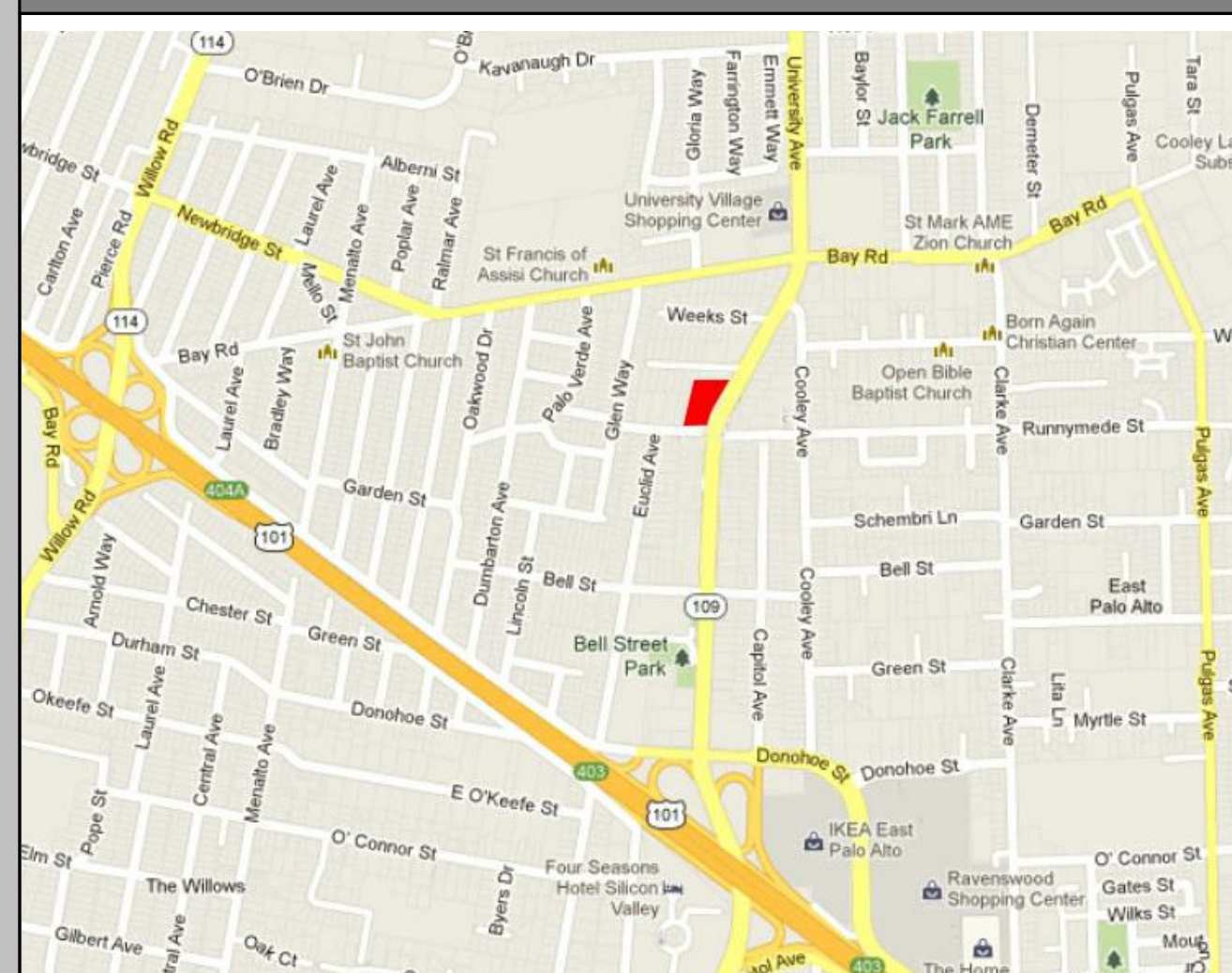


UNIVERSITY CORNER



VICINITY MAP



DRAWING INDEX

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A0.5D	C-4.0	PRELIMINARY SECTIONS
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A1.3	L1.0A	LANDSCAPE PLAN - SECOND LEVEL
A1.3	L1.2	LANDSCAPE DETAIL PLAN
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A1.3	T1.0	TREE DISPOSITION PLAN
A1.3	T2.0	TREE REPLACEMENT PLAN
A1.3		Total Sheets: 47

FIRE DEPT. NOTES:

- INSTALL A NFPA 13 FIRE SPRINKLER, NFPA 14 STANDPIPE, NFPA 24 UNDERGROUND FIRE SERVICE, NFPA 72 FIRE ALARM SYSTEM, EMERGENCY RESPONDER RADIO SYSTEM AND TWO WAY CALL BOX SYSTEM UNDER SEPARATE PERMIT.
- FIRE SPRINKLERS SHALL BE PROVIDED PER CBC 903.3.
- NFPA 13 AUTOMATIC FIRE SPRINKLERS AT COMMERCIAL AND COMMON AREAS.
- NFPA 13 FIRE SPRINKLER SYSTEM IS REQUIRED THROUGHOUT THE ENTIRE PROJECT INCLUDING ALL CLOSETS AND BATHROOMS. INSTALL FIRE STANDPIPE.
- INTERIOR SMOKE ALARMS PROVIDED AT DWELLING PER FIRE PROTECTION DISTRICT.
- EXIT SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DEPARTMENT KNOX BOXES/KNOX KEY SWITCHES AND ADDRESS POSTING LOCATIONS TO BE FIELD VERIFIED BY THE FIRE INSPECTOR.
- IF ANY CONSTRUCTION/TENANT IMPROVEMENT WORK IS DONE THAT MAY IMPACT THE BUILDING FIRE ALARM SYSTEM THEN THE FIRE MONITORING COMPANY MUST BE NOTIFIED. IF THE FIRE ALARM SYSTEM IS ACCIDENTALLY ACTIVATED IMMEDIATELY CALL MENLO PARK FIRE DEPT. AT 650-688-8400 TO REPORT THE INCIDENT. MULTIPLE FALSE ALARMS WILL RESULT IN FINES.
- ANY ONSITE CONSTRUCTION ACTIVITY THAT EMITS/PRODUCES HEAT OR FLAME INCLUDING WELDING, BRAZING, HEATING OR USE OF LARGE/SMALL GENERATORS REQUIRES A HOT WORK PERMIT FROM THE MENLO PARK FIRE DEPT. EMAIL MFPD@MENLO.PA.CA.GOV TO OBTAIN A HOT WORK PERMIT PRIOR TO HOT WORK ACTIVITY.
- INSTALL ADDRESS DIRECTIONAL SIGNAGE AT THE UNIVERSITY AVE. AND RUNNYMEDE ST. ENTRANCES.
- ADD TWO NEW FIRE HYDRANTS, ONE BY SOUTHWEST CORNER OF LOT ON RUNNYMEDE AND ONE BY NORTH EAST CORNER OF LOT ON UNIVERSITY.
- INSTALL A MAIN ELECTRICAL DISCONNECT KNOX KEY SWITCH AND 100% GARAGE EXHAUST KNOX KEY SWITCH AT MAIN ENTRANCE OFF OF RUNNYMEDE ST.:

POLICE DEPT. NOTES:

- Signage:**
- No trespassing/loitering signs should be posted at all entrances of parking lots and other appropriate places. Signs should be at least 2' by 1' in overall size, with white background and black 2" lettering.
 - \$9.08.010 of the East Palo Alto Municipal Code should be included as a reference on the no loitering signs.
 - All entrances to parking areas should be posted with appropriate signs per section 22658(a) of the California Vehicle Code to assist management with removal of unwanted vehicles per the manager's request.
- Parking Structure:**
- The interior structure should be painted a light, highly reflective color.
 - LED or other bright white light sources should be utilized. No dark areas should exist inside the structure.
 - All storage, maintenance, and trash rooms within the parking garage should have doors which cannot be locked from the inside, and that close and lock quickly and automatically upon exit.
 - Alcoves and other visual obstructions that might constitute a hiding place should be eliminated whenever structurally possible. Pillars, columns and other open construction should be utilized over a solid wall design.
 - Whenever possible, stairwells should be of open design. When, by necessity, a stairwell is enclosed, convex mirrors should be placed at each stairwell landing, and the stairwell doors should employ as much transparent material as fire code allows.
 - Convex mirrors should be placed inside elevator cabs.
 - Access control should be utilized for vehicular and pedestrian traffic.
 - A clearly marked, hands free emergency phone or panic alarm should be placed centrally in the structure.
 - No trespassing/loitering signs should be placed at all entrances and other appropriate locations.
 - Panic button call boxes should be integrated with a video surveillance system.

- Landscaping:**
- Landscaping should be well maintained and trimmed so that natural surveillance is not hindered.
 - Shrubs should be kept less than three feet in height and trees should be pruned to a height of 10 feet.
 - Walkways should be direct, follow natural pathways and avoid blind corners.
 - The walkways and access points to the open space should be illuminated and visible.
- Roof Top:**
- Exterior rooftop ladders should be eliminated or incorporated into the interior design.
 - All air duct or vent openings exceeding 8" by 12" on the rooftop or exterior walls of any building shall be secured by means of:
 - Iron bars of at least one half-inch diameter, of flat steel bars of at least one quarter-inch width, spaced no more than five inches and securely fastened.
 - Grill of at least one eighth-inch steel and two-inch mesh
 - If the barrier is on the outside, it shall be secured with galvanized rounded head, flush bolts of at least 3/8" diameter.

PROJECT DATA SUMMARY

ZONING = MUC DISTRICT
OCCUPANCY = R-2/S-M - MULTI-FAMILY RESIDENCE OVER S2 - OPEN GARAGE & RETAIL
CONSTRUCTION = TYPE VA

PLANNING PERMIT # DR19-007
BUILDING PERMIT NUMBER: TBD
APN# 063 - 201 - 250, 260, 290
LOT AREA: 38,905 SF GROSS
0.89 ACRES
Jurisdiction - East Palo Alto

NFPA 13 AUTOMATIC FIRE SPRINKLERS AND INTERIOR SMOKE ALARMS PROVIDED AT DWELLING PER FIRE PROTECTION DISTRICT.

ALL CONSTRUCTION SHALL COMPLY WITH 2016 CRC: CBC, CPC, CMC, CEC and 2016 California Energy Code; EAST PALO ALTO MUNICIPAL CODE; ALL LOCAL AMENDMENTS / ORDINANCES; and ALL LOCAL SUB-TRADE CODES.
CONTRACTOR SHALL COMPLY WITH 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE. REFER TO GB SHEETS.

GEOTECHNICAL NOTE:

The Geotechnical aspects of the construction including demolition and rough site grading, at-grade foundation excavations, subgrade preparation and the installation of surface drainage control systems, should be performed in accordance with the recommendations presented in the geotechnical report prepared by the project Geotechnical Engineer. The Geotechnical Engineer should be provided at least 48 hours advance notification of any geotechnical aspects of the construction and should be present to observe and test, as necessary, the earthwork, foundation, and drainage installation phases of the project.

DEFERRED SUBMITTALS:

DEFERRED SUBMITTALS FOR THIS PROJECT INCLUDE:
FIRE SPRINKLERS, FIRE ALARM, PHOTOVOLTAIC ARRAY, JOINT TRENCH...

SEPARATE PERMITS:

SEPARATE PERMITS FOR THIS PROJECT INCLUDE:
DEMOLITION PERMIT, PHOTOVOLTAIC ARRAY, EVSE (electric vehicle charging stations)

SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS REQUIRED:
HIGH STRENGTH CONCRETE, FIELD WELDING, HIGH STRENGTH SHEAR WALLS, REFER TO SHEET SNI FOR COMPLETE LIST.

CONDITIONS OF APPROVAL:

SEE SHEET A0.1 FOR CONDITIONS OF APPROVAL

SCOPE OF WORK:

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW 3 STORY ABOVE GRADE SINGLE FAMILY RESIDENCE OF TYPE VA CONSTRUCTION WITH A 1 STORY RETAIL AT THE GROUND LEVEL. THE WORK INCLUDES SITE GRADING, UTILITY CONNECTIONS AND VEHICULAR AND PEDESTRIAN PAVING AND LANDSCAPING.

CONSTRUCTION SITE FIRE SAFETY:

CONSTRUCTION SITE SHALL COMPLY WITH APPLICABLE PROVISIONS OF CFC CHAPTER 33 AND MENLO PARK FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS SI-7. CONSTRUCTION SITE FIRE SAFETY.

SHEET REVISIONS:

- Plan Check comments - 05/23/2019
- Plan Check comments - 06/04/2019
- Plan Check comments - 11/02/2019
- Plan Check comments - 12/18/2019

2331 University Avenue, East Palo Alto

Zone:	MUC		
Lot Area	38,905	s.f.	0.89 acres
Density:	22 to 65	du/acre	
Permitted Density:	20 to 58	Units	
Proposed Density:	37	du/acres	
Proposed Units:	33	Units	

FAR	Permitted	Proposed
Permitted FAR:	1.75	1.22
Floor Area	68,084 s.f.	47,601
Retail FAR	0.5	0.06
Retail Floor Area	19,453 s.f.	2,500
Front Setback	0'	4.2' University
Max Front Setback	10'	6.6' Runnymede
Sides and Rear	5'	
Adjacent to res	20'	20.4' north side
Max Height	60'	59.5' west side
Max Stories	5	4

Open Space:	Required	Proposed
Common Open Space:	100	2,158
	sf/unit	sf/unit
	3,300	5,130
	sf	sf
Private Open Space:	50	66-299
	sf/unit	sf/unit
		4,401
Total Open Space		9,531

Unit Summary:	Unit Type	Area	bdrms	Count	Total sf
	Type A1	723 sf	1	3	2,169
	Type A2	730 sf	1	3	2,190
	Type B1	1,045 sf	2	9	9,405
	Type B2	1,006 sf	2	3	3,018
	Type E	1,258 sf	2	3	3,774
	Type F	1,711 sf	3	6	10,266
	Type G	538 sf	1	6	3,228

Total Units:	33
Total Unit Area:	34,050

Parking:	Units	Rate	Spaces
Residential:			
3 bedrooms	6	2.0	12.0
2 bedrooms	15	1.8	27.0
1 bedrooms	12	1.5	18.0
Guest			7.0
Total Residential Parking Required:			64.0
Retail: @1/250 sf	2500		10
Total required on site:			74
Parking provided on site:			75

Bike Parking: Per VTA Bicycle Technical Guidelines, Chapter 10			
	Res	Class I	Class II
	11	2.2	1
	1	1	1
	12	4	1

CBC Chapter 5 analysis:	
Type VA Construction	
Occupancy:	
R-2, SM	60'
Max Height:	60'
Max Stories:	4
Max Area / story	36,000
Max Area building	72,000
M, SM	
Max Height:	70'
Max Stories:	4
Max Area / story	42,000
Max Area building	84,000

Building Area:	
1st	5,160
2nd	14,147
3rd	14,147
4th	14,147
Total Area:	47,601

PROJECT TEAM

<p>T24: TBD</p> <p>Phone: ---@---</p> <p>Mobil: ---@---</p> <p>Email: ---@---</p>	<p>MEP: TBD</p> <p>Phone: ---@---</p> <p>Mobil: ---@---</p> <p>Email: ---@---</p>	<p>ARBORIST: Monarch consulting Arborist</p> <p>P.O. Box 1010 Felton, CA 95018</p> <p>Phone: (831) 331-8982</p> <p>Mobil: ---@---</p> <p>Email: rick@monarcharborist.com</p>	<p>LANDSCAPE ARCHITECT: ZAC Landscape Architect, Inc.</p> <p>145 Keller Street Petaluma, CA 94962</p> <p>Phone: (707) 696-2967</p> <p>Mobil: ---@---</p> <p>Email: sr@zacslandscape.com</p>	<p>STRUCTURAL ENGINEER: TBD</p> <p>Phone: ---@---</p> <p>Mobil: ---@---</p> <p>Email: ---@---</p>	<p>ARCHITECT: EID Architects Environmental Innovations in Design</p> <p>412 Olive Avenue Palo Alto, CA 94306-2225</p> <p>Phone: (650) 226-8770</p> <p>Mobil: (650) 793-2856</p> <p>Email: stuart@EIDarchitects.com</p>
<p>GREEN RATER: TBD</p> <p>Phone: ---@---</p> <p>Mobil: ---@---</p> <p>Email: ---@---</p>	<p>SURVEYOR: Chappell Surveying Services (Brett Chappell)</p> <p>680 Esther Way Oakdale, CA 95361</p> <p>Phone: (209) 845-9694</p> <p>Mobil: (408) 910-5688</p> <p>Email: survey@garlic.com</p>	<p>GEOTECHNICAL: Earth Systems Pacific</p> <p>48511 Warm Springs Boulevard, Ste 210 Fremont, CA 94539-7400</p> <p>Phone: (408) 934-9302</p> <p>Mobil: (510) 715-2211</p> <p>Email: bzehrbach@earthsys.com</p>	<p>CIVIL ENG.: Lea & Braze</p> <p>2495 Industrial Parkway West Hayward, CA 94545</p> <p>Phone: (510) 887-4086</p> <p>Mobil: (510) 715-6028</p> <p>Email: jchiu@leabraze.com</p>	<p>GENERAL CONTRACTOR: Clarum Communities</p> <p>P.O. Box 60970 Palo Alto, CA 94306</p> <p>Phone: (650) 322-7069</p> <p>Mobil: ---@---</p> <p>Email: john@clarum.com</p>	<p>OWNER: Clarum University Corner, LLC.</p> <p>P.O. Box 60970 Palo Alto, CA 94306</p> <p>Phone: (650) 322-7069</p> <p>Mobil: ---@---</p> <p>Email: john@clarum.com</p>

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DATE
01/10/2020

UNIVERSITY CORNER
EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
COVER SHEET

SHEET NUMBER
A0.0

ENVIRONMENTAL INNOVATIONS IN DESIGN
412 OLIVE AVE. PALO ALTO, CA 94306
PHONE: 650-226-8770 WWW.EIDARCHITECTS.COM



CONDITIONS OF APPROVAL

If the request is favorably considered, the following conditions of approval are recommended.

RECOMMENDED PROJECT SPECIFIC CONDITIONS OF APPROVAL (DRAFT)
PLANNING DIVISION

- The project shall be developed in substantial compliance with the drawings submitted as part of the East Palo Alto planning application (DR19-007) dated November 20, 2019, to be revised pursuant to the conditions of this staff report as may be amended by the Planning Commission.
- Minor modifications to the approved plans or proposed uses which are generally consistent with the Planning Commission approval may be approved administratively by the Planning Manager. Any major changes, as determined by the Planning Manager, shall require review and approval from the Planning Commission at a new public hearing.
- All appeals of discretionary decisions required as part of these conditions of approval are required to be appealed to the City Council unless otherwise stated herein or in the Zoning Regulations.
- Prior to the issuance of Building Permits, the project requires to be approved and in compliance with all the conditions of the East Palo Alto Sanitary District.
- Prior to the issuance of the Building Permit, a pre-submittal meeting with Community and Economic Development Department (CEDD) staff and the applicant shall take place to address anticipated project logistics.
- Appropriate screening measures shall be taken along the perimeter of the site to maintain, wherever possible, the light, air, and privacy of the neighboring residences.
- The private and dedicated open space and trees shall be preserved and maintained by the owner/occupant per the approved plans per Attachment-C of this report. If there are any modifications to the current trees and landscaping or if the tree needs to be replaced by something comparable, the applicant will need to get approvals from the Planning Division in order to be permitted to do so. The approval may require, but is not limited to, separate permits fees, arborist reports, and other necessary documents. No building additions shall be permitted that impede or in any way impact the granted open space excluding small accessory structures. For common hardscapes areas, the use of pervious pavers such as Grasscrete or similar types of pavers shall be implemented to expand the open space on site.
- All applicable development impact fees shall be paid prior to the issuance of building permits including but not limited to:
 - Parks and Trails Impact Fee
 - Public Facilities Impact Fee

- Storm Drainage Impact Fee
- Transportation Infrastructure Impact Fee
- Water Capacity Fee
- Affordable Housing Impact Fee

- Prior to Building Permit Issuance, Applicant will record Conditions of Approval with the County of San Mateo.
- Please imprint the Conditions of Approval on the plans submitted for building permits.

ENGINEERING / ENVIRONMENTAL SERVICES

- A parcel map shall be filed over the properties, merging the three parcels into one parcel, prior to issuance of building permits. An at-risk grading permit may be issued prior to filing the parcel map. The parcel map shall include dedication of a sidewalk easement to the back of the new sidewalks, as well as a 5' Public Utility Easement along both street frontages (the PUE width may be modified based on final design of utilities).
- Streetscape:
 - The developer shall remove and replace the existing sidewalk and curb & gutter along the entire project frontage as follows:
 - Runnymede Street, 6-inch curb and a 9-foot sidewalk with tree wells.
 - University Avenue, 6-inch curb and a minimum 10-foot sidewalk with tree wells.
 - All existing driveways shall be replaced with a sidewalk and curb & gutter as described above.
 - Remove and replace the existing curb ramps at the Runnymede/University crosswalks with ADA compliant curb ramps.
 - The new driveway approaches along Runnymede Street and University Avenue shall be per San Mateo County Standard Detail D-2.
 - All trees along the project frontage shall be removed and replaced with a City approved tree species.
 - Decorative tear-drop style street lights shall be installed along the entire project frontage. The streetlights shall meet AASHTO Street Lighting Design Standards and the placement of the lights shall be established prior to approval of the planning application.
- Red curbs shall not be used to designate parking/stopping restricted zones. CA-MUTCD signs shall be used instead.
- Joint trench plans shall be included in the improvement plan submittal.
- This project is subject to Provision C3, of the Municipal Regional Stormwater Permit. The developer must submit an updated Stormwater Management Plan per EPAMC 13.12.107 prior to issuance of the building permit, confirming the needed size of the various stormwater treatment measures based on the final grading/ drainage plan.

