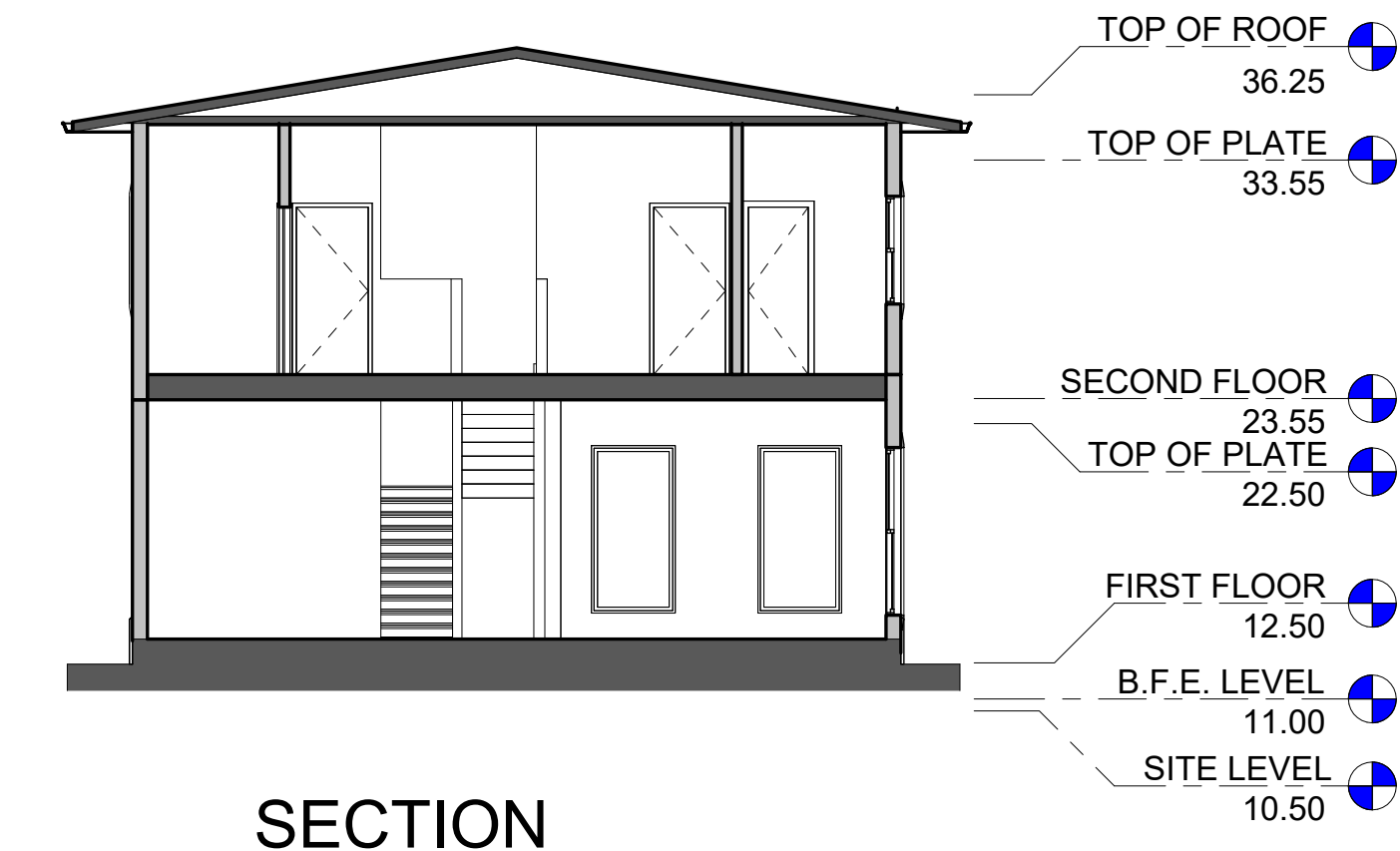
SECOND FLOOR PLAN



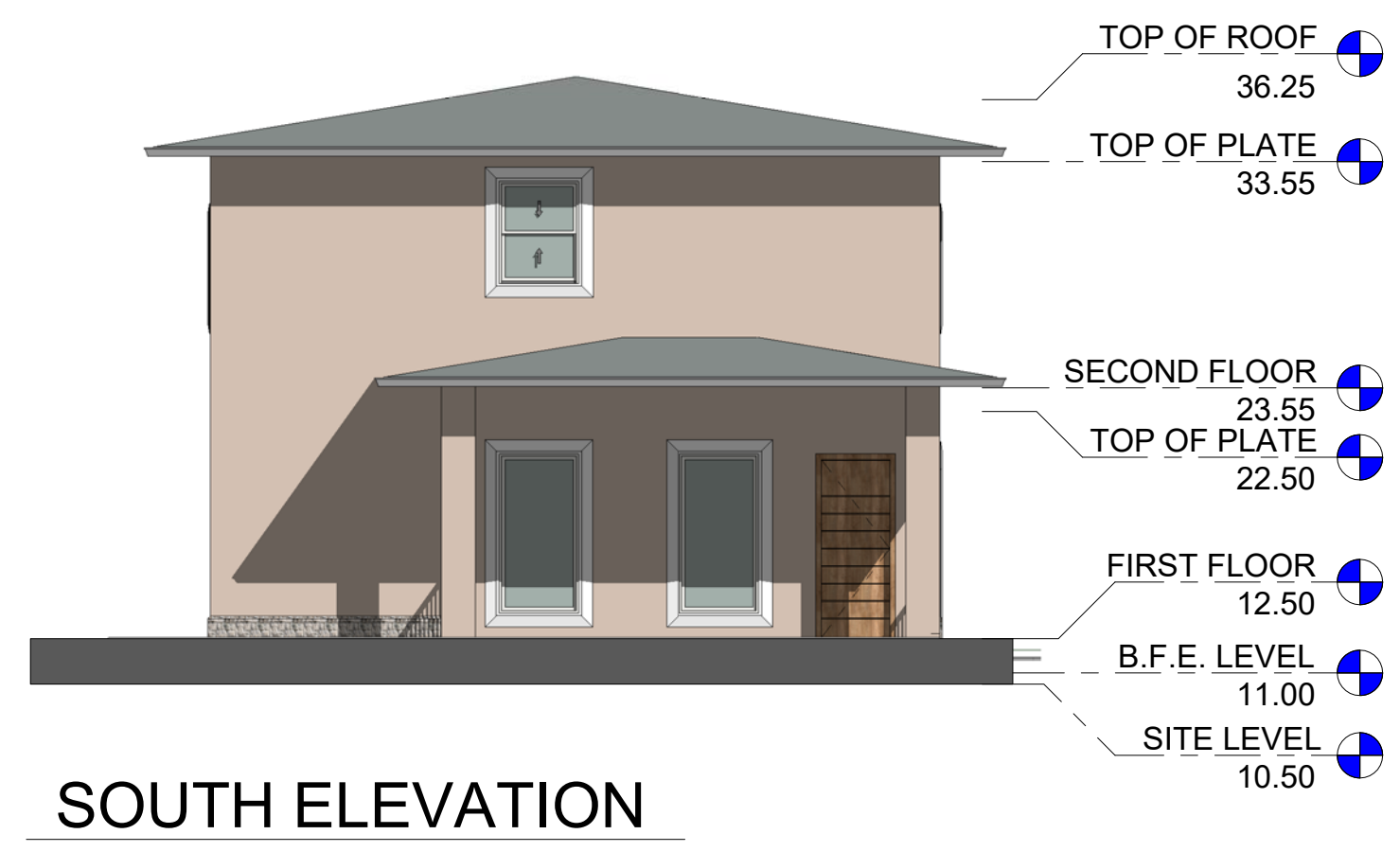
NORTH ELEVATION



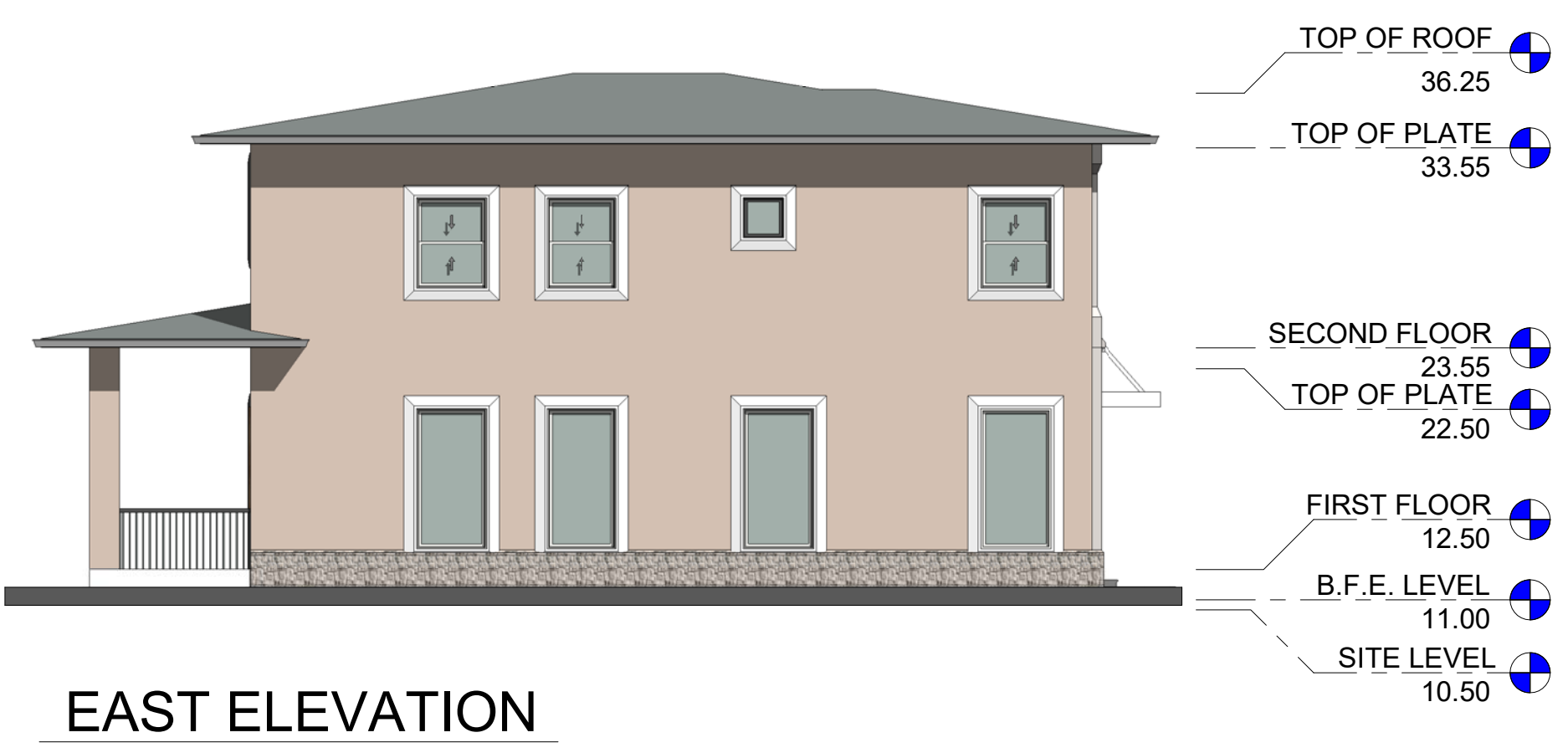
WEST ELEVATION



SECTION

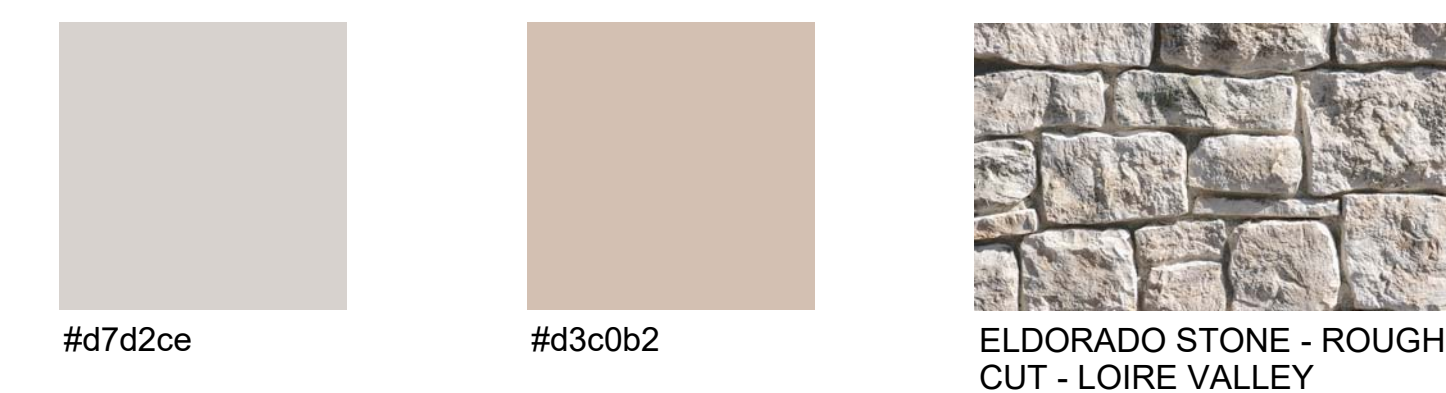


SOUTH ELEVATION



EAST ELEVATION

MATERIAL BOARD



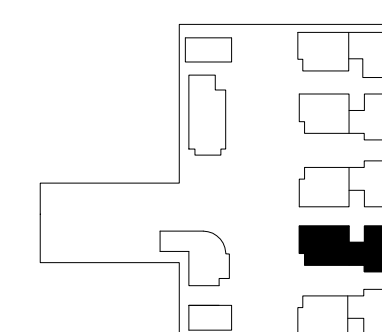
GENERAL NOTES

- SEE A0.4 SHEET FOR AREA ANALYSIS
- SEE SITE PLAN FOR SETBACK
- EXTERIOR FINISH : STUCCO
- ROOFING : HIGH PERFORMANCE ROOFING SHINGLES FROM "OWENS CORNING"
- GUARD RAIL : METAL
- DRIVEWAY : CONCRETE
- WINDOW : VINYL/FIBERGLASS
- B.F.E. LEVEL : 11.00'
- HOUSE ADDRESS NUMBER TO BE MINIMUM 4" TALL WITH 1/2" STROKE ILLUMINATED.
- RECESSED CEILING LIGHT
- WALL SCONE
- MOTION SENSOR LIGHT ON ASTRONOMICAL CLOCK

AREA DETAIL

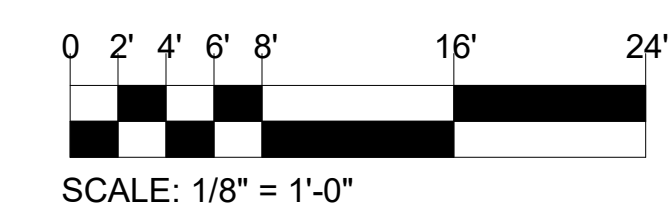
- UNIT 6
- FIRST FLOOR : 1,123.57 SQ.FT.
  - SECOND FLOOR : 1,172.3 SQ.FT.