- STORM MANHOLE:
Install a storm manhole at the front property line along the new storm lateral.
- EXISTING UTILITY ABANDONMENT/RELOCATION:
Developer is responsible for research on all existing utility lines to ensure that there are no conflicts with the project. All existing utility lines (public or private) and/or their appurtenances not serving the project and/or have conflicts with the project, shall be capped, abandoned, removed, relocated and/or disposed of to the satisfaction of the City. Existing public facilities within the street right-of-way shall be abandoned per City's Abandonment Notes and procedures, including abandonment by other utility owners.
- MODIFICATIONS TO EXISTING PUBLIC UTILITIES:
Developer is required to pay for all changes or modifications to existing City utilities, streets and other public utilities within or adjacent to the project site, including but not limited to utility facilities/conduits/vaults relocation due to grade change in the sidewalk area, caused by the development.
- WET UTILITIES:
 - Ensure there is sufficient horizontal clearance between water laterals to prevent tapping issues during construction.
 - An encroachment permit shall be obtained for potholing purposes. The information should be used during design and construction to prevent utility conflicts related to new service laterals, tree installations, and so on.
 - All wet utilities (water, sanitary sewer, storm drain) on private property shall be privately owned and maintained. The fire and domestic water systems shall be privately owned and maintained beyond the meter.
 - Re-use of the existing water service lines is not permitted and shall be capped and abandoned to the City's satisfaction.
- RE-USE OF EXISTING CITY UTILITY SERVICE LINES:
The re-use of existing City water service lines is not allowed. Developer's contractor shall replace any deficient facilities as deemed necessary by the Department of Public Works.
- SANITARY SEWER AND STORM DRAIN TRIBUTARY PATTERN:
This project is required to follow the existing sanitary sewer and storm drain tributary pattern. Any deviations would require additional analysis and subject to approval by the Public Works Department as part of the off-site improvement plan review process. This project shall not cause any negative impact on the drainage pattern for adjacent properties.
- STORM DRAIN DESIGN:
Provide storm drain hydrology and hydraulic calculations based upon a 10-year storm event to justify the size of the storm drain lateral flowing full. The new storm drain lateral shall be minimum 12 inches diameter.

- UTILITY METER/Vault:
No existing or new utility meters or vaults shall be located within the new driveway approach. All existing or new utility vaults serving the project site shall be located on-site and not within the public utility easement, if any.
- DRIVEWAY APPROACHES:
Install a new driveway approach along the project frontage to comply with Americans with Disabilities Act (ADA) requirements and City standard details and specifications. Intersection-style driveway approach is not permitted.
- ROOT BARRIER:
Install a continuous root barrier along new sidewalk per City standard details and specifications.
- DECORATIVE PAVEMENT:
Any and all proposed decorative pavement and vertical curb pertaining to on-site development shall not be located within the City right-of-way.
- TRAFFIC CONTROL PLAN:
Submit a traffic control plan with the off-site improvement plans for review and approval. The traffic control plan shall include a summary of the traffic control types, dates, times and blocks affected. All construction related materials, equipment, and construction workers parking need to be stored on-site and the public streets need to be kept free and clear of construction debris.
- DAMAGE TO EXISTING PUBLIC IMPROVEMENTS:
Developer shall be responsible to rectify any damage to the existing public improvements fronting and adjacent to the project site as a result of project construction, to City's satisfaction by the Public Works Department. All existing traffic detector loops and conduits shall be protected in place during construction. Any damaged detector loops shall be replaced within 7 days at the expense of the developer.
- RESERVATION/ABANDONMENT OF EASEMENTS:
Reservation of new and/or abandonment of existing public/private utility easement(s), ingress/egress easement(s) necessary for the project shall be delineated on the map or recorded concurrently with the map with a separate instrument. Subdivision Map Act §66475 and §66499.20-1/2 for public easements) Quitclaim deed is required for abandonment of private easements prior to map recordation. All easements shall be kept open and free from buildings and structures of any kind except those appurtenances associated with the defined easements.
- UTILITY COMPANY APPROVAL:
Obtain map approval letters from the utility companies in regard to any existing or new easements associated with their facilities.

- The storm drain lateral along Runnymede shall be a minimum 12-inch diameter. Calculations shall be provided that demonstrates that the design has the capacity for a 10-year storm. Any stormwater beyond its capacity may be discharged to the public ROW as sheet flow.
- The project shall pay a stormwater impact fee.
- The developer shall obtain approval from the East Palo Alto Sanitary District (EPASD). Any improvements required to accommodate the increase in sewage shall be the responsibility of the developer.
- The project should pay a traffic impact fee.
- This project shall comply with EPAMC 18.22.020 for Corner Vision Triangles. Ensure that the planters and plant species at the corner do not obstruct vehicle sight distance. Also ensure that no large and dense plant species and signs are placed near the driveways where motorist's vision of pedestrians will be obstructed.
- A photometric analysis shall be provided as part of the final design package, confirming that lighting requirements are met onsite and along the University Avenue and Runnymede Street frontages. Additional streetlights shall be provided as needed.
- Remedial grading work shall be completed in conformance with any recommendations of the Phase I and Phase II reconnaissance. If remedial grading is necessary as part of this project, a separate grading permit will be required.
- PUBLIC IMPROVEMENTS:
The developer is required to install, per East Palo Alto Municipal Code Chapters 18.50 and 18.58, all public improvements, which may include but not be limited to, curb & gutter, sidewalks, driveway approaches, curb ramps, street pavements, utility extensions and connections, meters/vaults, trees and landscaping, street lights, etc.

All public improvements shall be designed and constructed in accordance with current City design standards, standard details and specifications, and Americans with Disabilities Act (ADA) requirements where applicable, unless otherwise approved by the Department of Public Works.

The developer is required to complete the installation of all public improvements and other improvements deemed necessary by the Public Works Department, prior to occupancy of the first building, or to the satisfaction of the Department of Public Works.
- REVIEW AND INSPECTION FEES
The developer shall pay for all review and inspection fees prior to the issuance of any permits.

- DEVELOPMENT IMPACT FEES AND WATER CAPACITY FEES
The developer shall pay for all Development Impact Fees and Water Capacity Fees prior to the approval of any permits related to this project. See the links below for additional information.
<http://www.ci.east-palo-alto.ca.us/documentcenter/view/4299>
<http://www.ci.east-palo-alto.ca.us/documentcenter/view/4200>
- OFF-SITE IMPROVEMENT PLANS:
Submit off-site improvement plans separate from the Building on-site improvement plans as the off-site improvement plans are approved through a Public Works Encroachment Permit process.
- ENCROACHMENT PERMIT:
Prior to any work in the public right-of-way, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Department of Public Works.
- GRADING PERMIT:
The developer shall obtain a grading permit prior to any grading activities onsite.
- CONSTRUCTION MATERIAL AND STAGING:
All construction related materials, equipment, and construction workers parking need to be managed on-site and not located in the public rights-of-way or public easements.
- UPGRADE OF EXISTING PUBLIC IMPROVEMENTS:
As part of the off-site improvement plan review and approval, any existing public improvements to be re-used by the project, which are not in accordance with current City standards and are not specifically identified in the herein project conditions (such as backflow preventers, sign posts, etc.), shall be upgraded to current City standards and as required by the Department of Public Works.
- BENCHMARKS:
The improvement plans shall be prepared by using City's latest benchmarks (NAVD88) available on City's website. Plans based on NGVD29 will not be accepted.
- UTILITY CONNECTION:
This project requires connection to all public utilities or private utilities operating under a City or State franchise which provide adequate levels of service.
- SEWER CLEANOUT:
Install a sewer manhole (per EPASD standards) at the front property line along the new sewer lateral.

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PRIOR TO THE FINAL/OCCUPANCY

56) A minimum of 10 Days prior to anticipated occupancy, the applicant shall have scheduled final inspections by all Departments requiring conditions of approval.

HOUSING

(attached comment letter)

CITY ATTORNEY

57) The applicant shall hold harmless the city, its officers, agents, and employees from any liability or claims for damages due to the injury of any person, loss of life, or damage to property caused by, or arising out of activities authorized by these approvals. The applicant shall employ legal counsel approved by the city and/or indemnify the City for the cost of legal counsel and legal services.

POLICE

(forthcoming)

SANITARY DISTRICT

58) All plans shall conform to District Standards. Plans shall be submitted to the Sanitary Sewer District for review.

59) If a new connection fee will be required for the project, the applicant will be responsible for paying fees associated with the Sewer Permit (i.e. Connection Fee, Inspection Fee and Permit Fee) prior to occupancy of the site.

MENLO FIRE

(needs to resubmit to Menlo Fire separately for COA's)

39) COMPLETION OF PUBLIC IMPROVEMENTS:

Developer shall complete all required public improvements as required and in accordance with City approved plans, prior to any building occupancy.

BUILDING

40) A digital copy of the plans must be submitted for building review; to include the digital submittal of all relevant supporting documents; structural calculations, energy compliance forms, soils report etc.

41) Building permit applications/building plans submitted on or after January 1, 2020, will have to be designed to the new 2019 California Building Codes. Permit/plans submitted prior to January 1st may be submitted to the current 2016 California Building Codes.

42) Properly complete and submit the EPA Special Inspection form for any proposed work requiring special inspections as per CBC 1705. Link to access form: <http://www.ci.east-palo-alto.ca.us/ArchiveCenter/ViewFile/Item/458>

43) Designated parking for clean air vehicles shall be provided per Cal Green Table 5.106.5.2.

44) There shall be an Electric Vehicle charging space (EV ready), one of which shall be Accessible, as per Cal Green Table 5.106.5.3.3 and CBC Table 11B-228.3.2.1

45) Please imprint the Conditions of Approval on the plans submitted for building permits.

46) A soils investigation report shall be submitted containing design recommendations. Additionally, submit a letter from the Geotechnical Engineer or Civil Engineer who prepared the soil investigation stating the following (signed and stamped):

a. The plans and specifications substantially conform to the recommendations in the soil investigation.

b. The Geotechnical Engineer or Civil Engineer who prepare the soil investigation has been retained to provide soil site observation and provide periodic and final reports to the City of East Palo Alto.

Prior to final inspection for any building or structure, the Geotechnical Engineer or Civil Engineer who prepared the soil investigation shall issue a final report stating the completed pad, foundation, finish grading and associated site work substantially conform to the approved plans, specifications and investigations.

47) In accordance with Government Code Section 4469.5., please Imprint the Disability Access Requirements and Resources notice to commercial building permits, link to access notice: <https://www.dgs.ca.gov/DSA/Resources/Page-Content/Resources-List-Folder/AB-3002>

48) Please imprint, on the submitted plans, the Construction Best Management Practices. To access the standard plan, please visit: <http://www.flowstobay.org/construction>

49) The applicant shall properly complete and incorporate, on plans, the 2016 CAL Green Non-Residential Mandatory Measures on the plans submitted for building permits. The link to access the form: <http://www.ci.east-palo-alto.ca.us/ArchiveCenter/ViewFile/Item/441>

50) Please note on plan: The City of East Palo Alto Municipal Code Section 15.04.125 limits construction activity to the following hours:
Monday through Friday: 7:00 AM to 6:00 PM
Saturday: 9:00 AM to 5:00 PM
Sundays and national holidays: No activity allowed

PRIOR TO THE ISSUANCE OF THE PERMIT

51) Applicable Development Impact Fees must be paid prior to the permit issuance. Please refer to Engineering Division for applicable Impact Fees.

52) The installation of site construction trailers will require a separate building permit issued by the Building Division. Plans and specifications must be submitted for review and approval prior to the installation of such structures. Please contact the Building Division for additional information.

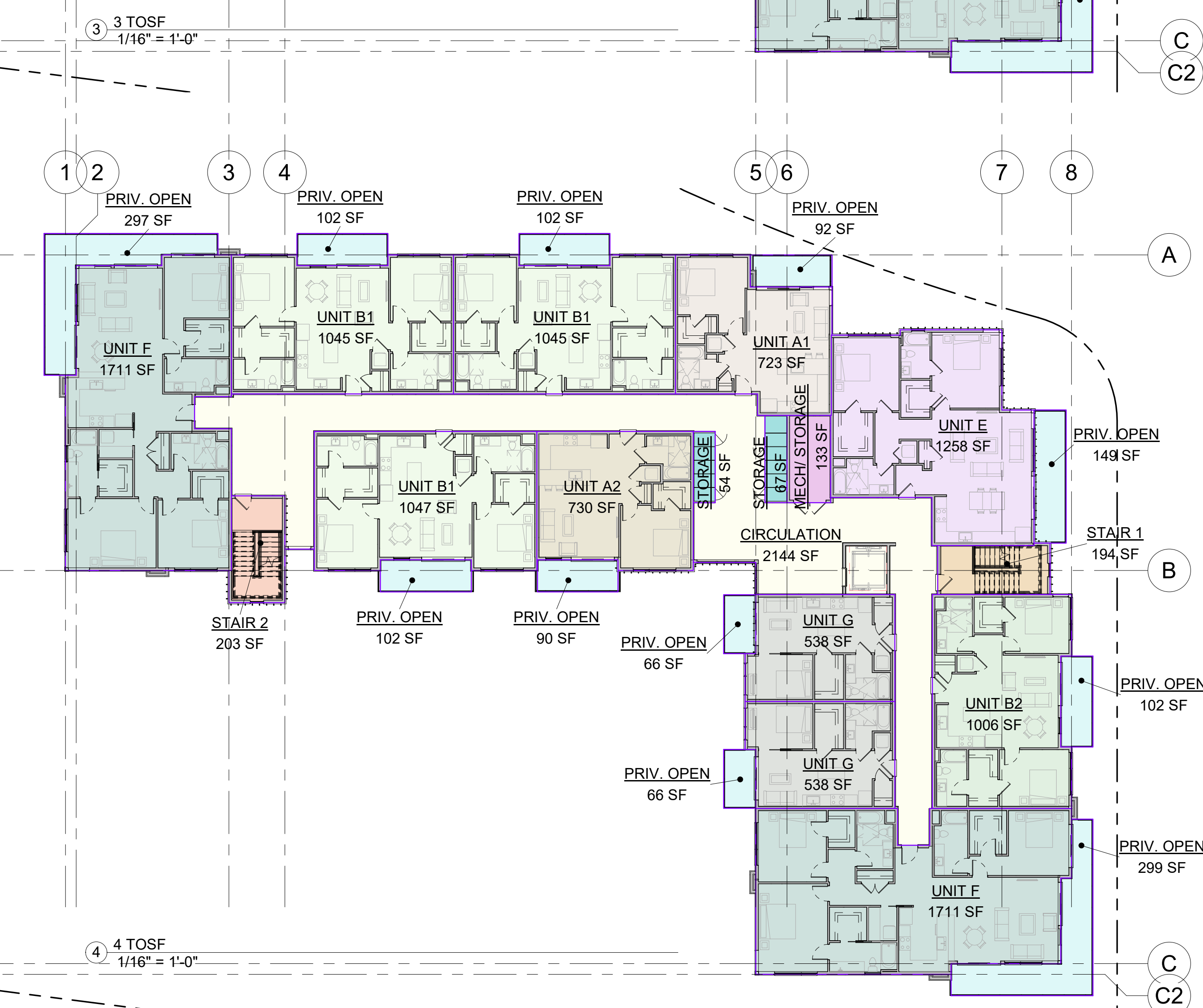
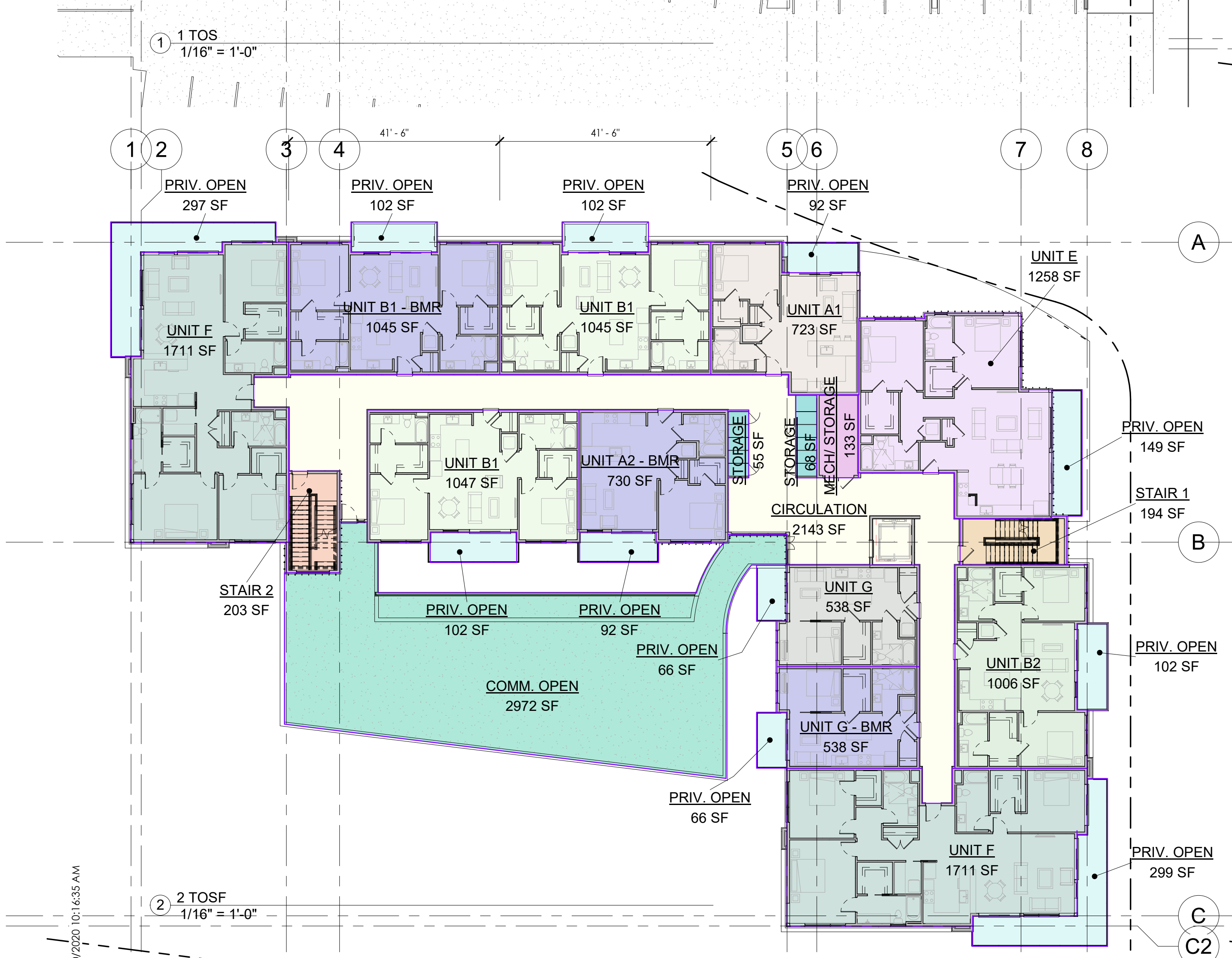
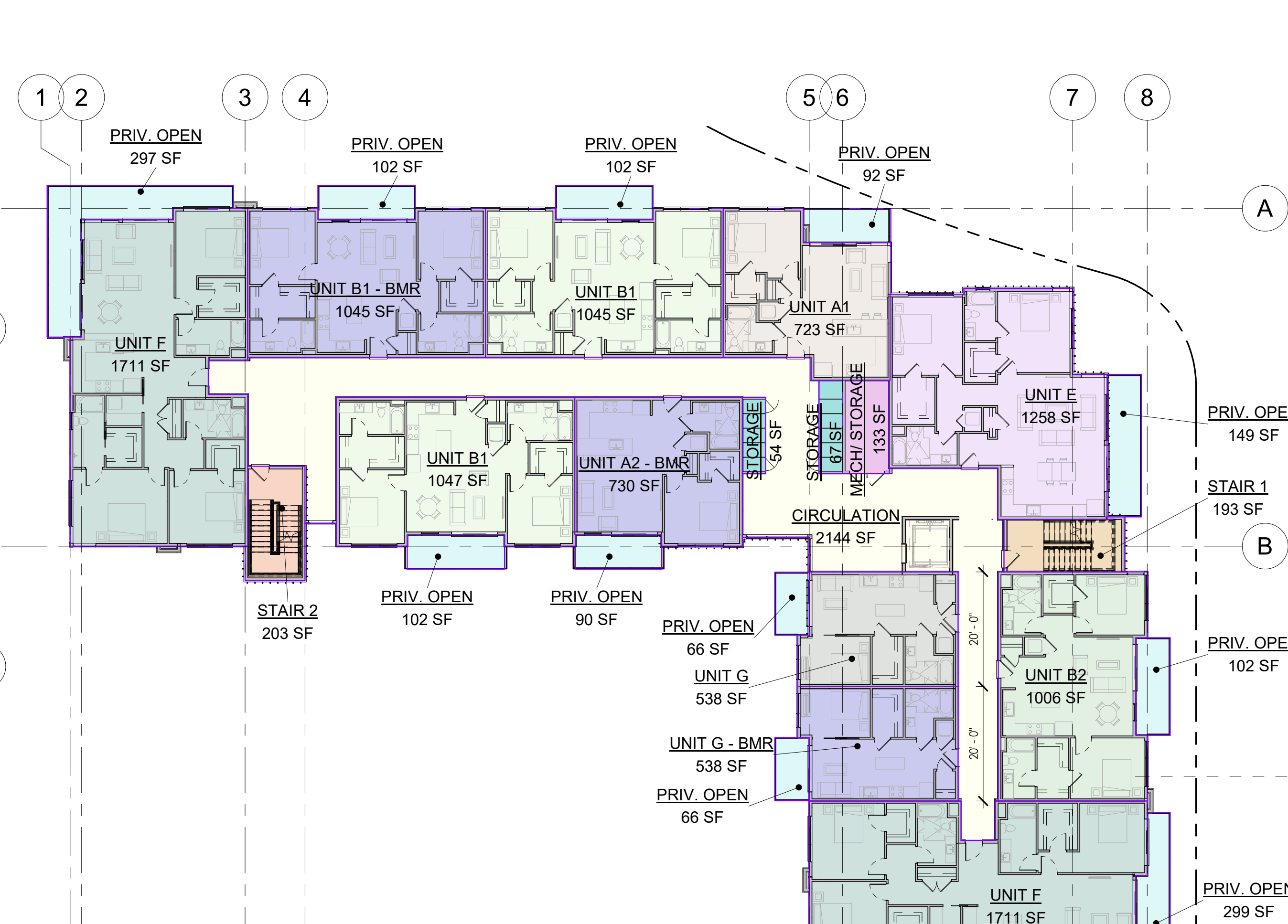
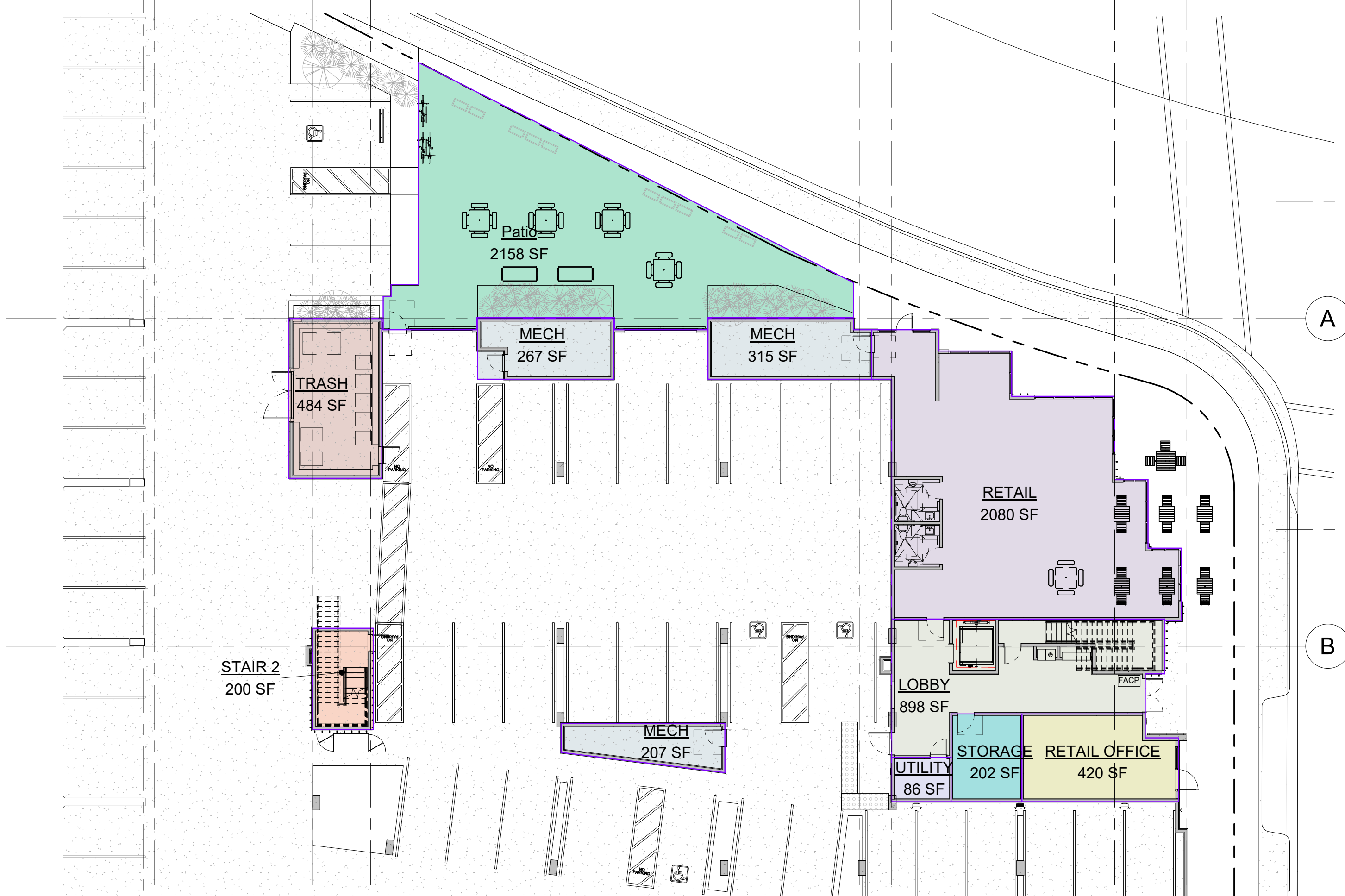
53) Approval of this Project does not relieve the Applicant from the applicable requirements of subsequent permits and approvals, including but not limited to the following as may be applicable:

- a. Grading Permit and Improvement Plan
- b. Building Permit and Certificate of Occupancy
- c. Fire Permit
- d. School District Development Impact fee requirements

54) Prior to the issuance of building permits, the applicant/developer shall submit a Construction and Demolition Application to the Building and Safety Division. The link to access application: <http://www.ci.east-palo-alto.ca.us/ArchiveCenter/ViewFile/Item/486>.

PRIOR TO THE FIRST INSPECTION

55) A pre-construction conference shall be held at a time and location agreed upon by the City and applicant for the purpose of reviewing Conditions of Approval and construction-site procedures. The building owner/developer shall be represented by the design and construction staffs, which include any sub-contractors. Departments having conditions of approval for the project will represent the City (BUILDING, PUBLIC WORKS, PLANNING, FIRE).



AREA SCHEDULE		Area Schedule by Type		
Area	Area Schedule	Name	Area	Unit Type
CIRCULATION	1 TOS	1 TOS		
COMM. OPEN	Res Common	Res Common		
LOBBY	LOBBY	LOBBY	898 SF	
MECH	MECH	MECH	200 SF	
MECH/STORAGE	MECH	MECH	2,080 SF	
Patio	Support	Support	420 SF	
PRIV. OPEN	MECH	MECH	267 SF	
	MECH	MECH	315 SF	
	MECH	MECH	207 SF	
	STORAGE	STORAGE	202 SF	
	TRASH	TRASH	484 SF	
	UTILITY	UTILITY	86 SF	
			5,140 SF	
	2 TOSF	2 TOSF		
	Res Common	Res Common		
	CIRCULATION	CIRCULATION	2,143 SF	
	STAIR 1	STAIR 1	194 SF	
	STAIR 2	STAIR 2	203 SF	
	STORAGE	STORAGE	55 SF	
	STORAGE	STORAGE	68 SF	
	Res Unit	Res Unit		
	UNIT A1	UNIT A1	723 SF	1 Bed, 1 Bath
	UNIT A2 - BMR	UNIT A2 - BMR	730 SF	1 Bed, 1 Bath
	UNIT B1	UNIT B1	1,047 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1 - BMR	UNIT B1 - BMR	1,045 SF	2 Bed, 2 Bath
	UNIT B2	UNIT B2	1,006 SF	2 Bed, 2 Bath
	UNIT E	UNIT E	1,258 SF	2 Bed, 2 Bath
	UNIT F	UNIT F	1,711 SF	3 Bed, 3 Bath
	UNIT G	UNIT G	1,711 SF	3 Bed, 3 Bath
	UNIT G - BMR	UNIT G - BMR	538 SF	Jr. Bed, 1 Bath
	UNIT G	UNIT G	538 SF	Jr. Bed, 1 Bath
	Support	Support	133 SF	
	MECH/STORAGE	MECH/STORAGE	14,147 SF	
	3 TOSF	3 TOSF		
	Res Common	Res Common		
	CIRCULATION	CIRCULATION	2,144 SF	
	STAIR 1	STAIR 1	193 SF	
	STAIR 2	STAIR 2	203 SF	
	STORAGE	STORAGE	54 SF	
	STORAGE	STORAGE	67 SF	
	Res Unit	Res Unit		
	UNIT A1	UNIT A1	723 SF	1 Bed, 1 Bath
	UNIT A2 - BMR	UNIT A2 - BMR	730 SF	1 Bed, 1 Bath
	UNIT B1	UNIT B1	1,047 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1 - BMR	UNIT B1 - BMR	1,045 SF	2 Bed, 2 Bath
	UNIT B2	UNIT B2	1,006 SF	2 Bed, 2 Bath
	UNIT E	UNIT E	1,258 SF	2 Bed, 2 Bath
	UNIT F	UNIT F	1,711 SF	3 Bed, 3 Bath
	UNIT G	UNIT G	1,711 SF	3 Bed, 3 Bath
	UNIT G - BMR	UNIT G - BMR	538 SF	Jr. Bed, 1 Bath
	UNIT G	UNIT G	538 SF	Jr. Bed, 1 Bath
	Support	Support	133 SF	
	MECH/STORAGE	MECH/STORAGE	14,147 SF	
	4 TOSF	4 TOSF		
	Res Common	Res Common		
	CIRCULATION	CIRCULATION	2,144 SF	
	STAIR 1	STAIR 1	194 SF	
	STAIR 2	STAIR 2	203 SF	
	STORAGE	STORAGE	54 SF	
	STORAGE	STORAGE	67 SF	
	Res Unit	Res Unit		
	UNIT A1	UNIT A1	723 SF	1 Bed, 1 Bath
	UNIT A1	UNIT A1	723 SF	1 Bed, 1 Bath
	UNIT A1	UNIT A1	723 SF	1 Bed, 1 Bath
	UNIT A2	UNIT A2	730 SF	1 Bed, 1 Bath
	UNIT A2 - BMR	UNIT A2 - BMR	730 SF	1 Bed, 1 Bath
	BMR	BMR	730 SF	1 Bed, 1 Bath
	1 Bed, 1 Bath: 6	1 Bed, 1 Bath: 6	4,358 SF	
	UNIT B1	UNIT B1	1,047 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,047 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1	UNIT B1	1,045 SF	2 Bed, 2 Bath
	UNIT B1 - BMR	UNIT B1 - BMR	1,045 SF	2 Bed, 2 Bath
	UNIT B1 - BMR	UNIT B1 - BMR	1,045 SF	2 Bed, 2 Bath
	UNIT B2	UNIT B2	1,006 SF	2 Bed, 2 Bath
	UNIT E	UNIT E	1,258 SF	2 Bed, 2 Bath
	UNIT F	UNIT F	1,711 SF	3 Bed, 3 Bath
	UNIT F	UNIT F	1,711 SF	3 Bed, 3 Bath
	UNIT G	UNIT G	538 SF	Jr. Bed, 1 Bath
	UNIT G	UNIT G	538 SF	Jr. Bed, 1 Bath
	Support	Support	133 SF	
	MECH/STORAGE	MECH/STORAGE	14,147 SF	
	Grand total	Grand total	47,601 SF	
	Area Schedule Open Space			
	Name	Area		
	Common Open Space			
	1 TOS			
	Patio		2,158 SF	
	2 TOSF			
	COMM. OPEN		2,972 SF	
	Common Open Space		5,130 SF	
	Private Open Space			
	UNIT F		1,711 SF	
	UNIT F		1,258 SF	
	UNIT E		1,258 SF	
	UNIT E		1,258 SF	
	2 Bed, 2 Bath: 15		16,202 SF	
	UNIT F		1,711 SF	
	UNIT F		1,711 SF	
	UNIT F		1,711 SF	
	UNIT F		1,711 SF	
	UNIT F		1,711 SF	
	UNIT F		1,711 SF	
	3 Bed, 3 Bath: 6		10,245 SF	
	UNIT G		538 SF	Jr. Bed, 1 Bath
	UNIT G		538 SF	Jr. Bed, 1 Bath
	UNIT G		538 SF	Jr. Bed, 1 Bath
	UNIT G		538 SF	Jr. Bed, 1 Bath
	UNIT G		538 SF	Jr. Bed, 1 Bath
	UNIT G - BMR		538 SF	Jr. Bed, 1 Bath
	UNIT G - BMR		538 SF	Jr. Bed, 1 Bath
	UNIT G - BMR		538 SF	Jr. Bed, 1 Bath
	Jr. Bed, 1 Bath: 6		3,228 SF	
	Grand total:	33	34,053 SF	

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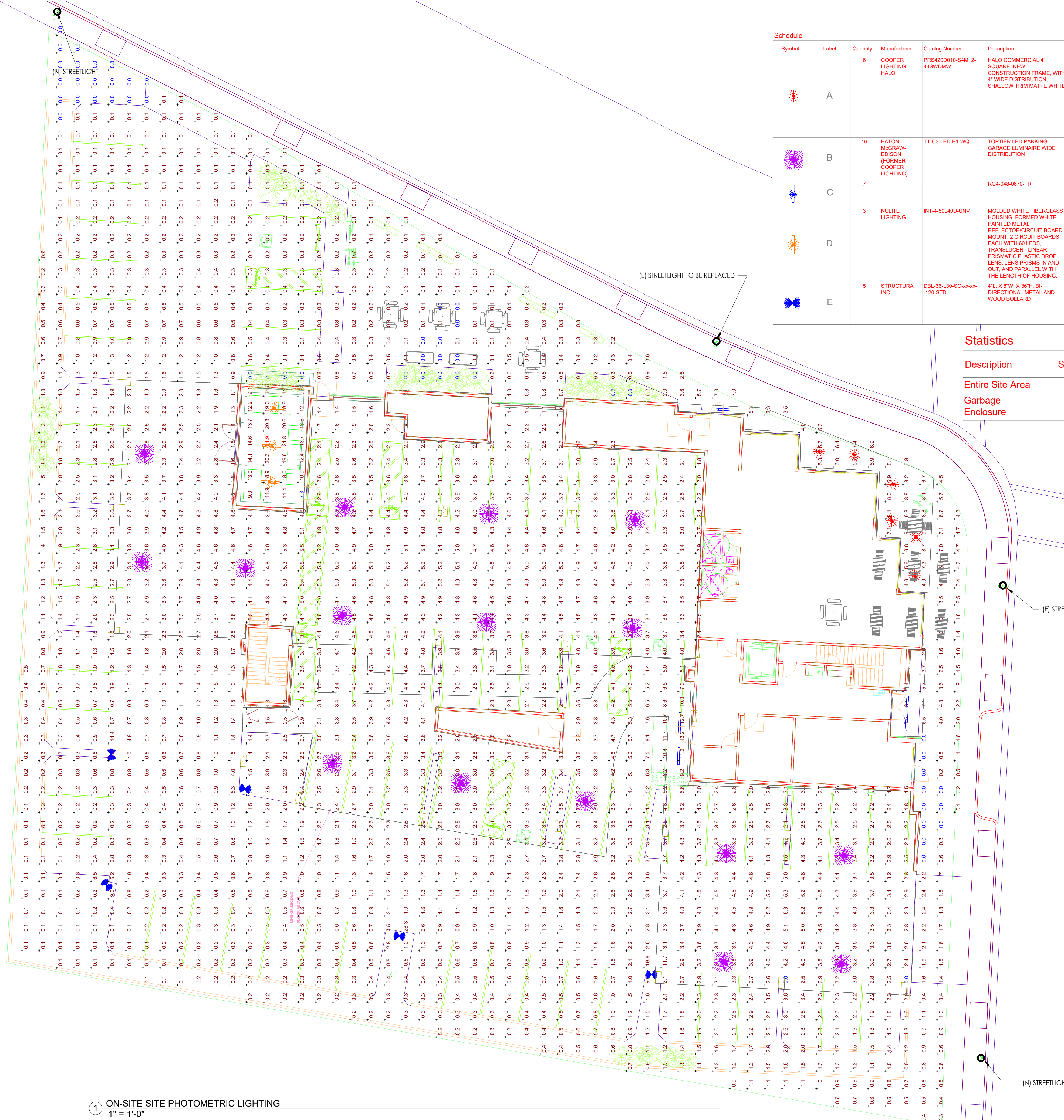
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SHEET TITLE
PERSPECTIVE RENDERING

SHEET NUMBER
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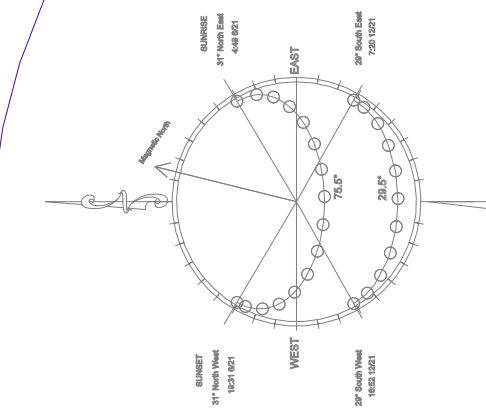


1 ON-SITE SITE PHOTOMETRIC LIGHTING
1" = 1'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	6	COOPER LIGHTING - HALO	PRS420010-S4M12-44SWDMW	HALO COMMERCIAL 4" SQUARE NEW CONSTRUCTION FRAME WITH 4" WIDE DISTRIBUTION, SHALLOW TRIM MATTE WHITE	ARRAYS OF HIGH LUMEN ECOS 800R/3500K CCT ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	Halo Lighting-PRS420010-S4M12-44SWDMW.ies	2156	0.9	20
	B	16	EATON - MCGRAW-EDISON FORMER COOPER LIGHTING	TT-C3-LED-E1-WQ	TOPTIER LED PARKING GARAGE LUMINAIRE WIDE DISTRIBUTION	(168) 4000K CCT, 70 CRI LEDS	168	McGraw-Edison-TT-C3-LED-E1-WQ.ies	34	0.92	45
	C	7	NIULITE LIGHTING	RG4-048-0670-FR		LED 0.6W Nichia Cool White LED (100mA)	48	Nulle- RG4-0640-FR-4.ies	80	0.9	65.7436
	D	3	NIULITE LIGHTING	INT-4-S0L40-UNV	MOLDED WHITE FIBERGLASS HOUSING, FORMED WHITE PAINTED METAL REFLECTOR/CIRCUIT BOARD MOUNT, 2 CIRCUIT BOARDS EACH WITH 60 LEDS. TRANSLUCENT LINEAR PRISMATIC PLASTIC DROP LENS. LENS PRISMS IN AND OUT AND PARALLEL WITH THE LENGTH OF HOUSING.	ONE HUNDRED TWENTY WHITE LIGHT EMITTING DIODES (LEDs), VERTICAL BASE-UP POSITION.	120	Nulle- INT-4-S0L40 LED.IES	41	0.9	52.3
	E	5	STRUCTURA INC.	DBL-36-L30-SO-xxx-120-STD	4" L X 8" W X 36" H, BI-DIRECTIONAL METAL AND WOOD BOLLARD		1	Structura Lighting- Duo Bollard DBL-36-L30-SO-xxx-120-STD.ies	682	0.95	11.24

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entire Site Area	+	2.2 fc	28.7 fc	0.0 fc	N/A	N/A
Garbage Enclosure	+	14.9 fc	21.9 fc	7.3 fc	3.0:1	2.0:1



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1 OFF-SITE SITE PHOTOMETRIC LIGHTING
1" = 1'-0"