KEY PLAN



LEGEND

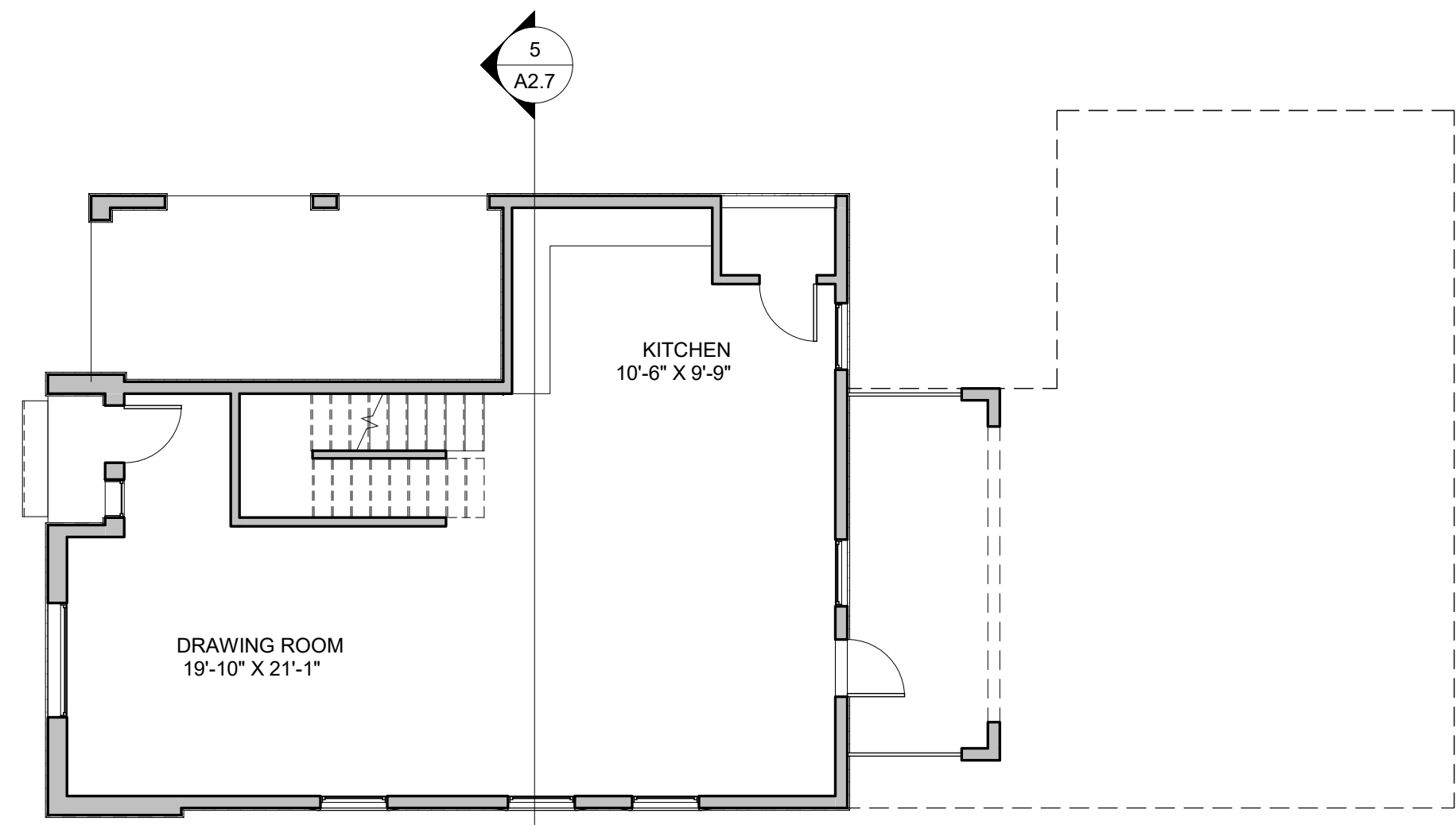
GRAPHIC SCALE



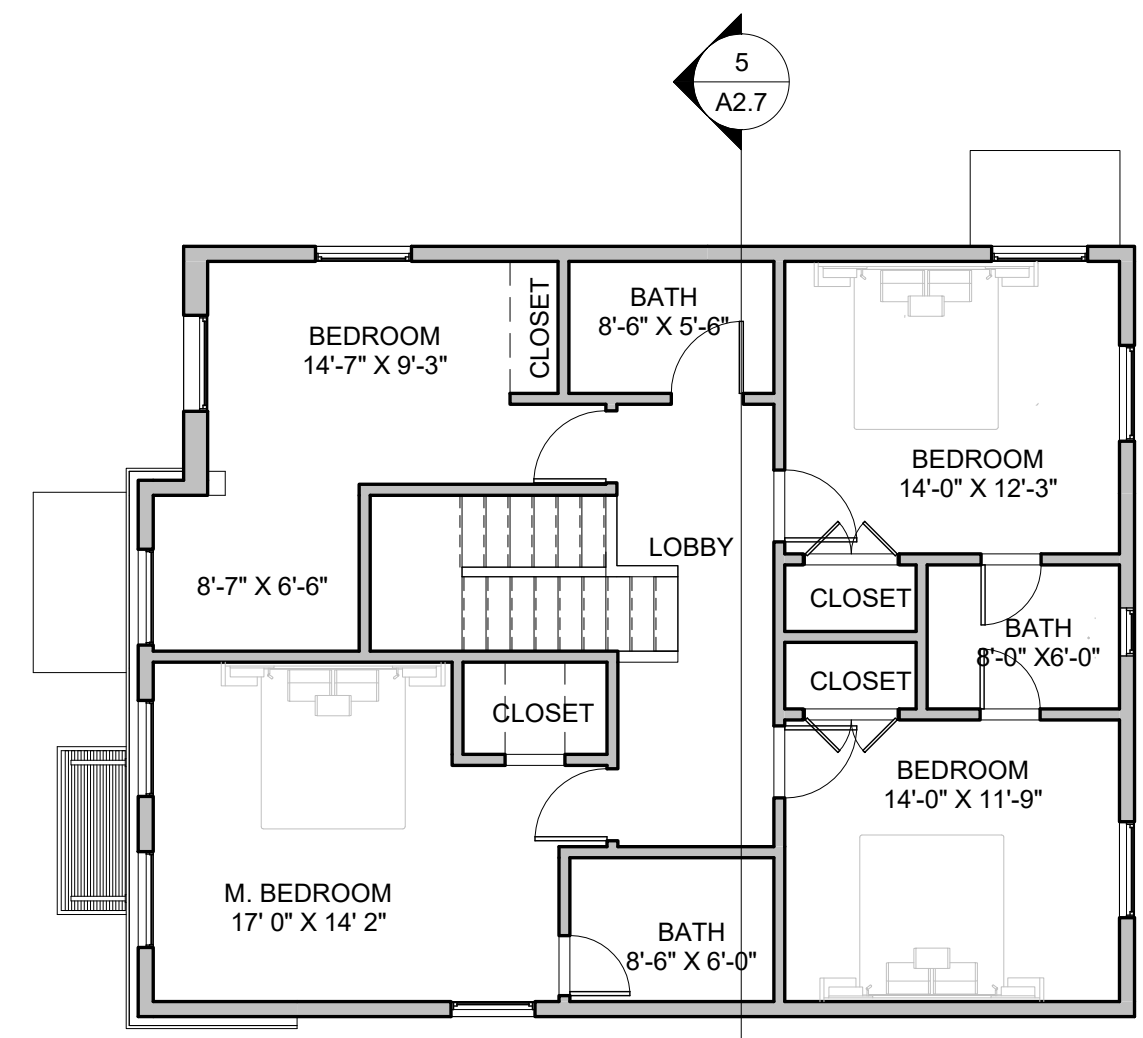


**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

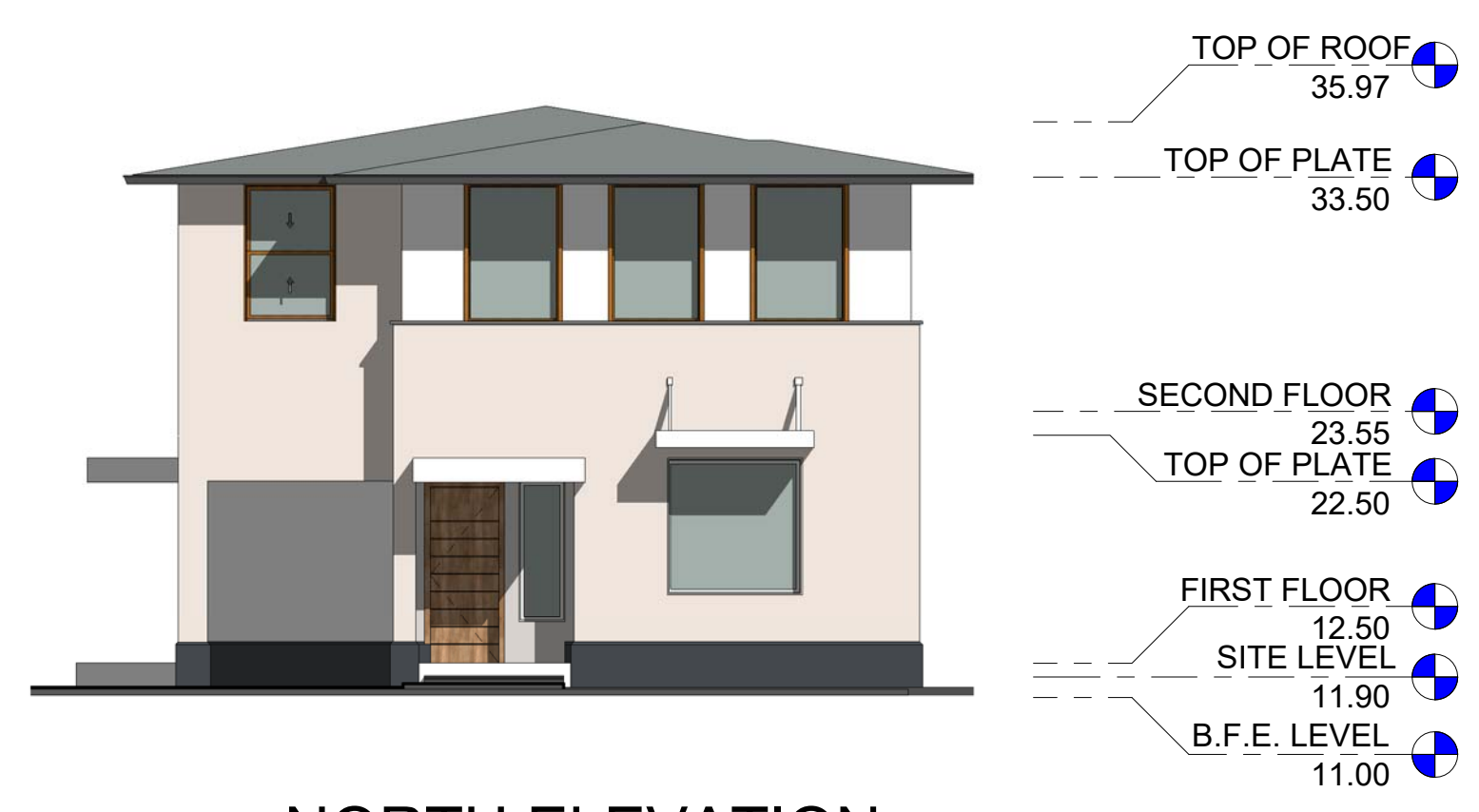
PLANNING SUBMITTAL



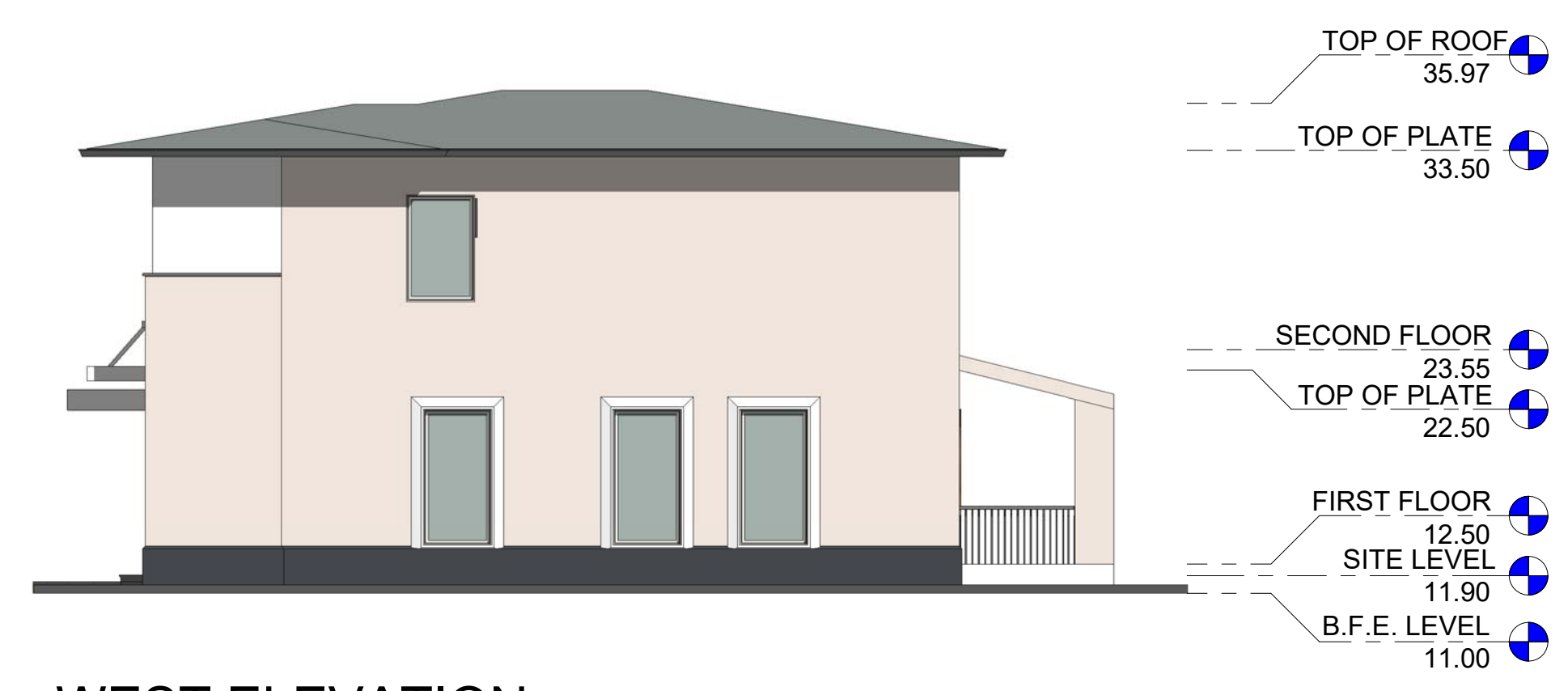
FIRST FLOOR PLAN



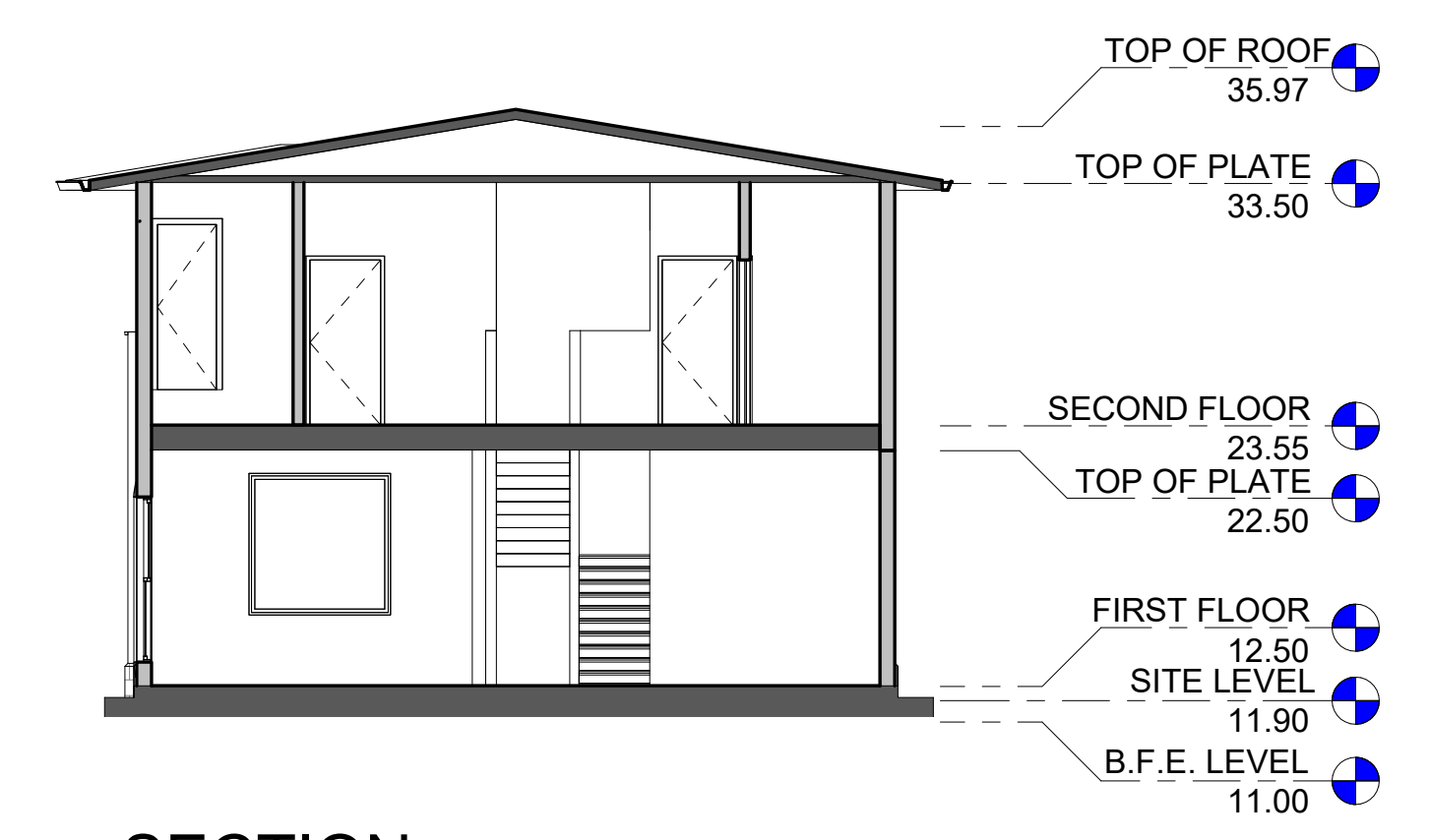
SECOND FLOOR PLAN