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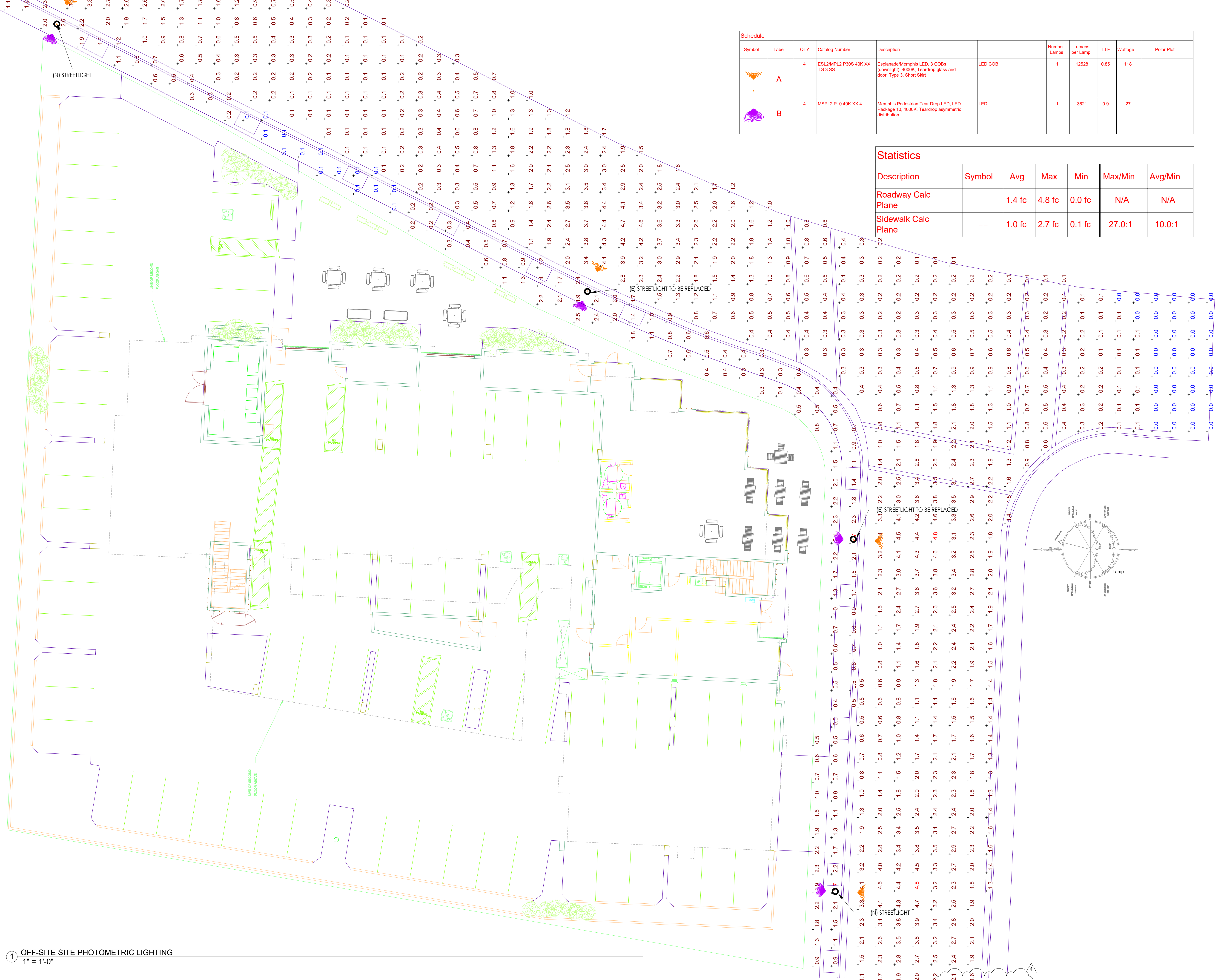
UNIVERSITY CORNER

EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
OFF-SITE SITE PHOTOMETRIC
LIGHTING PLAN

SHEET NUMBER
A0.5F

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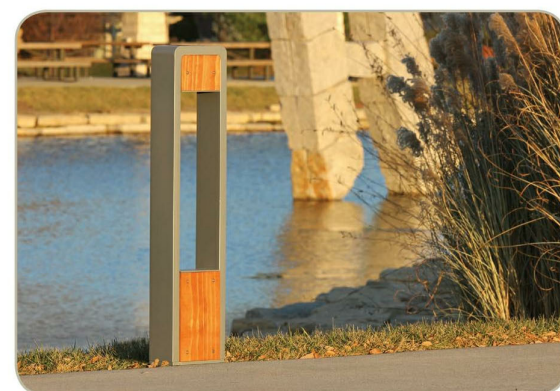


Symbol	Label	QTY	Catalog Number	Description	LED COB	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
	A	4	ESL2MPL2 P30S 40K XX TG 3 SS	Esplanade/Memphis LED, 3 COBs (downlight), 4000K, Teardrop glass and door, Type 3, Short Skirt	LED COB	1	12528	0.85	118	
	B	4	MSPL2 P10 40K XX 4	Memphis Pedestrian Tear Drop LED, LED Package 10, 4000K, Teardrop asymmetric distribution	LED	1	3621	0.9	27	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Roadway Calc Plane	+	1.4 fc	4.8 fc	0.0 fc	N/A	N/A
Sidewalk Calc Plane	+	1.0 fc	2.7 fc	0.1 fc	27.0:1	10.0:1

Duo Bollard Duo Family Aluminum LED Bollard

FIXTURE TYPE:
PROJECT NAME:



Double aluminum extrusion uprights with wood or metal center accents and LED light source.

- FEATURES:**
- High power, low wattage COB LED light source
 - Available with wood, aluminum, or custom material accent panels
 - Concealed anchor bolt base and mounting hardware

SPECIFICATIONS:

CONSTRUCTION: Rectangular extruded aluminum 6063-T6 tubes, connected to aluminum 6061-T6 base plate and internal supports with an aluminum 319 top casting.

Bollard is fastened to a concrete anchor bolt base with concealed hardware accessible behind accent panel. Anchor bolt kit includes (4) hot dip galvanized anchor bolts and fasteners and a rigid concrete pour template.

ELECTRICAL: Constant current electronic driver available in 120V or 277V input. Standard output is 12W. All drivers are Underwriters Laboratories recognized with 0-10V dimming standard. Fixture is internally prewired to the electrical splice box located in the fixture base.

OPTICAL SYSTEM: Chip on board LEDs have solderless connectors for field upgradability. Available in 2700K, 3000K, 3500K and 4000K color temperatures. Consult factory for additional lumen options.

FINISHES AND MATERIALS: Woods are finished with a low VOC waterborne matte exterior finish containing UV and mildew inhibitors. All aluminum parts are polyester powder coat painted.

HARDWARE: Fasteners are stainless steel. Anchor bolt kits are hot dip galvanized.

122 © 2019 STRUCTURA INC.



INT LED Series

Type:	Project:	Qty:
Date:		
Catalog #:		

Description:

The Nulite INT LED is an ideal solution for lighting cold storage, food processing, parking garages, open exterior structures, commercial and industrial applications. The luminaire housing is NSF certified.

Specifications:

Construction: Rugged corrosion resistant white housing is comprised of fiberglass, continuous closed cell gasket, ribbed acrylic diffuser, toggle latches and end plugs.

Diffuser: Ribbed frosted impact resistant acrylic. Optional smooth, impact resistant acrylic, curved frosted lens (4" only).

Reflector / Driver: Driver cover/reflector is formed of 20 gauge cold rolled steel with a white powder coat finish. Constant current driver with 0-10V dimming input. Universal (UNV) voltage is from 120 - 277V, 50/60 Hz.

LED Module: Distributed LED array in a variety of lumen output packages. LED color is available in (L35) 3500K, (L40) 4000K or (L50) 5000K. Module is replaceable. L90 ≥ 100,000 hours.

Mounting: Pair of stainless steel mounting brackets included.

Labels: ETL listed Wet location, conforms to UL Standard 1598 / 8750 and CSA Standard C22.2, NSF/ANSI Standard 2, NEMA 4X, IP 68 & IP67 rated.

Ordering Information

Sample: INT-4-SOL40-UNV-DIM-HE

Series	Length	Lumen Package / LED Color	Voltage	Driver	Options
INT	2'	Nominal 2' 25 (~2423 lm @ 20W)	L35	UNV	DIM ¹ Dimming CFR Curved Frosted Lens (Nominal 4" Lens Only)
	4'	50 (~4845 lm @ 40W)	L40	120	SD Step Dimming
	8'	100 (~9690 lm @ 80W)	L50	277	SJT/6" SJT Cord CP3/6" SJT Cord Plug CP3/6 (NEMA) ⁴ 6" SJT Cord - NEMA Plug Designation ie CP3/6(7-20)
		Nominal 4' 50 (~4845 lm @ 40W)			SSL Optional Stainless Steel Latches
		100 (~9690 lm @ 80W)			HE (1) 1/2" End Hub Entry (Factory Installed)
		Nominal 8' 100 (~9690 lm @ 80W)			TP Tamper Option (Down for Latches)
		200 (~19380 lm @ 160W)			

Notes:
1. INT-2-26L40... INT-4-60L40... & INT-4-100L40... are DesignLights Consortium™ Qualified, refer to www.designlights.org
2. Approximate delivered lumens, consult factory for more lumen packages.
3. 0-10V Dimming inputs, consult factory for more information.
4. Luminaire is listed for Wet Location for this option. Consult factory for Wet Location with cord.
5. Emergency battery pack available in nominal 500, 700 and 1200 lumens. 1200 not available in 2' unit. Use EM/50M, EM/700 or EM/1200 as the ordering code.

Specifications and dimensions are subject to change without notification. Specification sheets on our website supersede all other versions. 2016 Rev. E1
Nulite Lighting 10770 East 51st Avenue, Denver, CO 80239 Phone 303-287-9646 Fax 303-287-0316 www.nulite-lighting.com

4 SITE LIGHTING - NULITE INT

3" = 1'-0"



- Recessed narrow continuous linear LED lighting system designed for the outdoor environment.
- Internal housing sealed. 1.25" thick extruded aluminum housing with welded seams. Standard white painted finish electrocoat applied aluminum powder coat paint. Optional silver, black, or custom color paint finishes. Recessed back-boa die-formed powder coat painted galvanized steel metal.
- Fully sealed and gasketed lens and electrical fittings.
- Compliances: UL Wet Location, IP66
- Long-life distributed LED array in a variety of lumen output packages. LED color is available in 3000K, 3500K or 4000K with a CRI of 80 or 90. Custom outputs are available. Module is replaceable. L90=100,000 hours. Turnable white utilizes 50% 2700K and 50% 6500K diodes.

ORDERING INFORMATION

SAMPLE NUMBER: R66RF-D-FF-10-L35-IC-UNV-D-W-4

SERIES	DIRECT SHIELDING	LUMEN PACKAGE	DRIVE/CT	CIRCUIT
R66RF-D	FF - Flush Frosted Lens	65 - 588 lm/ft 130 - 80 CR, 300K 135 - 80 CR, 3500K 140 - 80 CR, 4000K 180 - 1100 lm/ft XX	IC - Single Circuit	

VOLTAGE	DRIVER	LUMINAIRE FINISH	LENGTH	OPTIONS
UNV - Universal 120-120 Volt 277-277 Volt	Dimming 0-10V D - Dim to 1% (Standard) DB - Dim to 0% DBZ - Elapsed - Dim to 0%	W - White (Standard) E - Elated Endless, dms to 1% S - Silver B - Black CT - Custom Color ¹	2 - 2 ft 4 - 4 ft 6 - 6 ft 8 - 8 ft	RLB 6' or 8' Flex

NULITE 10770 EAST 51ST AVE DENVER, CO 80239 / P 303 287 9646 / NULITE-LIGHTING.COM © 2019 ALL RIGHTS RESERVED

3 SITE LIGHTING - REGOLO

3" = 1'-0"

McGraw-Edison

DESCRIPTION	Catalog #	Type
The TopTier™ parking garage, canopy and low-bay luminaire is an innovative solution that delivers an unparalleled combination of performance and visual comfort. The patented WaveStream™ optical technology blocks the line of sight from the LED light sources to the observer, while extracting the maximum amount of light on task. This approach results in a high level of uniformity and vertical footcandles that enhances safety in the application environment. The TopTier luminaire is UL/CUL listed for wet locations, IP68 and 30 vibration rated.	Project	Date
	Comments	
	Prepared by	

SPECIFICATION FEATURES

Construction
One-piece, low copper die-cast aluminum housing provides a clean and symmetric aesthetic. Formed aluminum top is sloped to prevent bird nesting. Metal fixtures and end plugs are optional access for field servicing.

Optics
Unique optical distributions are accomplished using various combinations of reflective backing plates and WaveStream optical technology. The optical Waveguide is manufactured using precision injection molded acrylic. The optics contain features that form a repeatable and redundant pattern to direct light in a precisely prescribed distribution. The drive lane distribution is specifically designed for locations with one direction of travel to optimally direct light in the same direction of travel for maximum glare control. For additional glare control and visual comfort with the Wide distribution, specify the SG option which adds a Soliter® glass lens that works in combination with the Waveguide lens and reflective backing plate.

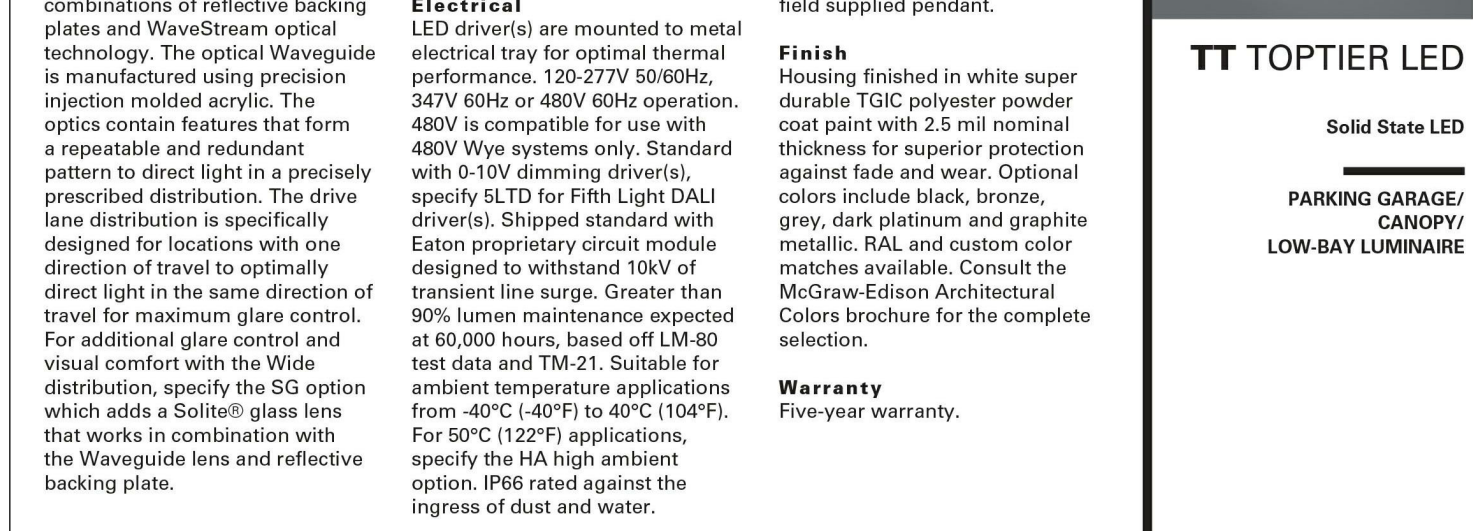
Offered standard in 4000K (4'-275K) CCT, optional 3000K, 5000K and 6000K. Minimum 70 CRI. Optional uplight feature provides a dedicated light engine (17W) to maintain consistent output across fixtures and reduces cave effect. Nominal uplight output is 800 lumens and ranges from 10%-30% total light output depending on the lumen package.

Electrical
LED driver(s) are mounted to metal electrical tray for optimal thermal performance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wave systems only. Standard with 0-10V dimming driver(s), specify SLD for Fifth Light DALI driver(s). Shipped standard with Eaton proprietary circuit module designed to withstand 10KV of transient line surge. Greater than 90% lumen maintenance expected at 60,000 hours, based off LM-80 test data and TM-21. Suitable for ambient temperature applications from -40°C (-40°F) to 40°C (104°F). For 50°C (122°F) applications, specify the HA high ambient option. IP68 rated against the ingress of dust and water.

Mounting
Standard fixture mounts to a square or octagonal 4" surface or recessed J-box via heavy-gauge quick mount bracket. Optional mounting methods include trunion mount and wall mount. With the addition of a field supplied wet location J-box, the luminaire can be pendant mounted using the factory supplied decorative pendant mount kit or a suitable field supplied pendant.

Finish
Housing finished in white super durable TGIC polyester powder coat paint with 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include black, bronze, grey, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.



DESIGN PARTS

ADDITIONAL MOUNTING OPTIONS

TRUNNION MOUNT

WALL MOUNT

DECORATIVE PENDANT MOUNT

OPTICAL DISTRIBUTIONS

LUMEN MAINTENANCE

ENERGY DATA

SHIPPING DATA

DESIGN PARTS

ENERGY STAR

UL LISTED

DM15006EN

TT TOPIER LED

2 SITE LIGHTING - TOPIER SERIES

12" = 1'-0"

Halo Commercial

DESCRIPTION	Catalog #	Type
Recessed 4-inch LED square downlight with field interchangeable optics deliver narrow, medium and wide distribution patterns ideal for general area lighting. Luminaire is airtight and can be installed in new construction or below the ceiling in renovation applications. Field selectable color temperatures and lumen packages providing additional flexibility. Intended applications include professional offices, healthcare, hospitality, schools, house of worship and other institutional uses.	Project	Date
	Comments	
	Prepared by	

SPECIFICATION FEATURES

Frame
• Bolt shaped galvanized steel plating frame with adjustable square plaster for accommodations 1/2" to 1-1/2" thick ceilings
• May be installed in new construction, or from below the ceiling in non-accessible ceilings and in remodeling
• Provided with 14) remodel clips to secure the frame when installing from below the ceiling

Universal Mounting Bracket
• Mounting bracket adjusts 2" vertically from above the ceiling or thru the aperture
• Use with included mounting bars or 1/2" EMT
• Removable to facilitate installation from below the ceiling

Reflector
• Self-fingered downlight reflectors are available in shallow and deep regression
• Linear spread lens wall wash reflector matches tall downlight profile
• Reflectors are on non-conductive polymer construction, and may be used to meet local code requirements for "dead front"
• Reflectors attach to LED module with (3) speed dials
• Multiple painted or plated finishes are available

Reflector Retention
• Reflector module assembly is securely retained in the housing with (2) torsion springs

Driver
• Field replaceable constant current driver provides low noise operation
• UNV 120-277VAC 50/60Hz input standard
• Continuous, flicker-free 1% dimming with 0-10V analog control
• Optional low voltage DC driver for use with Eaton's DLPV distributed low voltage power system*

Emergency Option
• Provides 90 minutes of standby lighting meeting most life safety codes for egress lighting
• Available with remote charge indicator and test switch

Connected Lighting System Options
• WaveLine tile mount daylight sensor includes control module, sensor and cable providing comprehensive lighting control
• LumaWatt Pro (powered by Enlighten) wireless touch mount sensor and control kit

Integration
• Integral connector allows for quick sensor installation into the housing face
• LED printed circuit board array is field replaceable
• Passive cooling achieves L70 at 50,000 hours

Primary Optic
• Precision modified square TIR (Total Internal Reflection) optics deliver highly efficient and uniform patterns
• Available in narrow, medium and wide distribution and can be interchanged without tools

Junction Box
• Galvanized steel junction box
• 20in³ internal volume excluding voltage barrier
• 25 in³ internal total volume
• Voltage divider for 0-10V dimming wires (occupies (1) 1/2" pryout space)

Warranty
• Five year limited warranty, consult website for details.
• www.eaton.com/lighting/legal

*Refer to DLPV WaveLine and LumaWatt Pro specifications and design guide online.