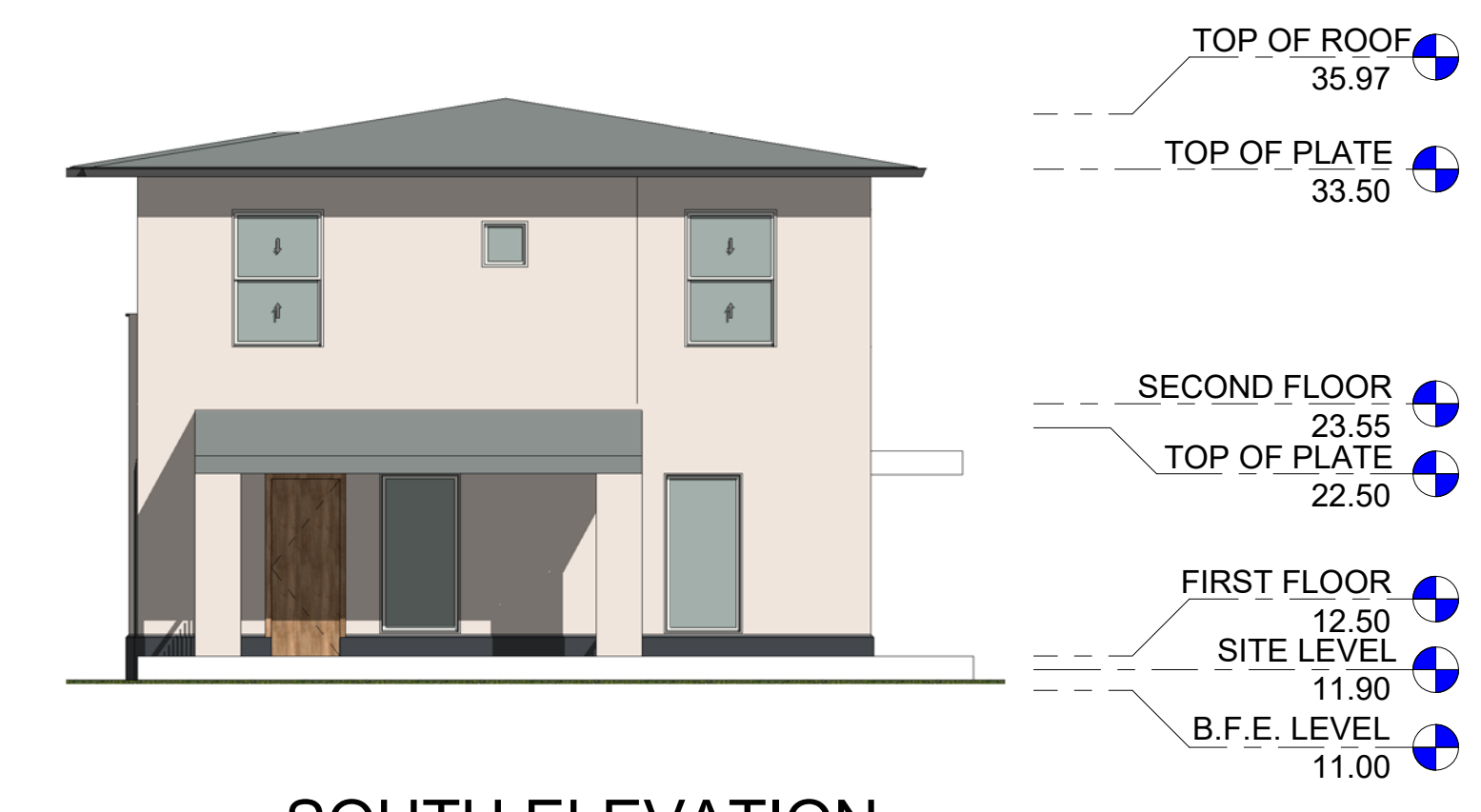
NORTH ELEVATION



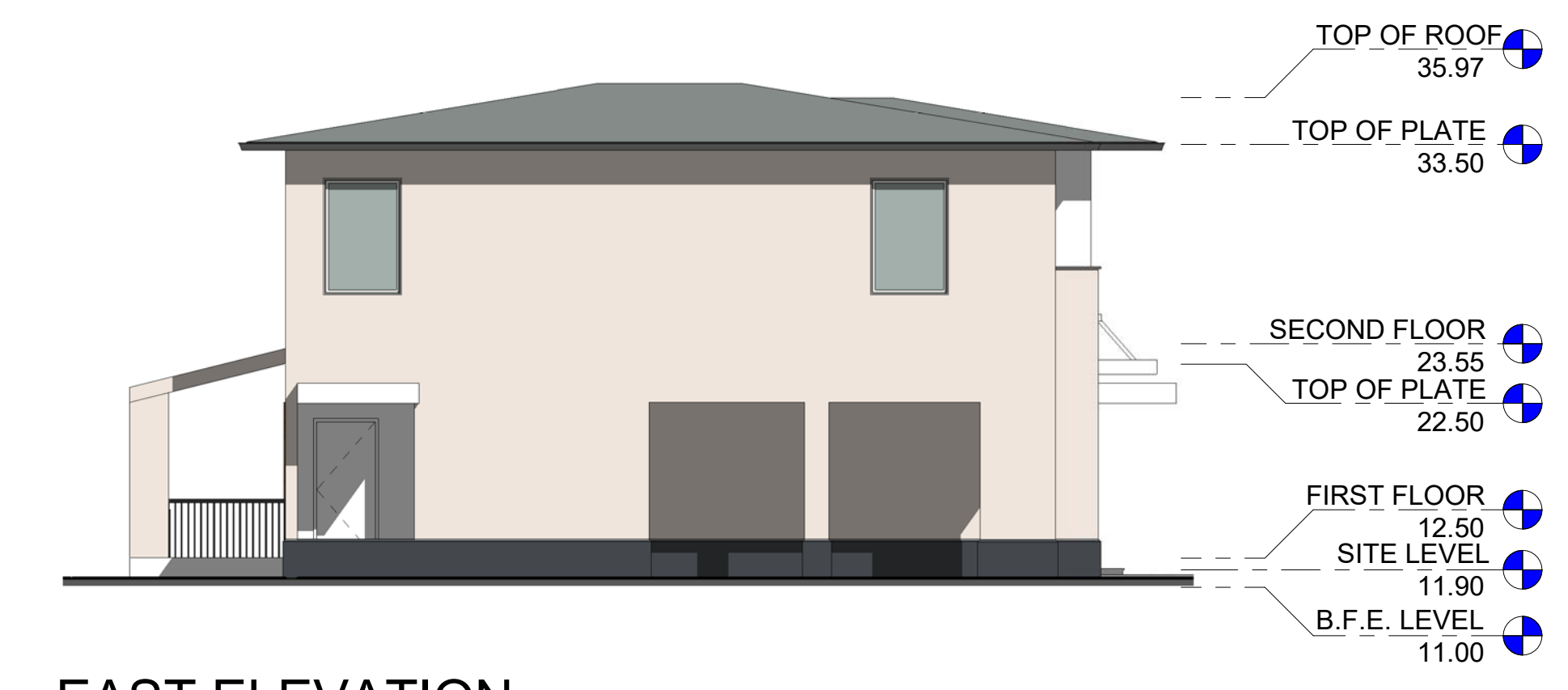
WEST ELEVATION



SECTION



SOUTH ELEVATION

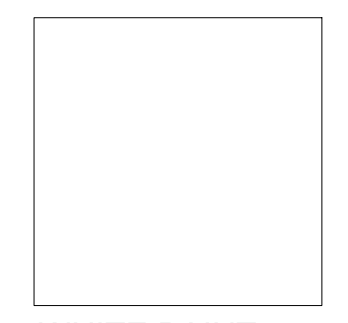


EAST ELEVATION

MATERIAL BOARD



#efe5dc



WHITE PAINT

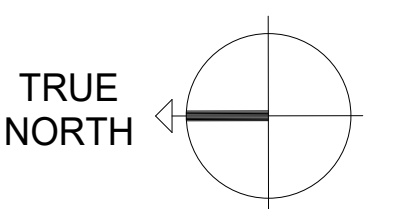


ELDORADO STONE - ROUGH CUT - LOIRE VALLEY

Date: 12/14/2022

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Scale: AS NOTED



Sheet title:

LOT #7  
PLAN, ELEVATIONS & SECTIONS

Sheet no.

A2.7

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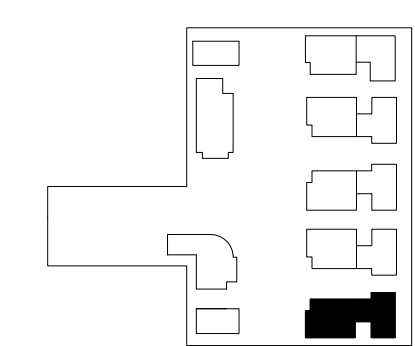
GENERAL NOTES

- SEE A0.5 SHEET FOR AREA ANALYSIS
- SEE SITE PLAN FOR SETBACK
- EXTERIOR FINISH : STUCCO
- ROOFING : HIGH PERFORMANCE ROOFING SHINGLES FROM "OWENS CORNING"
- GUARD RAIL : METAL
- DRIVEWAY : CONCRETE
- WINDOW : VINYL/FIBERGLASS
- B.F.E. LEVEL : 11.00'
- HOUSE ADDRESS NUMBER TO BE MINIMUM 4" TALL WITH 1/2" STROKE ILLUMINATED.
- RECESSED CEILING LIGHT
- WALL SCONE
- MOTION SENSOR LIGHT ON ASTRONOMICAL CLOCK

AREA DETAIL

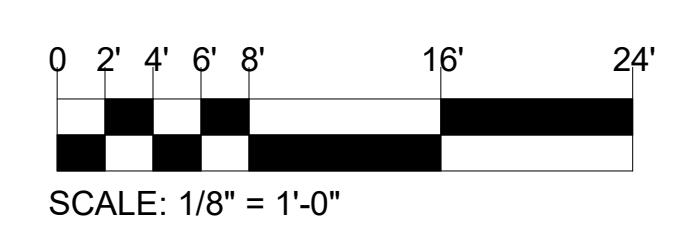
- UNIT 7
- FIRST FLOOR : 1,123.57 SQ.FT.
  - SECOND FLOOR : 1,172.3 SQ.FT.