PR54

SM4

445

4-inch Square Lens Downlight and Lens Wall Wash

Featuring Selectable Color Temperature AND Selectable Lumens

1000/1500/2000/3000/4000 Lumen

selectable colors

ENERGY STAR

UL LISTED

DM15006EN

TT TOPIER LED

ENERGY STAR

UL LISTED

DM15006EN

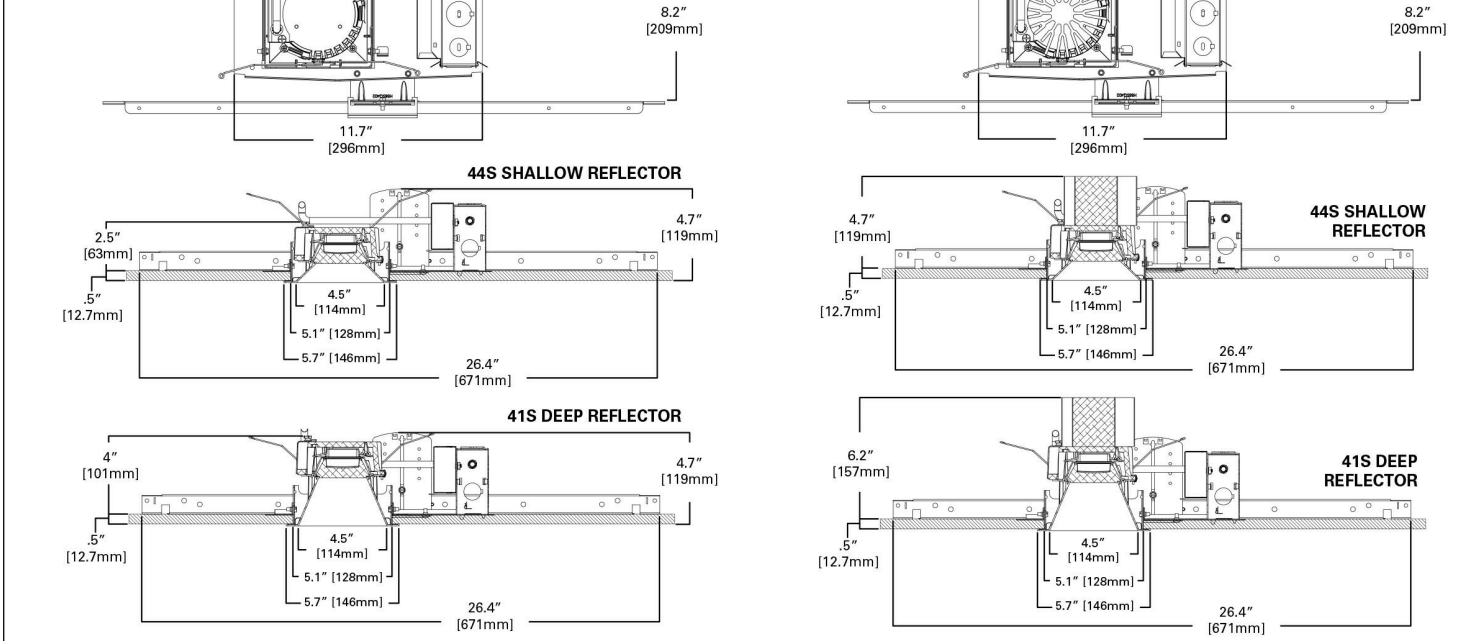
TT TOPIER LED

1 SITE LIGHTING - HALO PRS4 SERIES

3" = 1'-0"

Series	1000 lumen	1500 lumen	2000 lumen (low lumen)
Input Voltage 120-277VAC	120V 277V	120V 277V	120V 277V
Input Current (A)	0.089 0.043	0.132 0.082	0.178 0.079
Input Power (W)	10.5 11	11.4 13.8	21.3 21.4
In-rush (A)	8.9 22.2	9.9 24.8	8 19.1
In-rush Duration (ms)	0.145 0.118	0.188 0.107	0.185 0.133
THD (%)	<15.1 <16.7	<13.3 <15.5	<18.2 <18.6
PF	> 0.99 > 0.96	> 0.99 > 0.94	> 0.99 > 0.97
(Nominal input 120-277VAC & 100% of rated output power)			
Minimum starting temperature -40 C (-40 F)			
Sound Rating: Class A standards			

4" LOW LUMEN MODULE (1000 - 1500 - 2000 LUMEN)



LED MODULE	SM4128FS low lumen module	SM4348FS high lumen module
LUMEN RANGE	1000-1500/2000 Lumens	3000-4000 Lumens
415 Deep Reflector	4.2"	6.2"
445 Shallow Reflector	4.2" 12.5" w/out bar bracket	4.7"

1 SITE LIGHTING - HALO PRS4 SERIES

3" = 1'-0"

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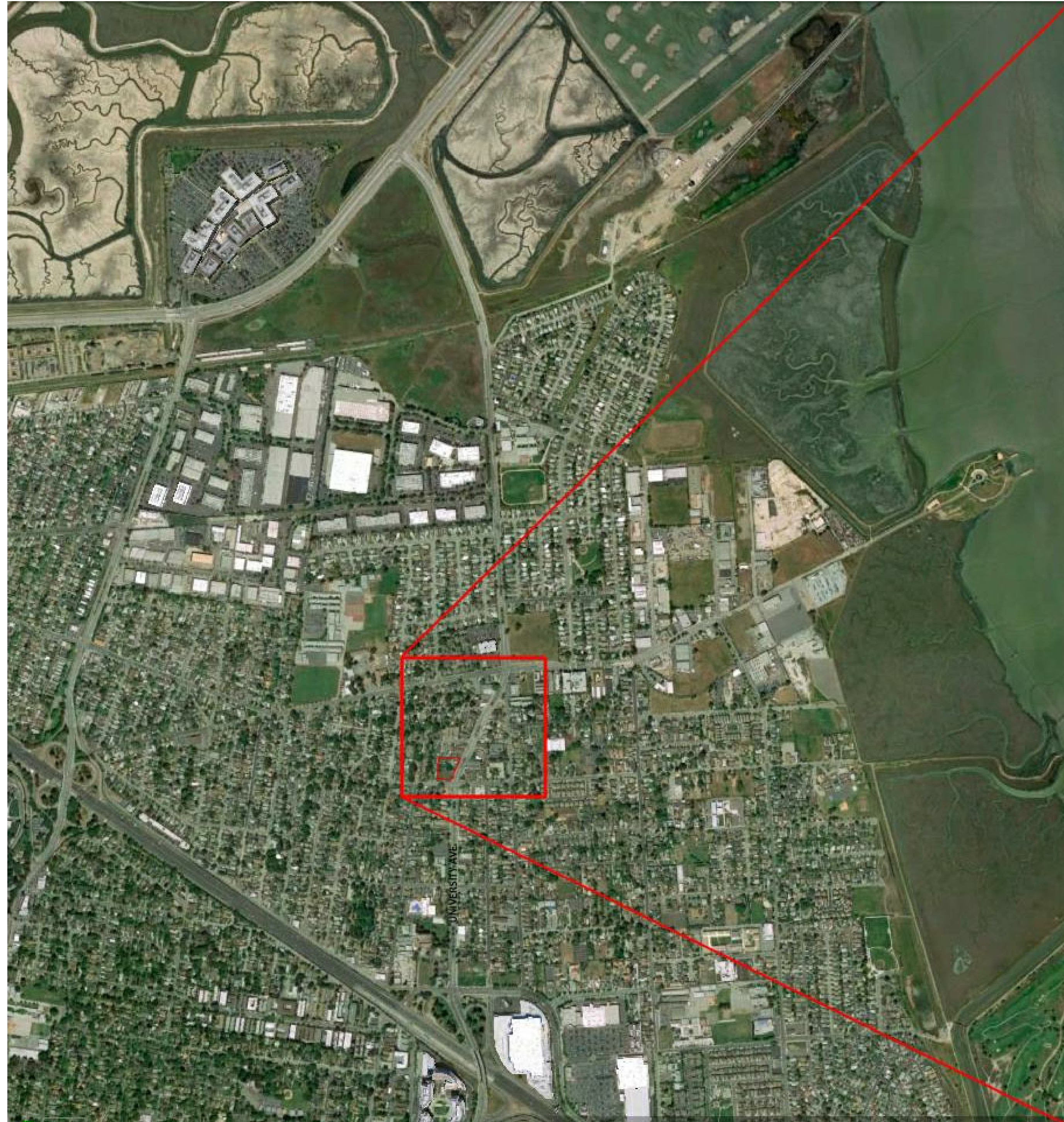
UNIVERSITY CORNER
EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
SITE LIGHTING CUT SHEETS

SHEET NUMBER
A0.5H

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EID ARCHITECTS
ECO FUNCTIONAL ARCHITECTURE



② OVERALL SITE CONTEXT
1" = 1'-0"



① VICINITY SITE PLAN
1" = 1'-0"

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SHEET TITLE
SITE CONTEXT PLANS

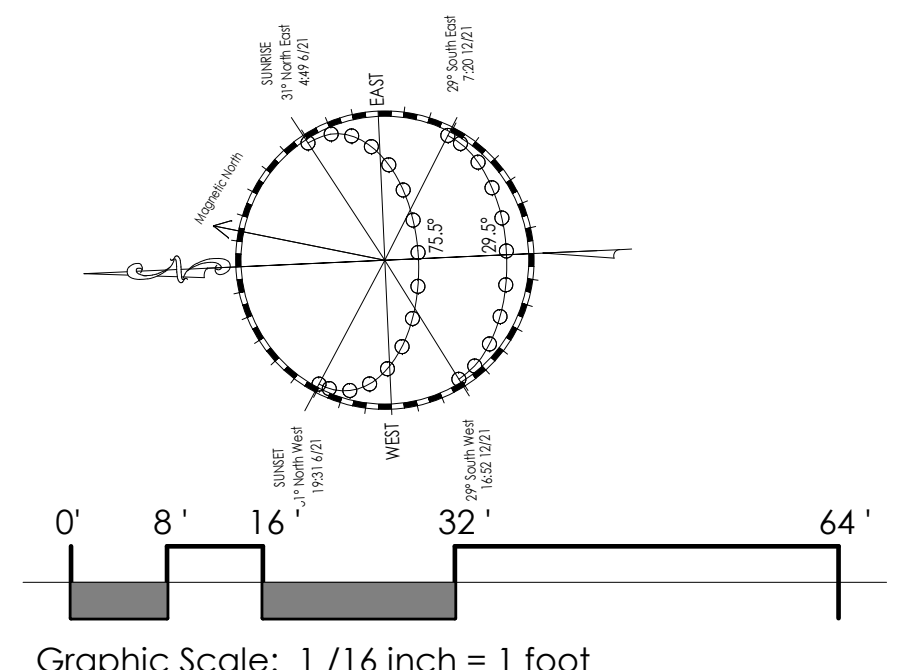
SHEET NUMBER
A1.0

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ARCHITECTS
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1 SITE PLAN - GROUND FLOOR
1/16" = 1'-0"



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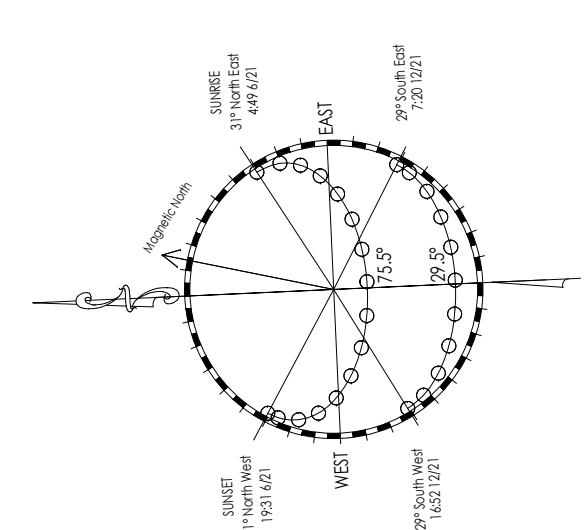
UNIVERSITY CORNER
EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
SITE PLAN - GROUND FLOOR

SHEET NUMBER
A1.1

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1 SITE PLAN - SECOND FLOOR
1/16" = 1'-0"

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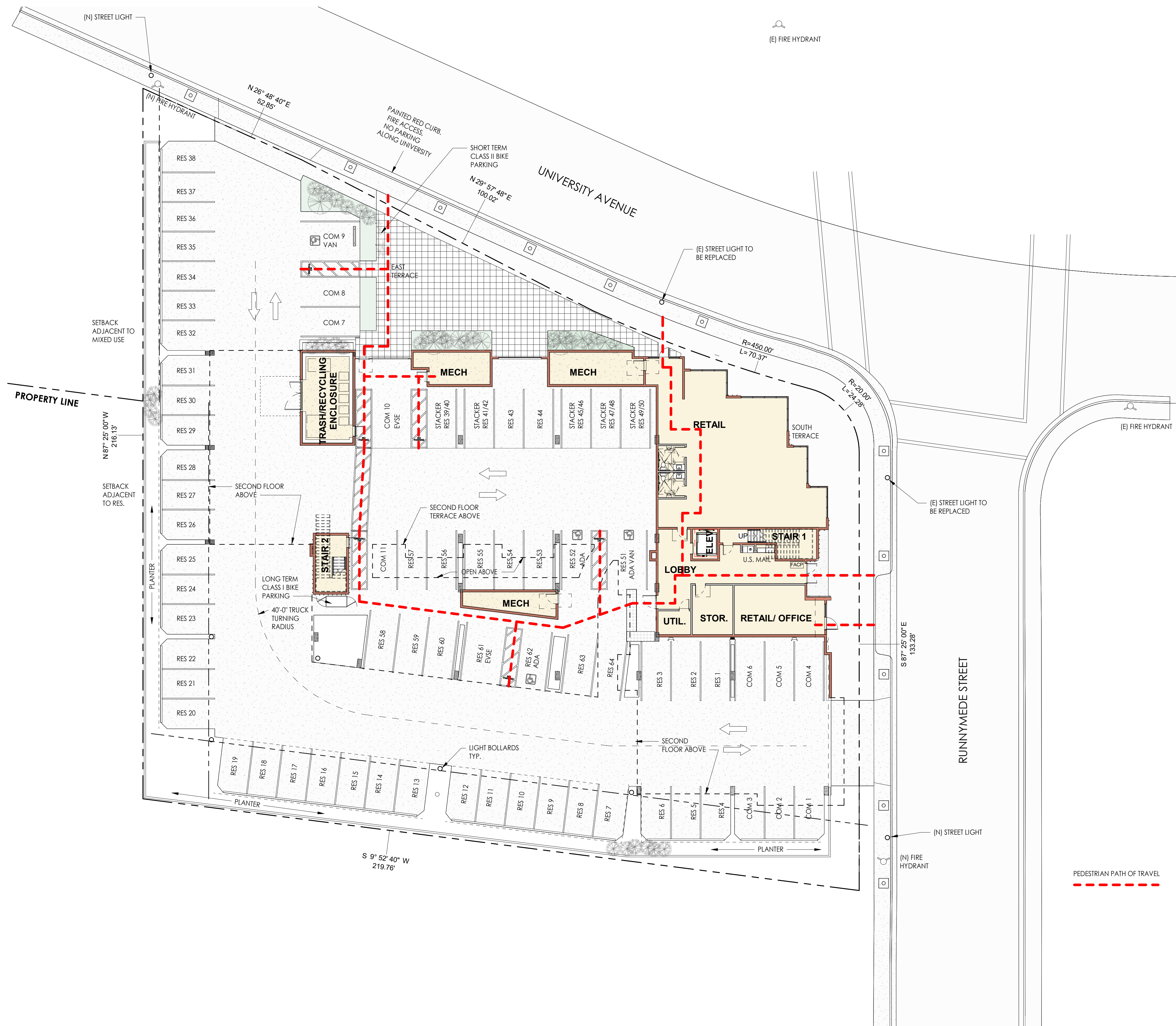
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SHEET TITLE
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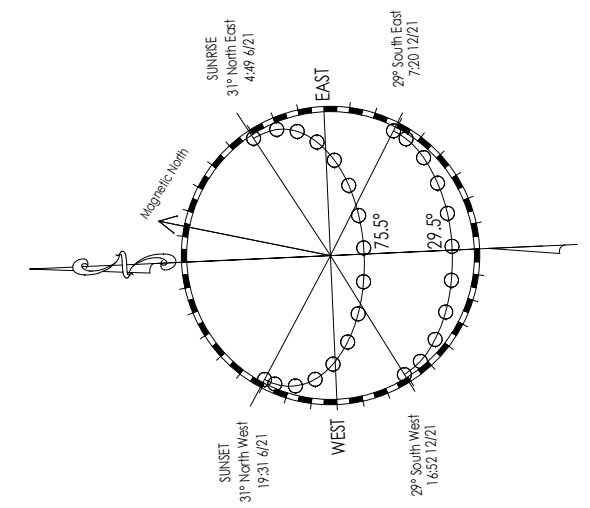
SHEET NUMBER
A1.2

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1 SITE PLAN - PATH OF TRAVEL
1/16" = 1'-0"



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SHEET TITLE
SITE PLAN - PATH OF TRAVEL
EXHIBIT

SHEET NUMBER
A1.3

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1/10/2020 10:19:46 AM
 0' 4' 8' 16' 32'
 Graphic Scale: 1/8" = 1 foot
 1 TOS
 1/8" = 1'-0"

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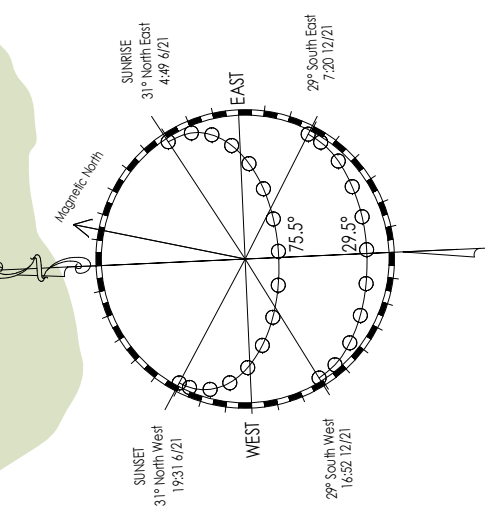
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 FIRST FLOOR PLAN

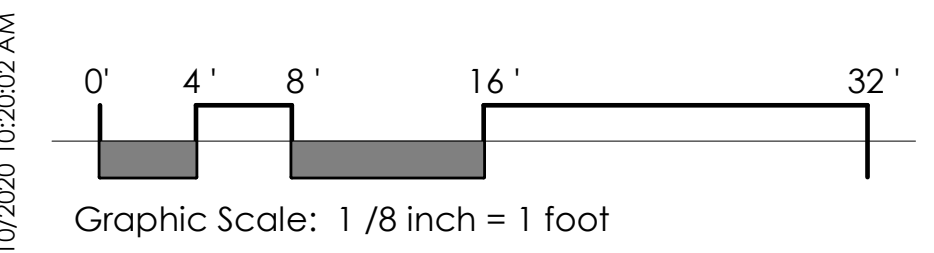
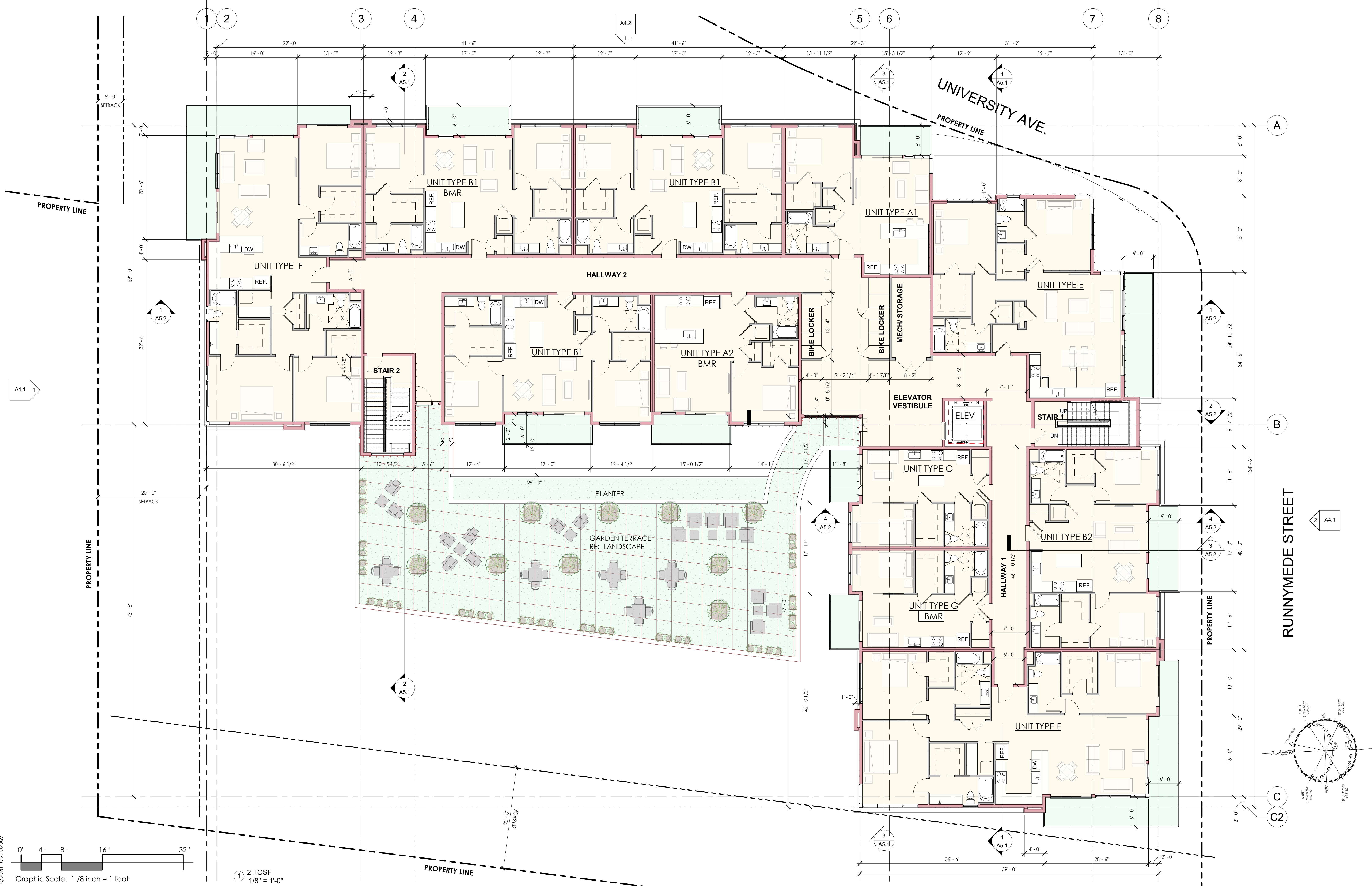
SHEET NUMBER
 A3.1

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RUNNYMEDE ST.