KEY PLAN



LEGEND

GRAPHIC SCALE

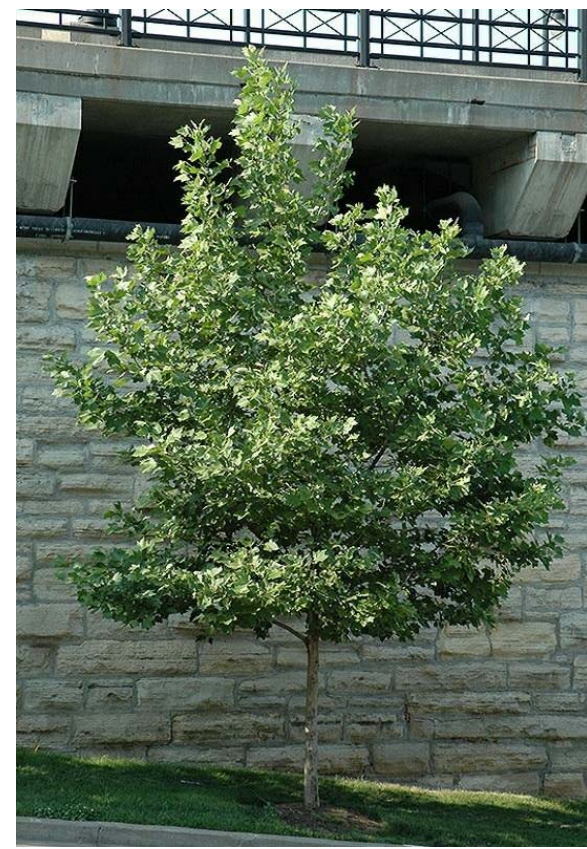




**GARDEN PLACE**

990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



PLANTANUS A.  
"YARWOOD"/LONDON PLANE TREE



LAGERSTROEMIA X "BILOXI"  
CRAPE MYRTLE



PRUNUS CAROLINIANA "CAROLINA  
LAUREL CHERRY"



CARPENTERIA C. "ELIZABETH"/  
BUSH ANEMONE



LOROPENTALUM C. "PLUM  
DELIGHT"/ RED FRINGE FLOWER



BAMBUSA MALINGENSIS  
(SEABREEZE BAMBOO)



CAMPISIS RADICANS/ TRUMPET  
CREEPER



HELICTOTRICHON S. "SAPPHIRE"/  
BLUE OAT GRASS



ARCTOSTAPHYLOS "EMERLAND  
CARPET"/ MANZANITA

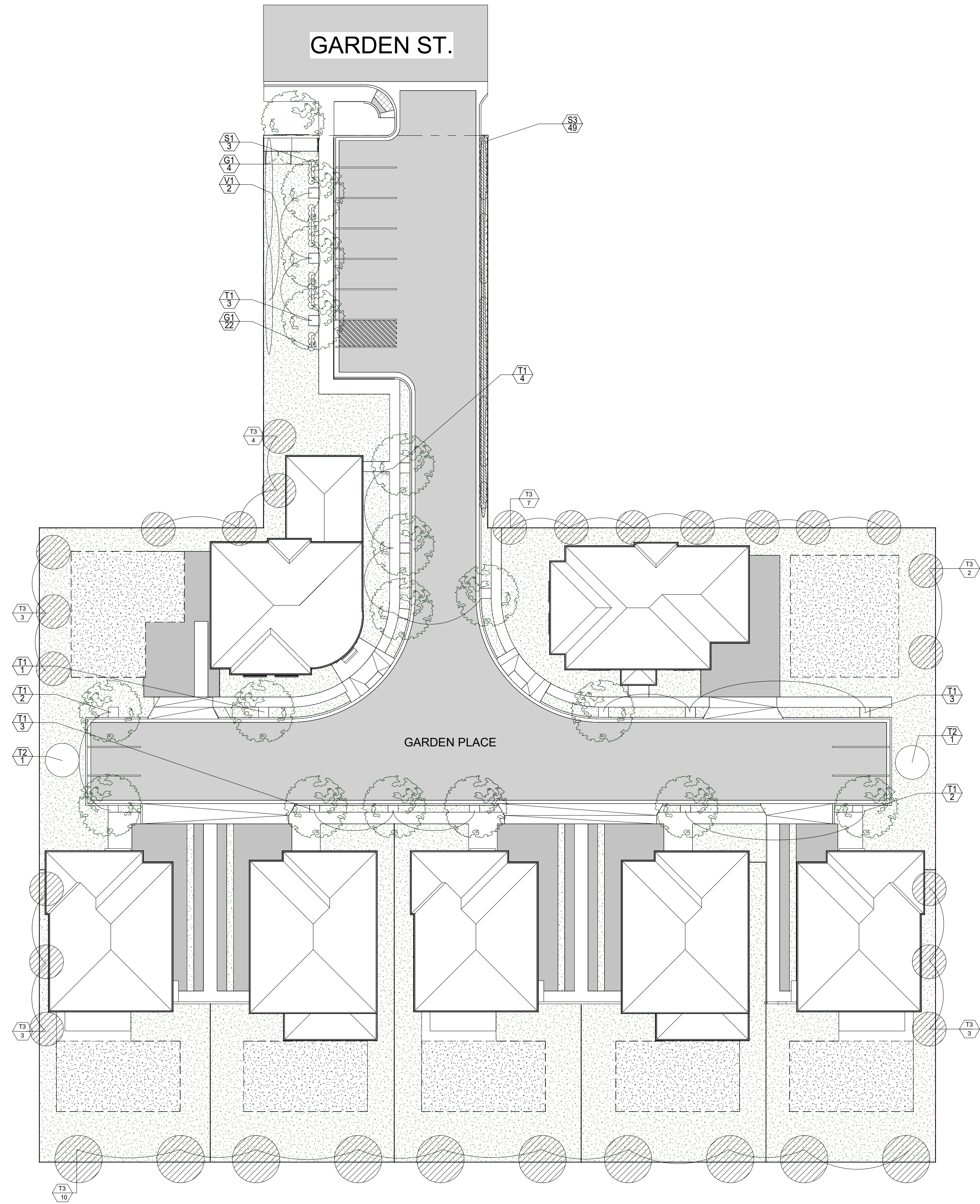
**PLANTING LEGEND:**

Key	BOTANICAL & COMMON NAMES	Qty.	Size	Water Req't	Comments
<b>Trees:</b>					
T1	PLANTANUS A. "YARWOOD"/LONDON PLANE TREE	18			
T2	LAGERSTROEMIA X "BILOXI" CRAPE MYRTLE	2	24" Box		
T3	CAROLINA LAUREL CHERRY SCREENING TREE	32			
<b>Shrubs:</b>					
S1	CARPENTERIA C. "ELIZABETH"/ BUSH ANEMONE	3	5 gl.	L	
S2	LOROPENTALUM C. "PLUM DELIGHT"/ RED FRINGE FLOWER	50	5 gl.	L	
S3	BAMBUSA MALINGENSIS (SEABREEZE BAMBOO)	49	5 gl.	L	
<b>Vines:</b>					
V1	CAMPISIS RADICANS/ TRUMPET CREEPER	2	15 gl.	L	Train to arbor
<b>Grasses:</b>					
G1	HELICTOTRICHON S. "SAPPHIRE"/ BLUE OAT GRASS	26	5 gl.	L	
<b>Groundcovers:</b>					
	ARCTOSTAPHYLOS "EMERLAND CARPET"/ MANZANITA	As Req'd	1 gl.	L	Set @ 24" o.c.

Water conservation classification is based on Water Use Classification of Landscape Species (WUCOLS) Prepared by the Water Conservation Office of the Department of Water Resources, 2000.

**PLANTING NOTES:**

- QUANTITIES IN THE PLANT LEGEND ARE FOR GENERAL REFERENCE ONLY. (VERIFY COUNT PER PLAN).
- INDICATES PLANT KEY  
 INDICATES PLANT COUNT
- LOCATION OF TREES AND SHRUBS SHOWN ON PLAN ARE SCHEMATIC AND SHALL BE ADJUSTED IN THE FIELD TO AVOID CONFLICTS WITH UTILITIES, FOOTINGS, IRRIGATION, ETC.
- REFER TO DETAILS AND SPECIFICATIONS FOR FURTHER INFORMATION.



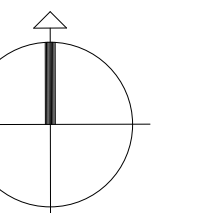
1 LANDSCAPE PLAN  
1" = 20'-0"

Date: 12/14/2022

REVISION:

Scale: AS NOTED

TRUE  
NORTH



Sheet title:

LANDSCAPE PLAN

Sheet no.

L1.0

of



**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

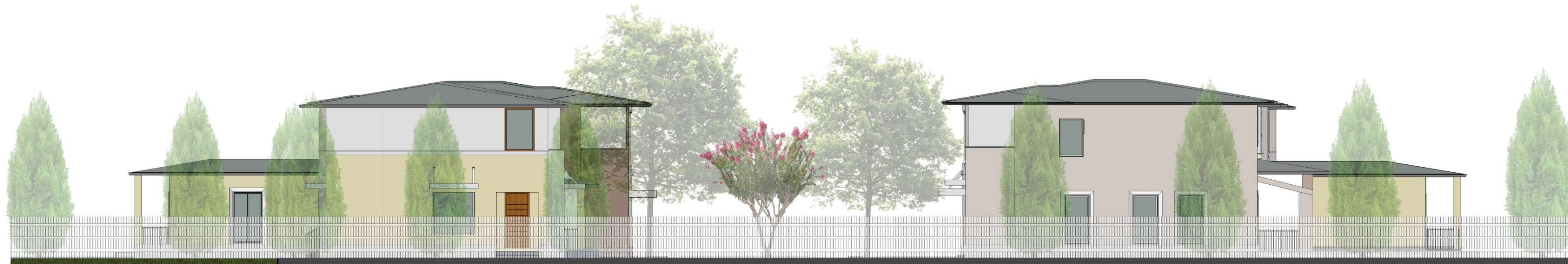
PLANNING SUBMITTAL



1. ALONG NORTH BOUNDARY LINE



2. ALONG NORTH BOUNDARY LINE



3. INTERIOR STREET VIEW FACING NORTH

Date: 12/14/2022

REVISION:

Scale: AS NOTED

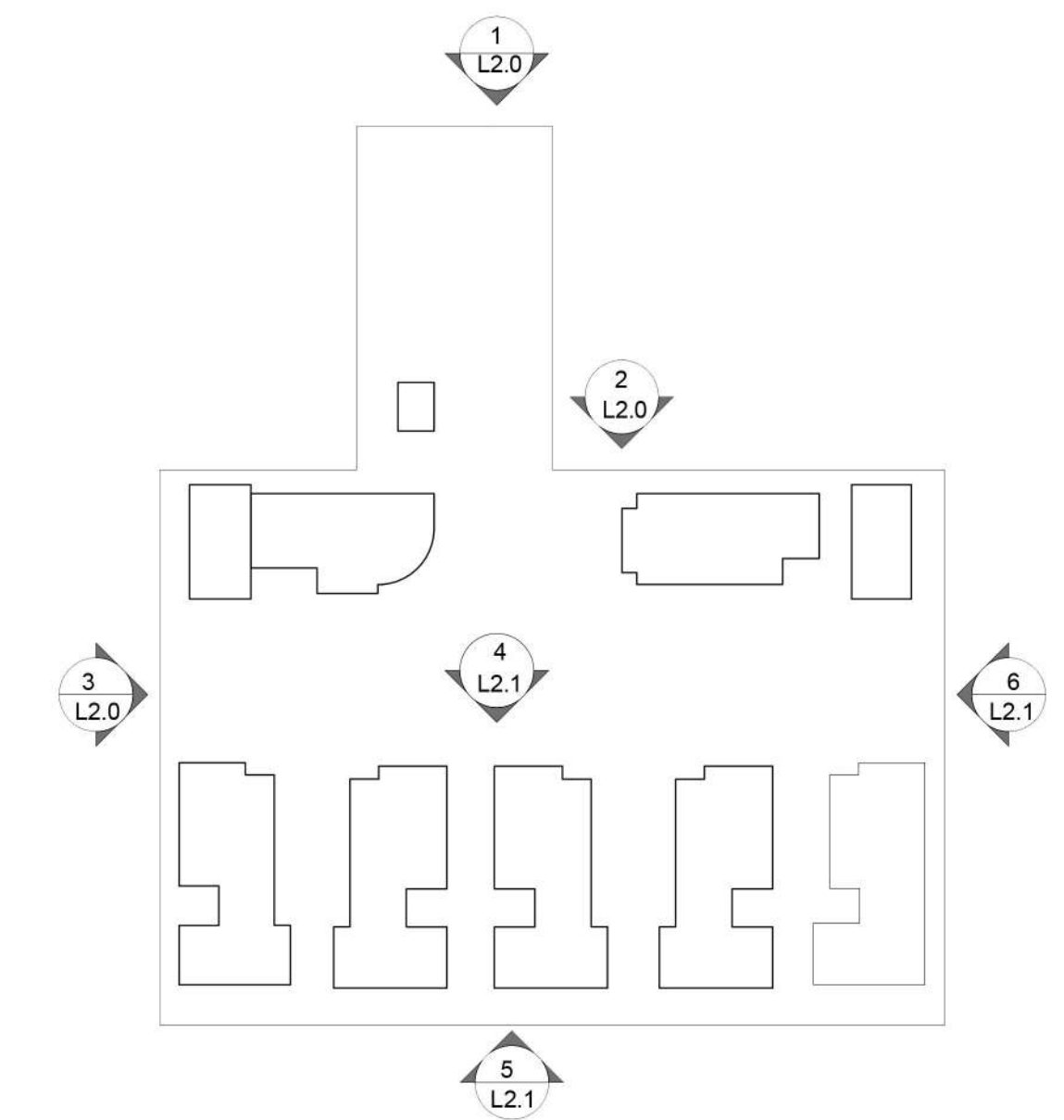
Sheet title:

**SITE ELEVATIONS  
AND SCREENING**

Sheet no.

**L2.0**

of





**GARDEN PLACE**  
990 GARDEN  
EAST PALO ALTO  
CA 94301

PLANNING SUBMITTAL



4. ALONG SOUTH PROPERTY LINE



5. ALONG EAST PROPERTY LINE



6. ALONG WEST BOUNDARY LINE

Date: 12/14/2022

REVISION:

Scale: AS NOTED

Sheet title:

**SITE ELEVATIONS  
AND SCREENING**

Sheet no.

**L2.1**

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