1 2 TOSF
1/8" = 1'-0"

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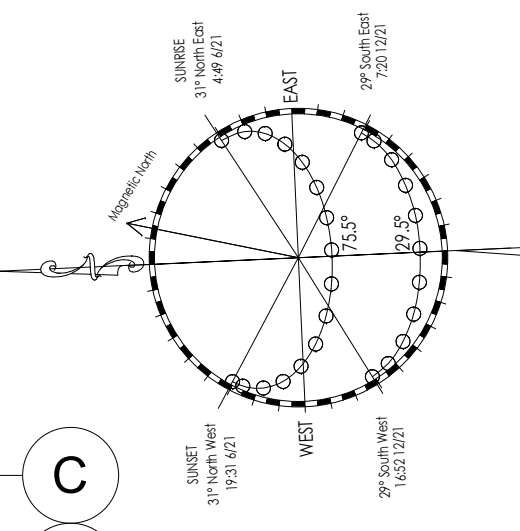
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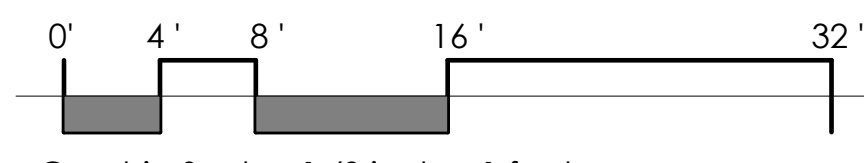
SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A3.2

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Graphic Scale: 1/8 inch = 1 foot

3 TOSF
1/8" = 1'-0"

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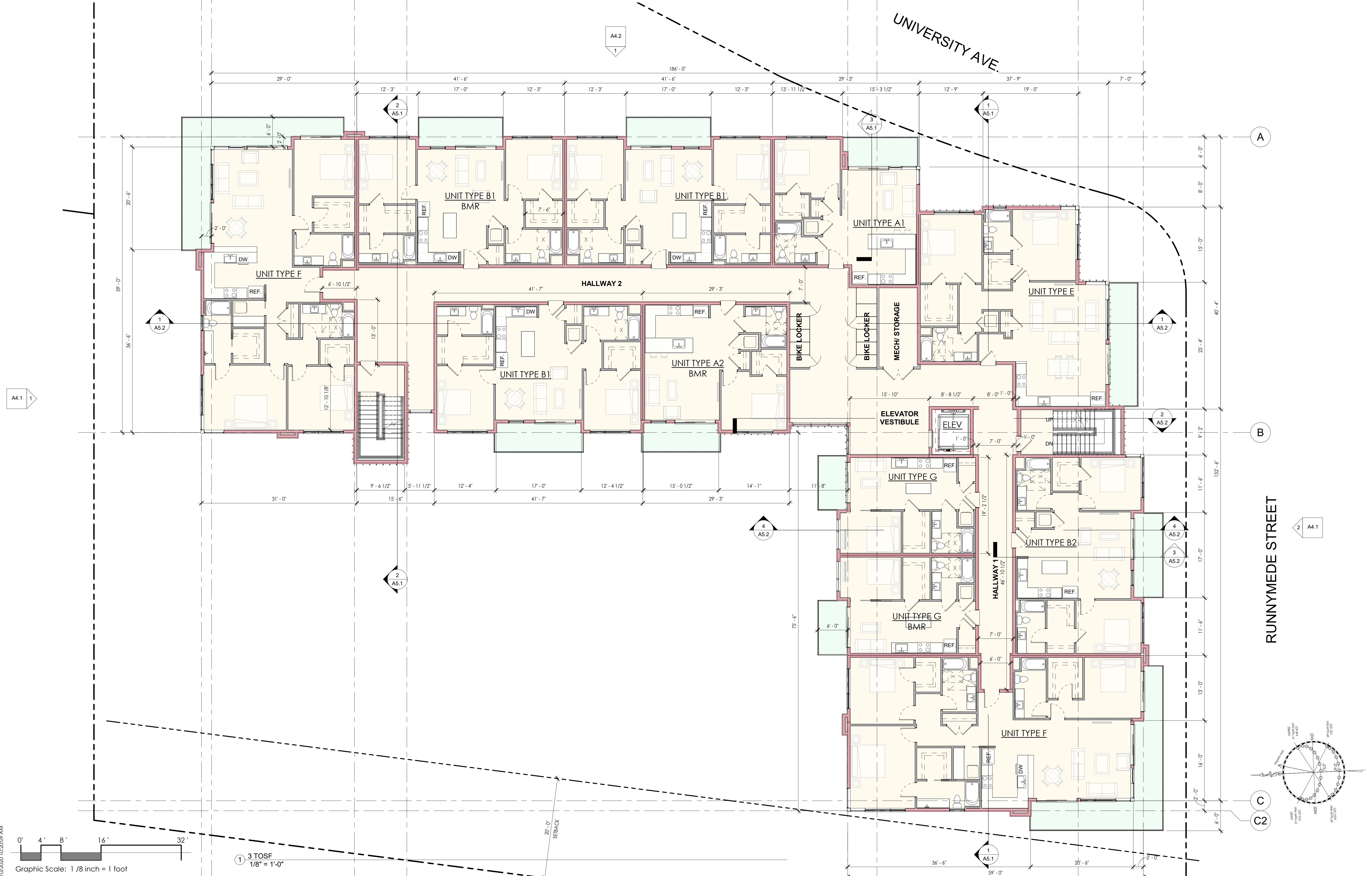
UNIVERSITY CORNER

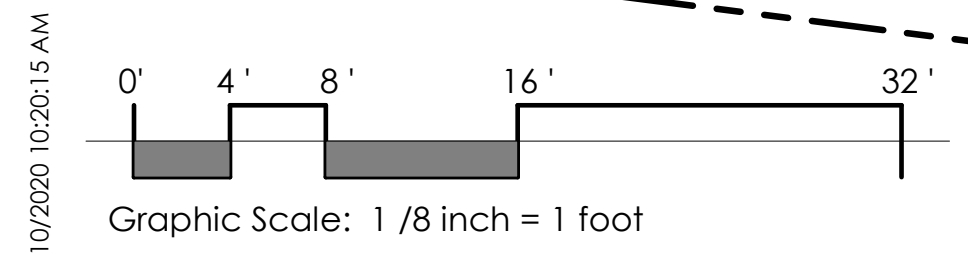
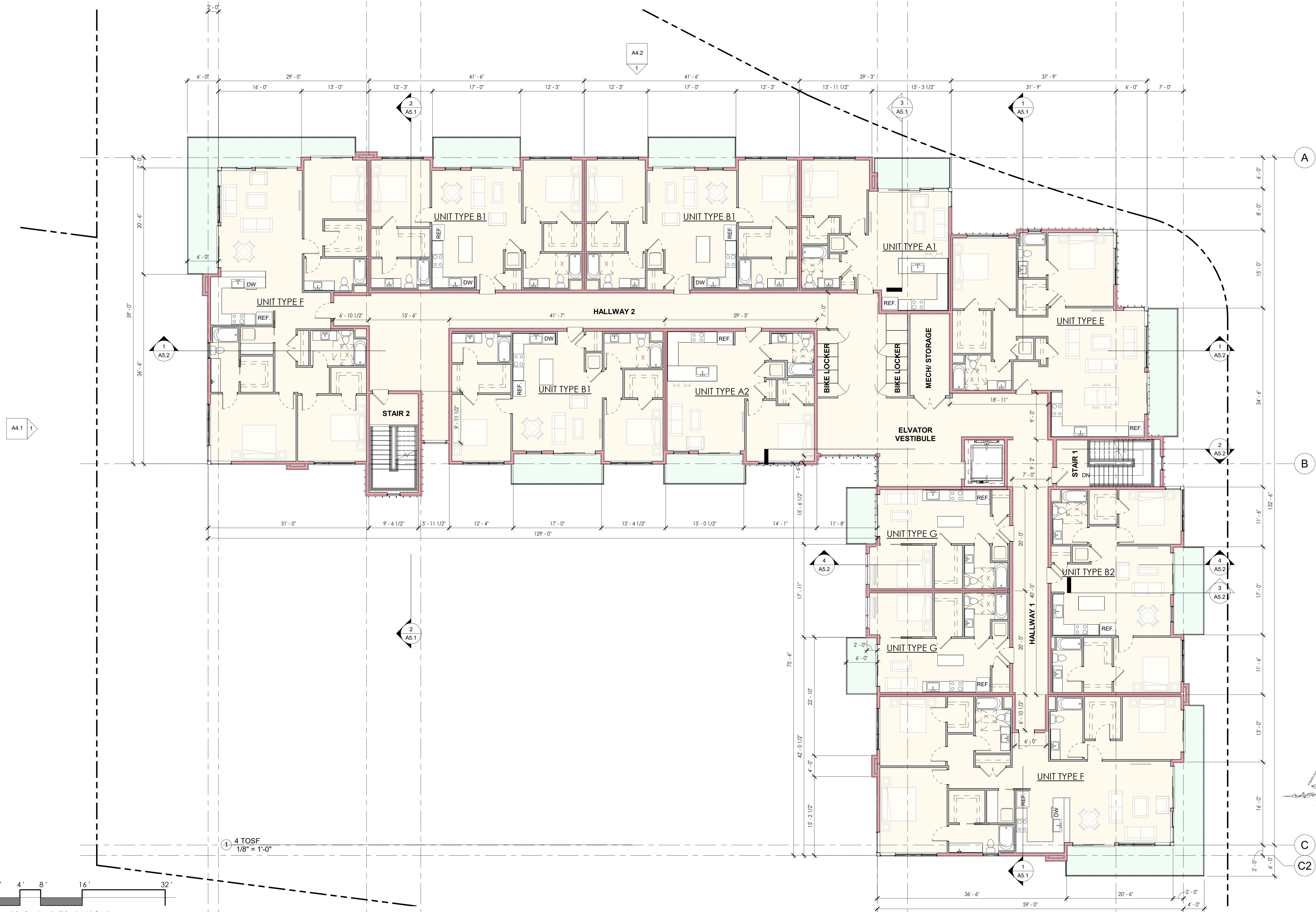
EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
THIRD FLOOR PLAN

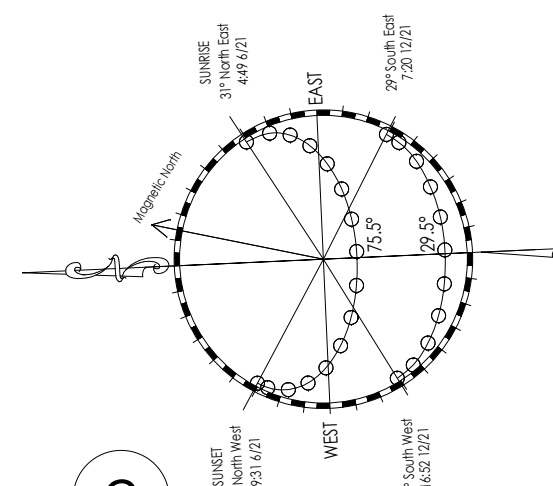
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A3.3

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4 TOSF
1/8" = 1'-0"



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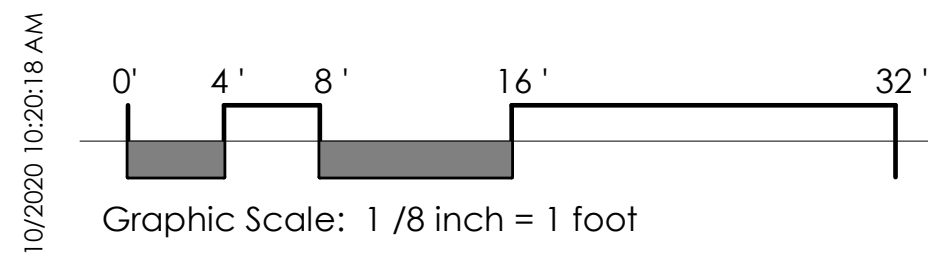
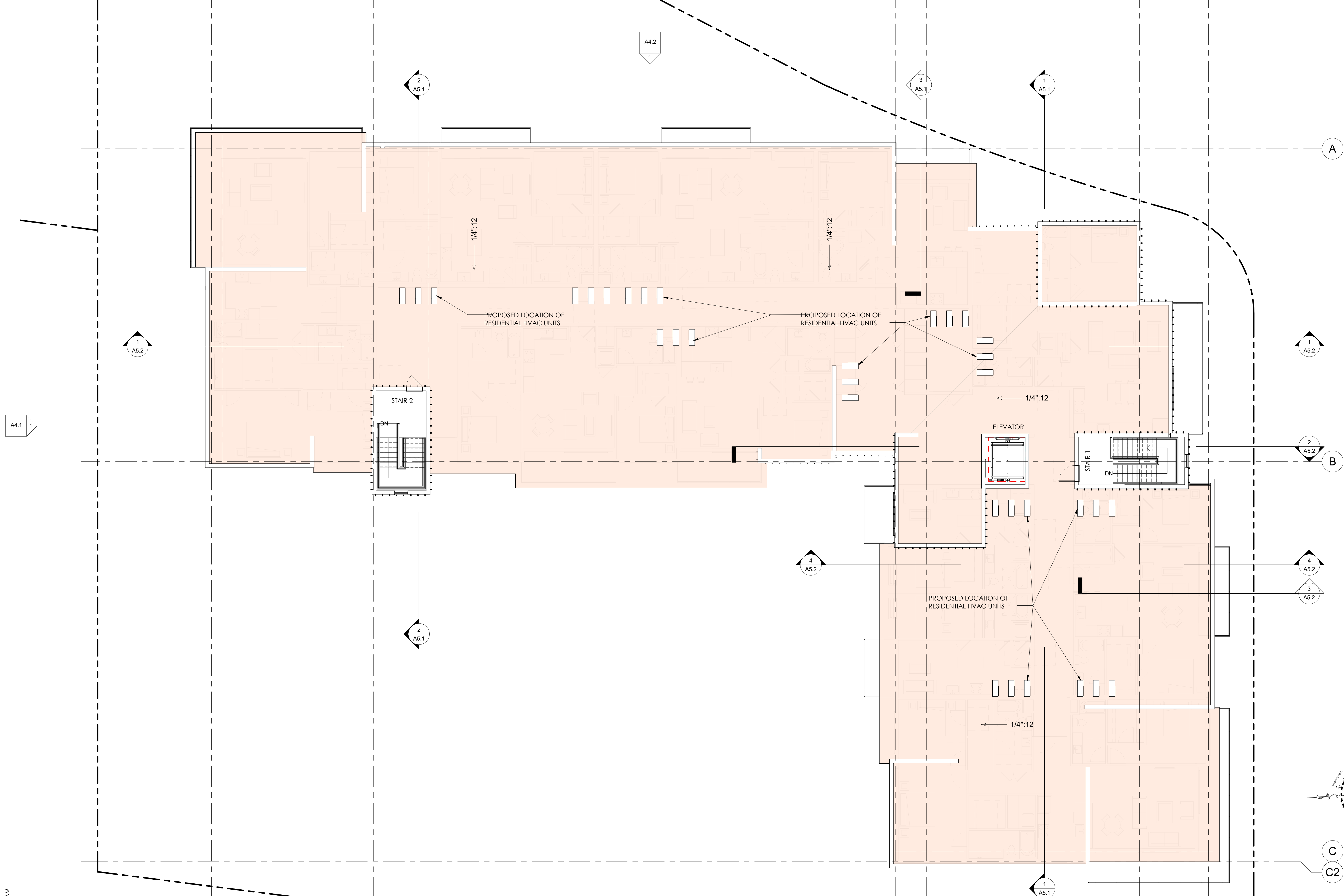
UNIVERSITY CORNER
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SHEET TITLE
FOURTH FLOOR PLAN

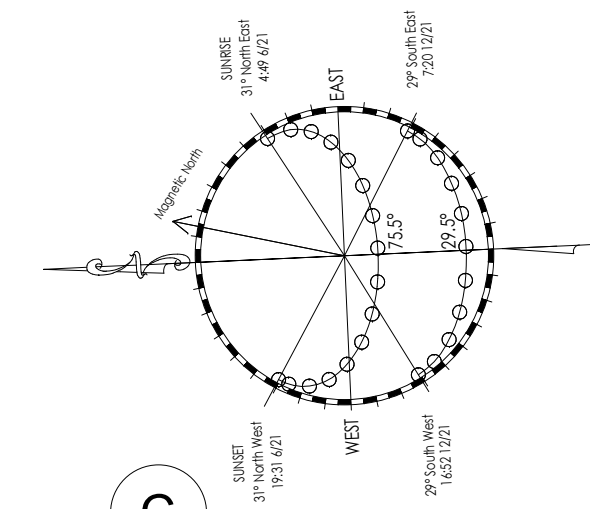
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A3.4

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1 ROOF - Rotated
1/8" = 1'-0"



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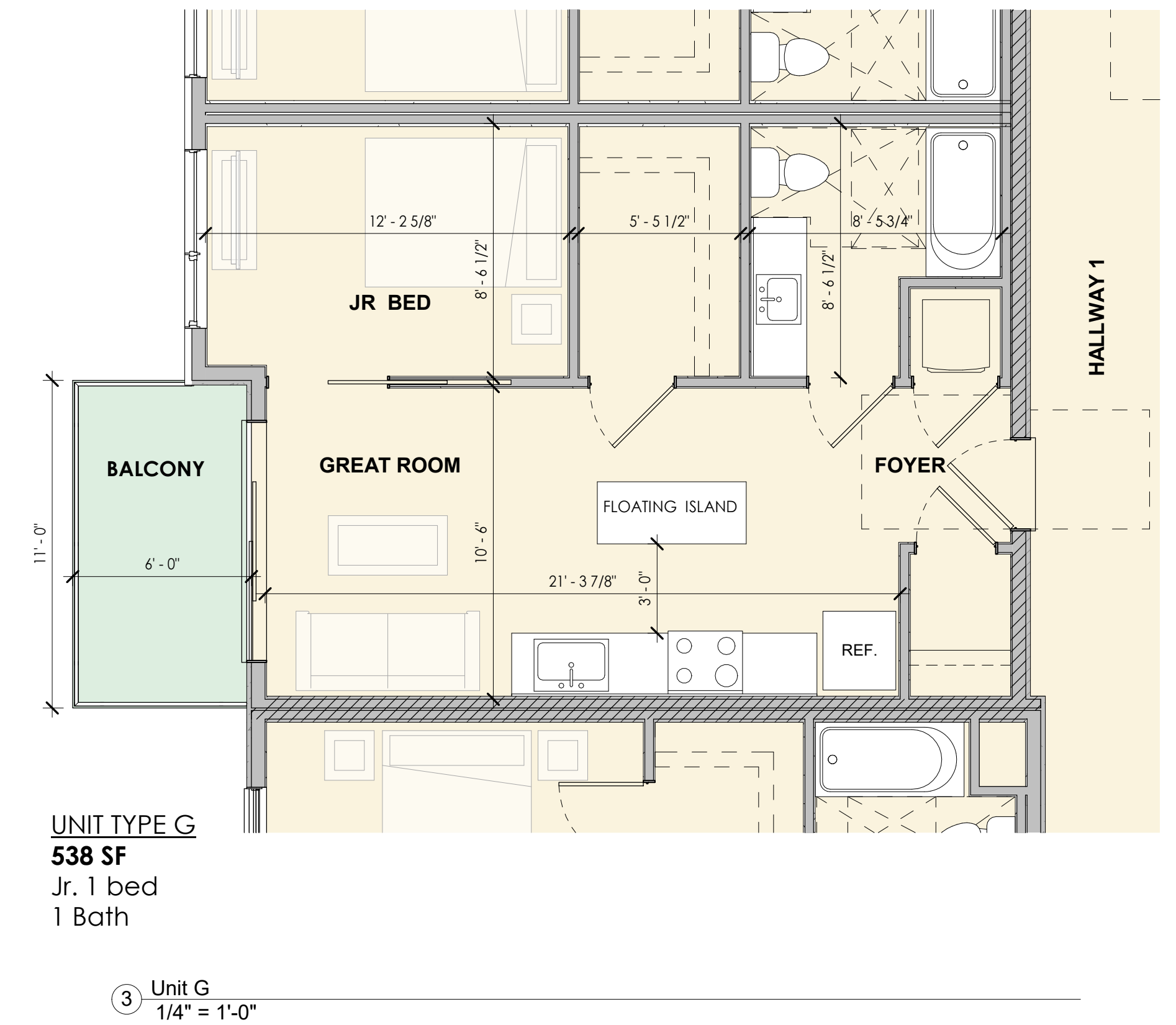
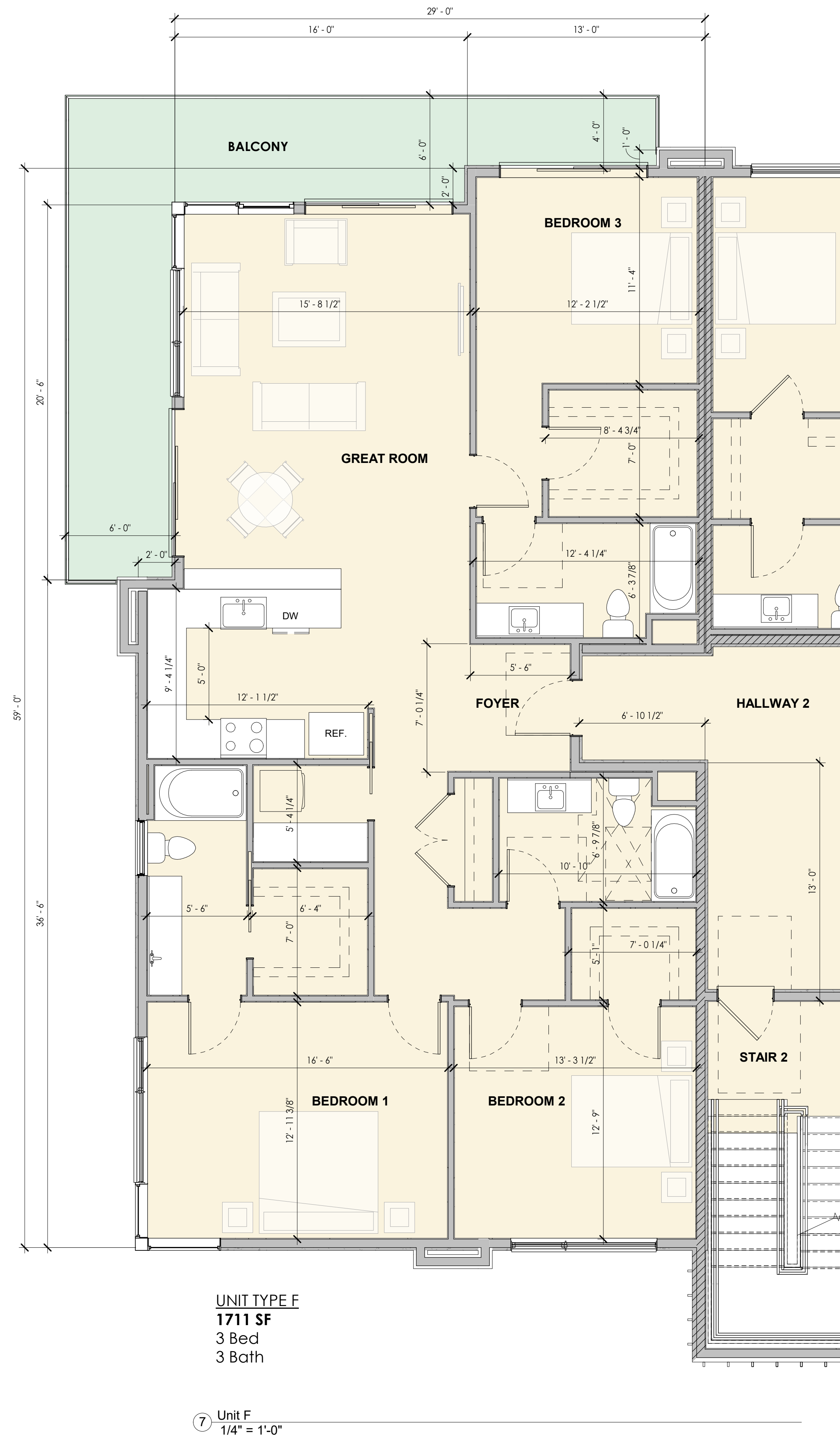
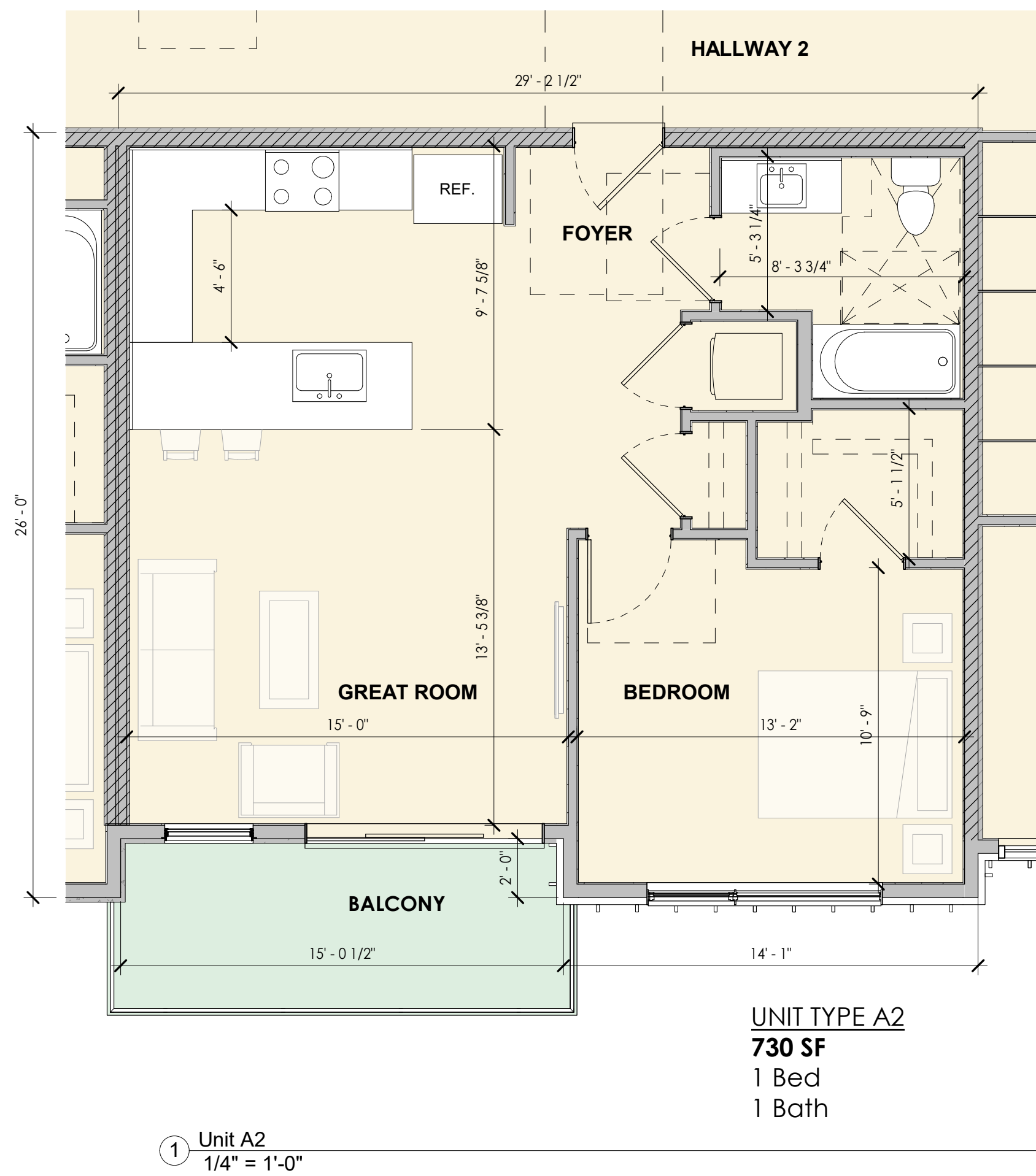
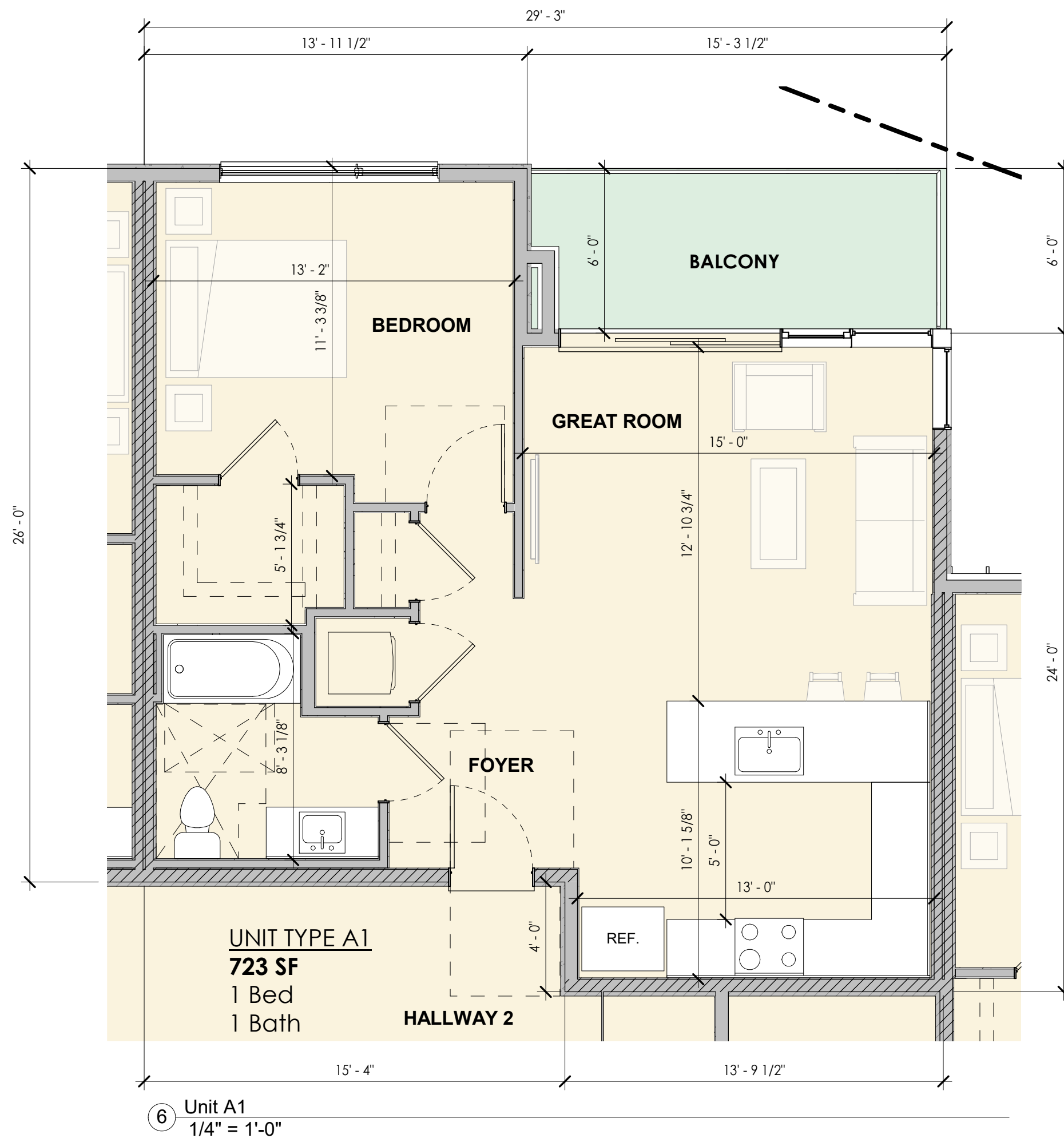
UNIVERSITY CORNER
EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
ROOF PLAN OVERALL

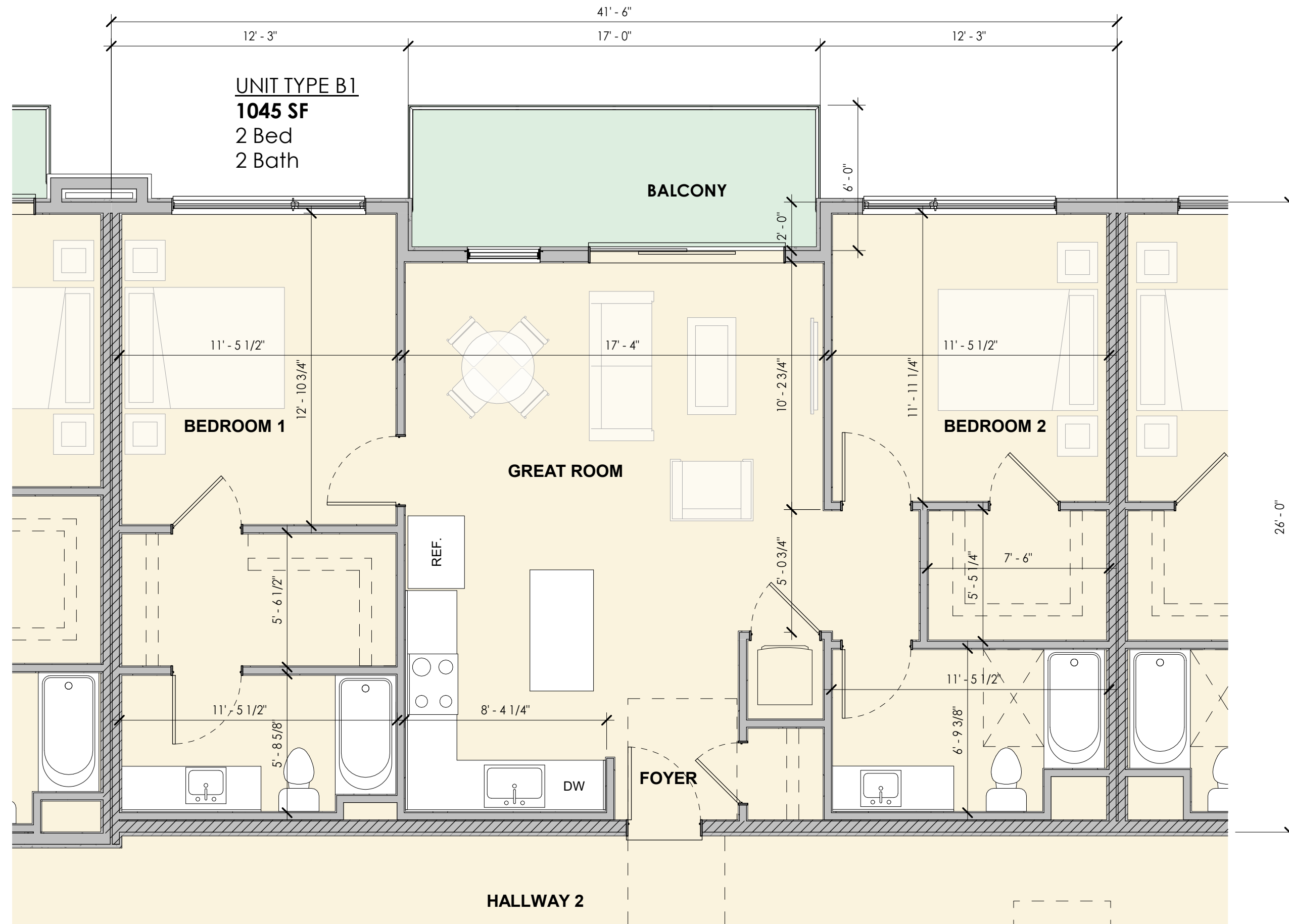
SHEET NUMBER
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ENVIRONMENTAL INNOVATIONS IN DESIGN
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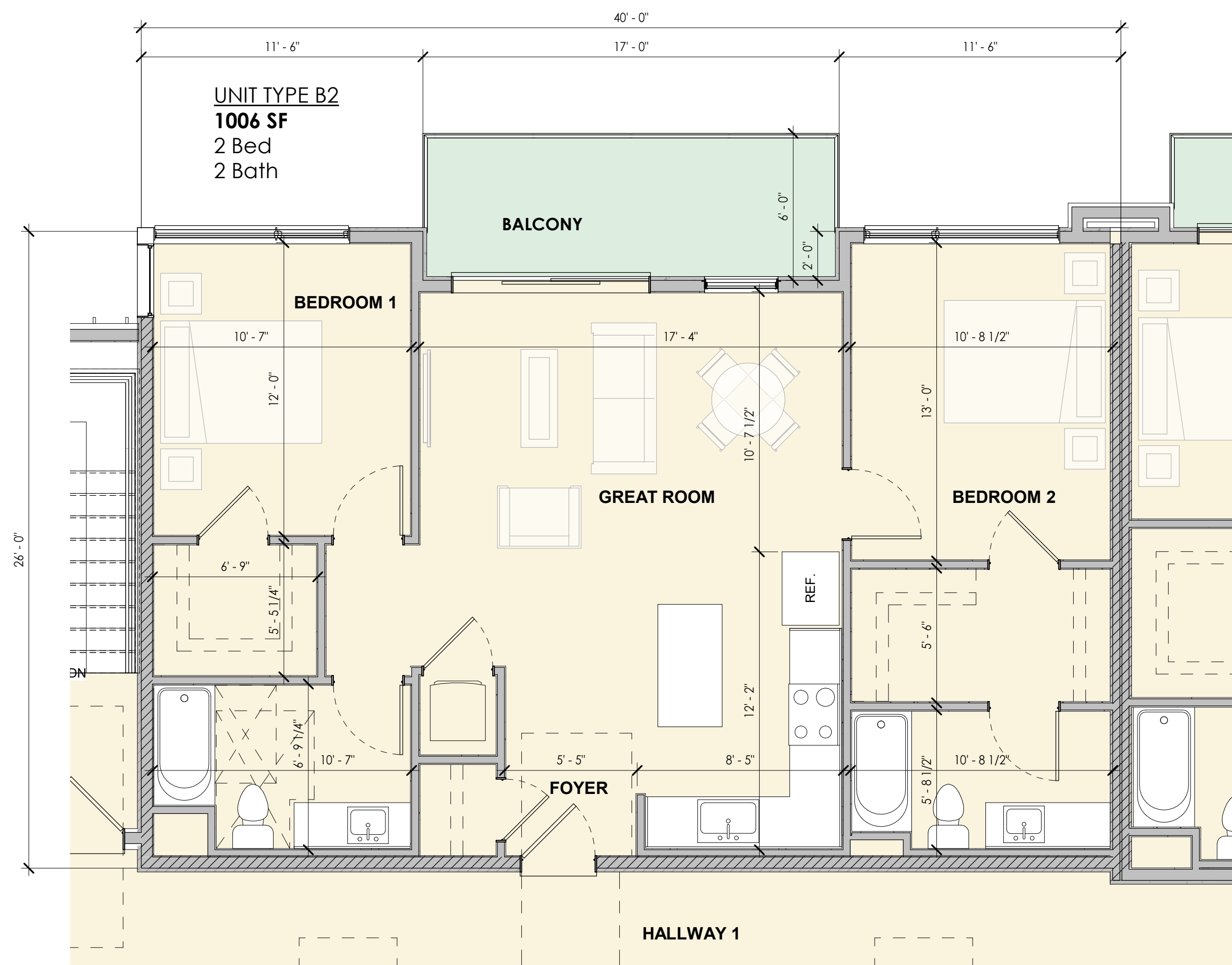




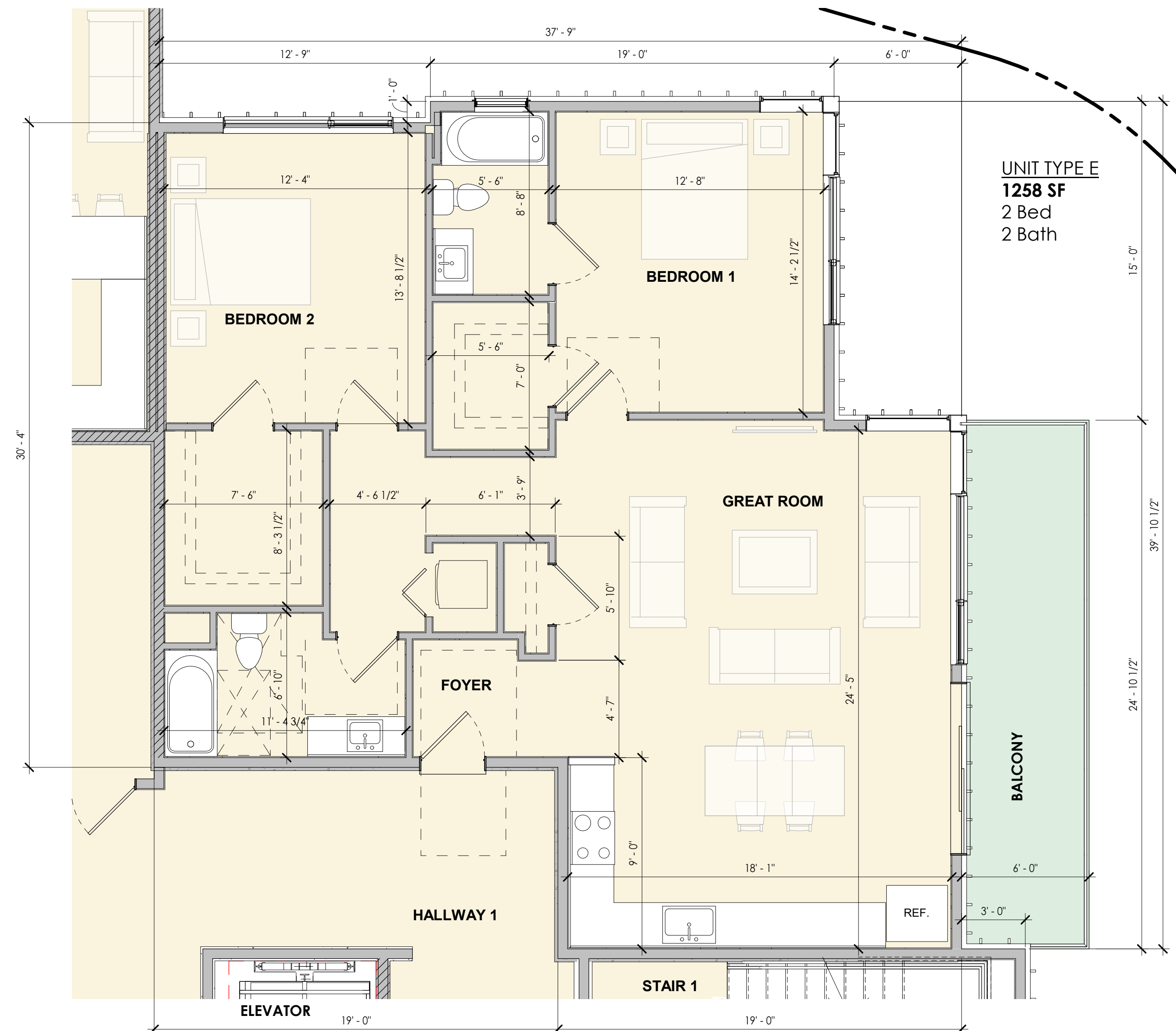
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2 Unit B1
1/4" = 1'-0"



1 Unit B2
1/4" = 1'-0"



4 Unit E
1/4" = 1'-0"

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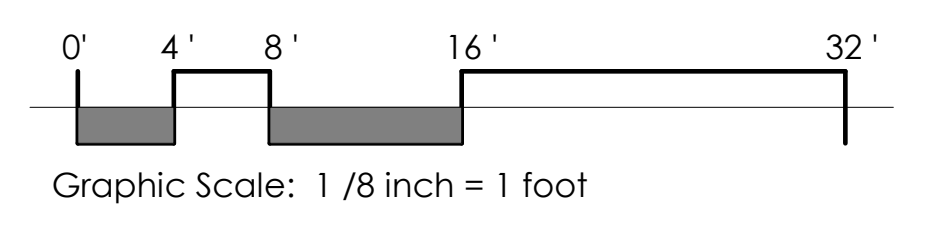
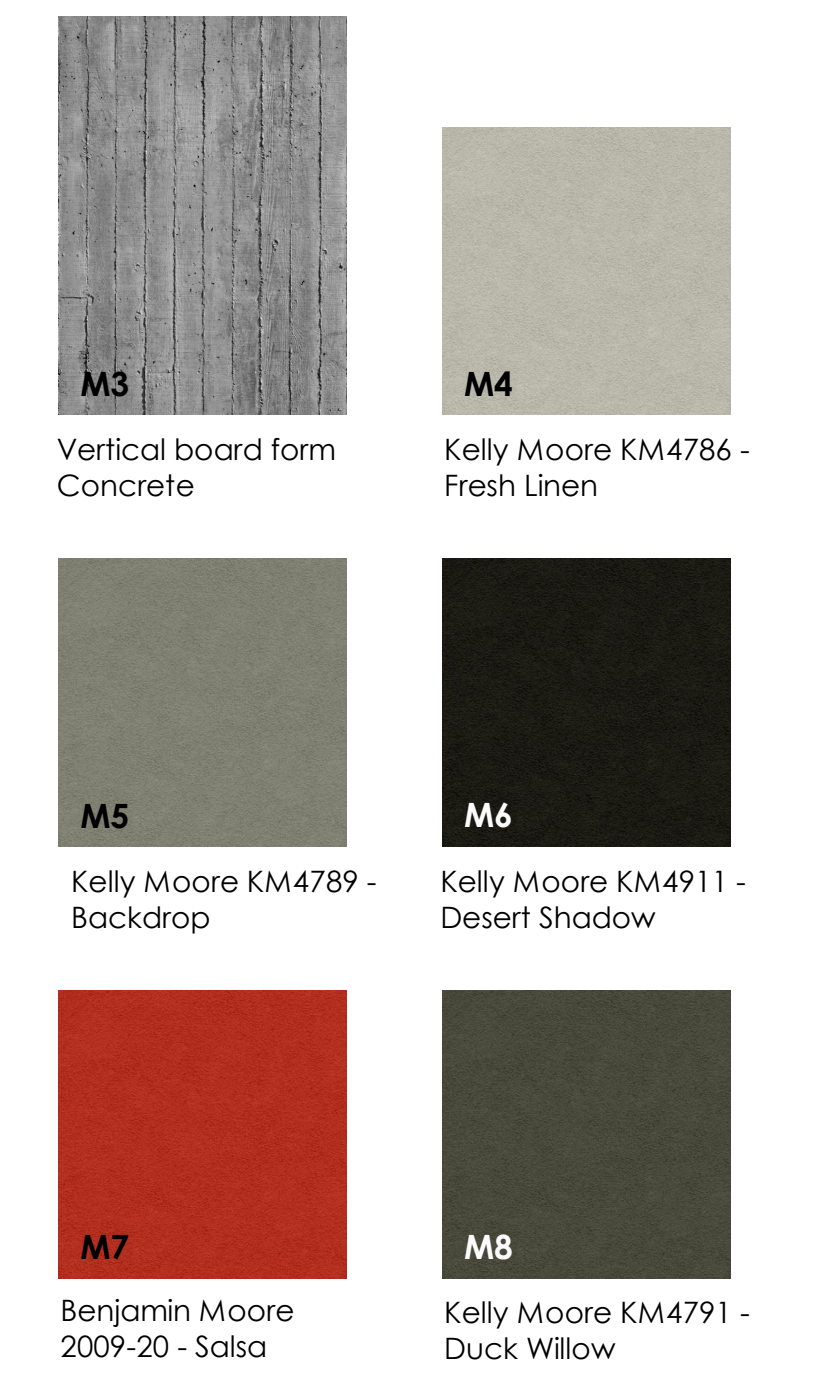
2 South
1/8" = 1'-0"

EXTERIOR COLOR/ MATERIAL SCHEDULE				
	MATERIALS / APPLICATION	CODE	COLOR	MANUFACTURER
ROOF	TPO ROOF	M1	SLATE GREY	FIRESTONE, OR EQUAL
	SOFFIT	M2	FRESH LINEN - KM4786	KELLY MOORE, OR EQ.
WALL	VERTICAL BOARD FORM CONC.	M3	NATURAL GREY	N/A
	4 TOP STUCCO - 20/20 SAND FINISH	M4	FRESH LINEN - KM4786	KELLY MOORE, OR EQ.
	STUCCO - 20/20 SAND FINISH	M5	BACKDROP - KM4789	KELLY MOORE, OR EQ.
	STUCCO - 20/20 SAND FINISH	M6	DESERT SHADOW KM4911	KELLY MOORE, OR EQ.
	STUCCO - 20/20 SAND FINISH	M7	SALSA BM 2009-20	BENJAMIN MOORE, OR EQ.
	4 TOSF STUCCO, TRIM, FASCIA	M8	DUCK WILLOW - KM4791	KELLY MOORE, OR EQ.
	16" VERTICAL PANELS	M9	MATTE BLACK	METAL SALES TL-20, OR EQ.
MISC.	FRENCH & SLIDER DOORS	M10	MIDNIGHT BRONZE	ANDERSEN, OR EQ.
	WINDOW FRAMES	M11	MIDNIGHT BRONZE	ANDERSEN, OR EQ.
DOOR/ WINDOW GLASS		M12	10E 366	CARDINAL, OR EQUAL
		M13	ACID ETCHED, OBSCURE GLASS	CARDINAL, OR EQUAL
DOOR/ WINDOW HARDWARE		M14	DARK BRONZE OR EQUAL	ANDERSEN, OR EQ.
	GREEN WALL SCREEN	M15	GREEN METAL MESH WITH PLANTING	GREENSCREEN, OR EQ.
EXTERIOR METAL, FASCIAS, GALVANIZED METAL ROUND DOWNSPOUTS, ADDRESS NUMBER, PARAPET CAP, MECHANICAL SCREEN		M16	Option 1: Steel sand blasted; Factory spray applied bonding of 3/32" aluminum (aluminized treatment); factory powder coated paint; fasteners are stainless steel or welds).	LOS GATOS IRON WORKS, OR EQUAL
		M16	Option 2: Steel sand blasted; Factory spray applied bonding of 3/32" aluminum (aluminized treatment); factory powder coated paint with colored rust texture (Cardinal BR47, or equal) to achieve brown colored rust patina); fasteners are stainless steel or welds).	
1 TOSF GLASS BLOCK		M17	KMA89-5 BLACK OAK	KELLY MOORE, OR EQUAL

* NOTES: EXACT COLORS TO BE VERIFIED w/ OWNER & ARCHITECT



1 North
1/8" = 1'-0"



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SHEET TITLE
NORTH & SOUTH ELEVATIONS

SHEET NUMBER
A4.1

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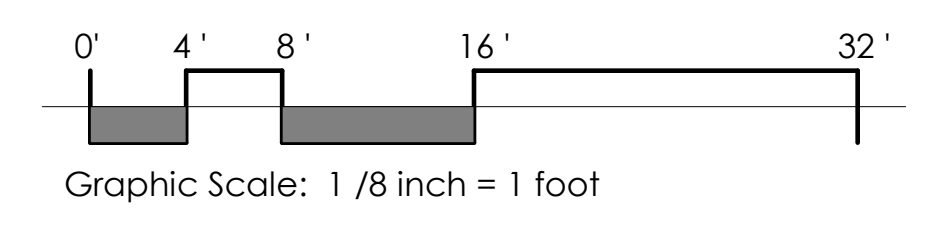
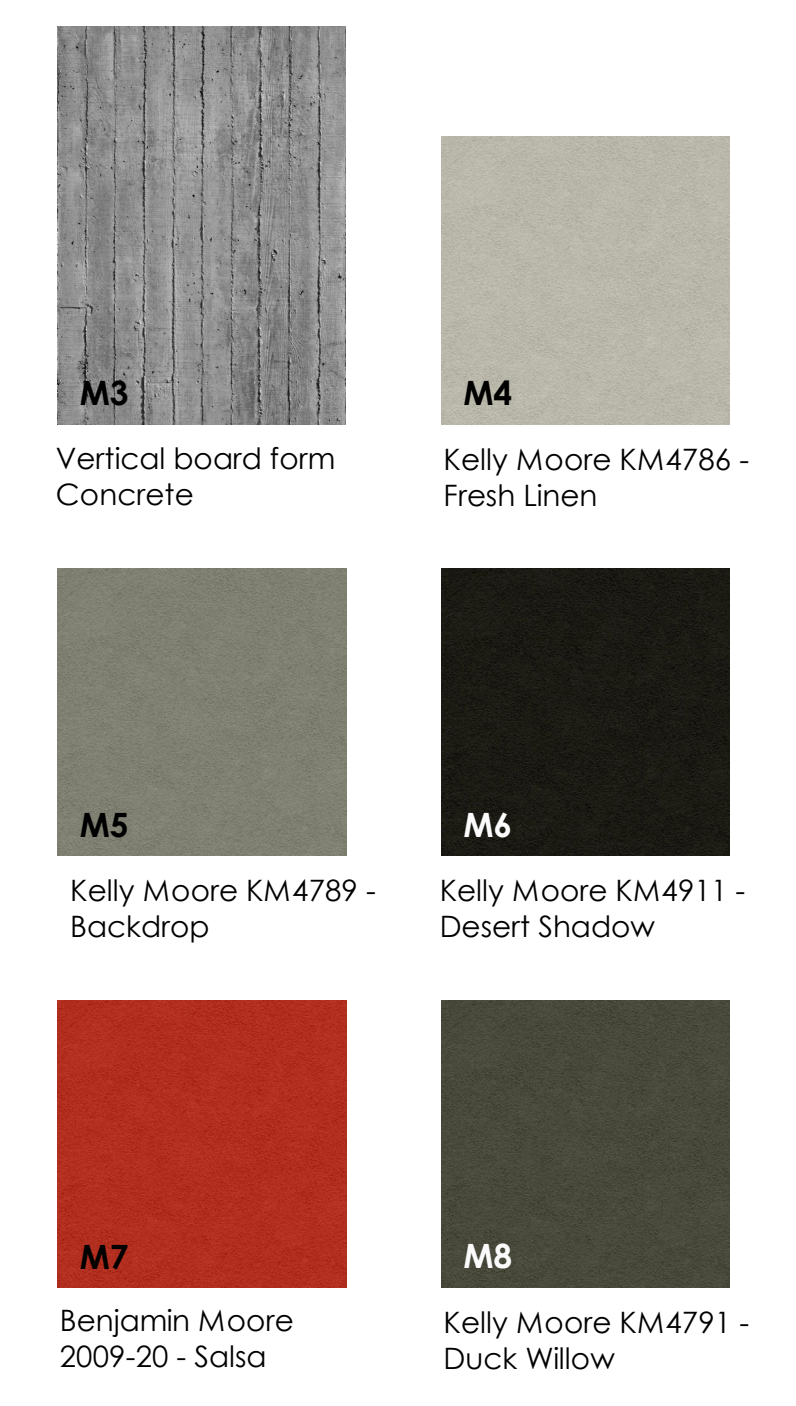
② West
1/8" = 1'-0"

EXTERIOR COLOR / MATERIAL SCHEDULE				
	MATERIALS / APPLICATION	CODE	COLOR	MANUFACTURER
ROOF	TPO ROOF	M1	SLATE GREY	FIRESTONE, OR EQUAL
	SOFFIT	M2	FRESH LINEN - KM4786	KELLY MOORE, OR EQ.
WALL	VERTICAL BOARD FORM CONC.	M3	NATURAL GREY	N/A
	STUCCO - 20/20 SAND FINISH	M4	FRESH LINEN - KM4786	KELLY MOORE, OR EQ.
	STUCCO - 20/20 SAND FINISH	M5	BACKDROP - KM4789	KELLY MOORE, OR EQ.
	STUCCO - 20/20 SAND FINISH	M6	DESERT SHADOW KM4911	KELLY MOORE, OR EQ.
	STUCCO - 20/20 SAND FINISH	M7	SALSA BM 2009-20	BENJAMIN MOORE, OR EQ.
	STUCCO, TRIM, FASCIA	M8	DUCK WILLOW - KM4791	KELLY MOORE, OR EQ.
	16" VERTICAL PANELS	M9	MATTE BLACK	METAL SALES TL-20, OR EQ.
MISC.	FRENCH & SLIDER DOORS	M10	MIDNIGHT BRONZE	ANDERSEN, OR EQ.
	WINDOW FRAMES	M11	MIDNIGHT BRONZE	ANDERSEN, OR EQ.
	DOOR/ WINDOW GLASS	M12	LoE 366	CARDINAL, OR EQUAL
	DOOR/ WINDOW GLASS	M13	ACID ETCHED, OBSCURE GLASS	CARDINAL, OR EQUAL
	DOOR/ WINDOW HARDWARE	M14	MIDNIGHT BRONZE OR EQUAL	ANDERSEN, OR EQ.
	GREEN WALL SCREEN	M15	GREEN METAL MESH WITH PLANTING	GREENSCREEN, OR EQ.
	EXTERIOR METAL, FASCIAS, GALVANIZED METAL ROUND DOWNSPOUTS, ADDRESS NUMBER, PARAPET CAP, MECHANICAL SCREEN	M16	Option 1: Steel sand blasted; Factory spray applied bonding of 3/32" aluminum (aluminized treatment); factory powder coated paint; fasteners are stainless steel or welds).	LOS GATOS IRON WORKS, OR EQUAL
		M17	Option 2: Steel sand blasted; Factory spray applied bonding of 3/32" aluminum (aluminized treatment); factory powder coated paint with colored rust texture [Cardinal BR47, or equal] to achieve brown colored rust patina; fasteners are stainless steel or welds).	KELLY MOORE, OR EQUAL
	GLASS BLOCK	M17	TOSS	
		M17	TOSS	

* NOTES: EXACT COLORS TO BE VERIFIED W/ OWNER & ARCHITECT



① East
1/8" = 1'-0"



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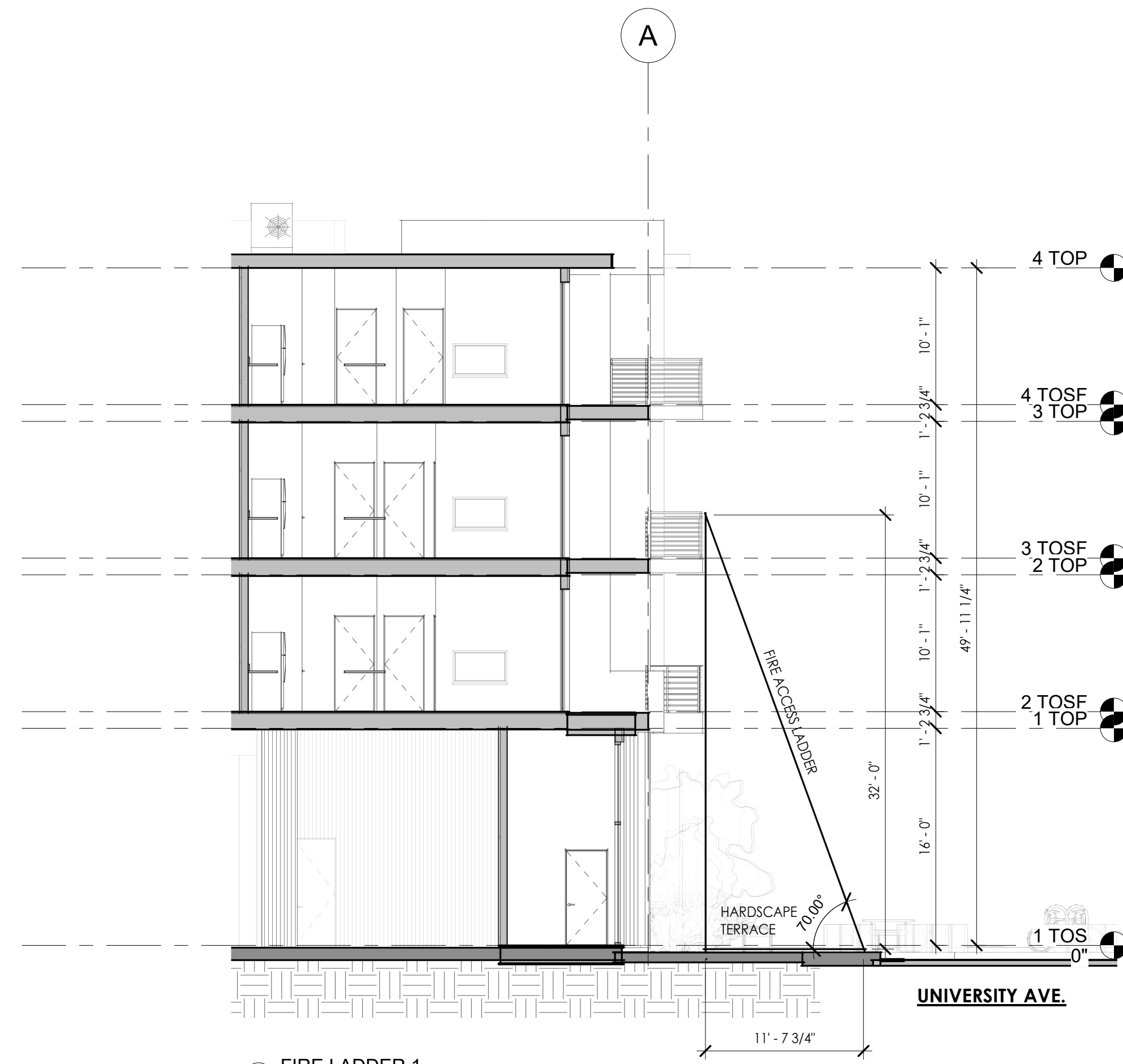
UNIVERSITY CORNER
EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
EAST & WEST ELEVATIONS

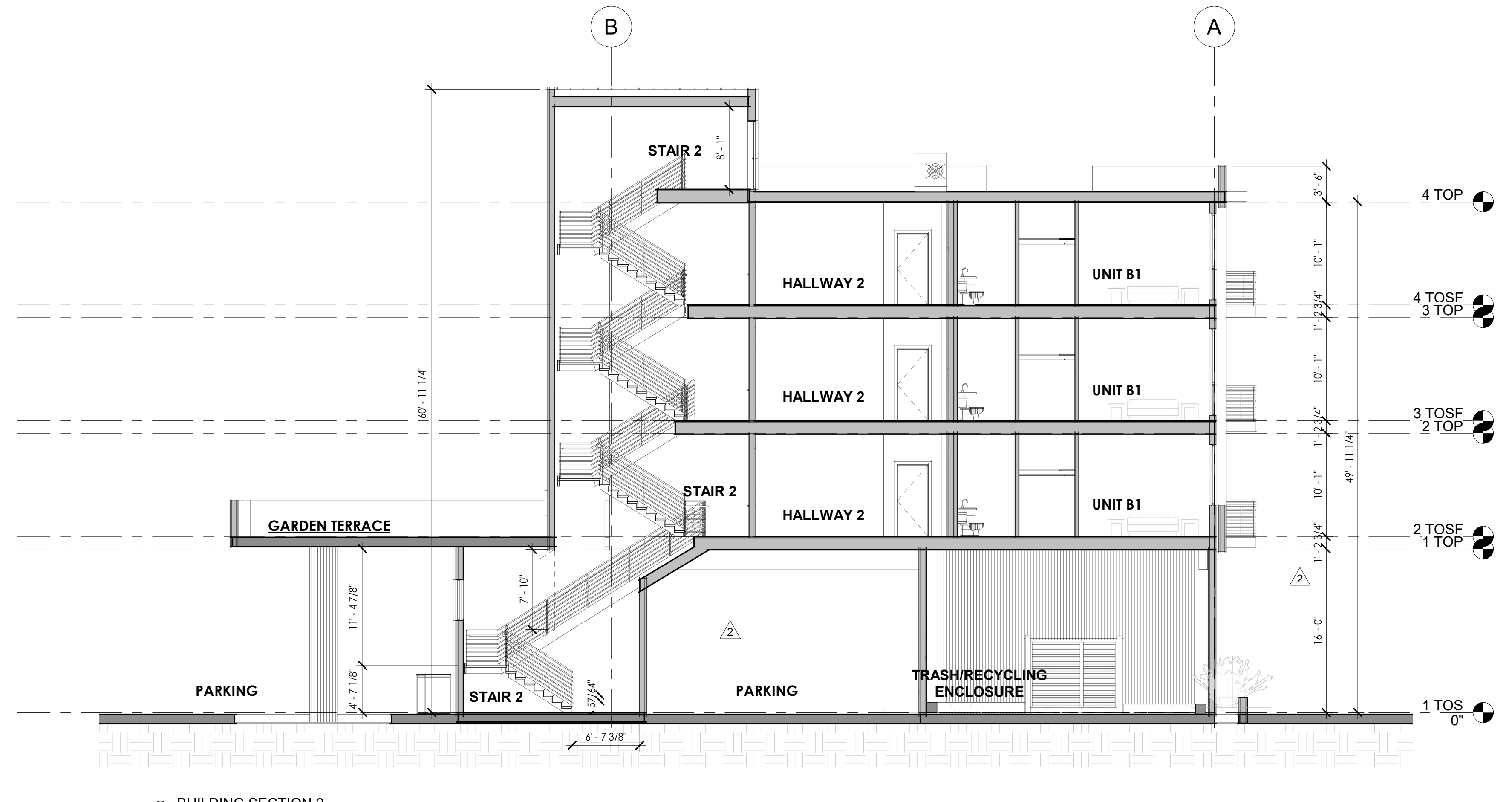
SHEET NUMBER
A4.2

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③ FIRE LADDER 1
1/8" = 1'-0"

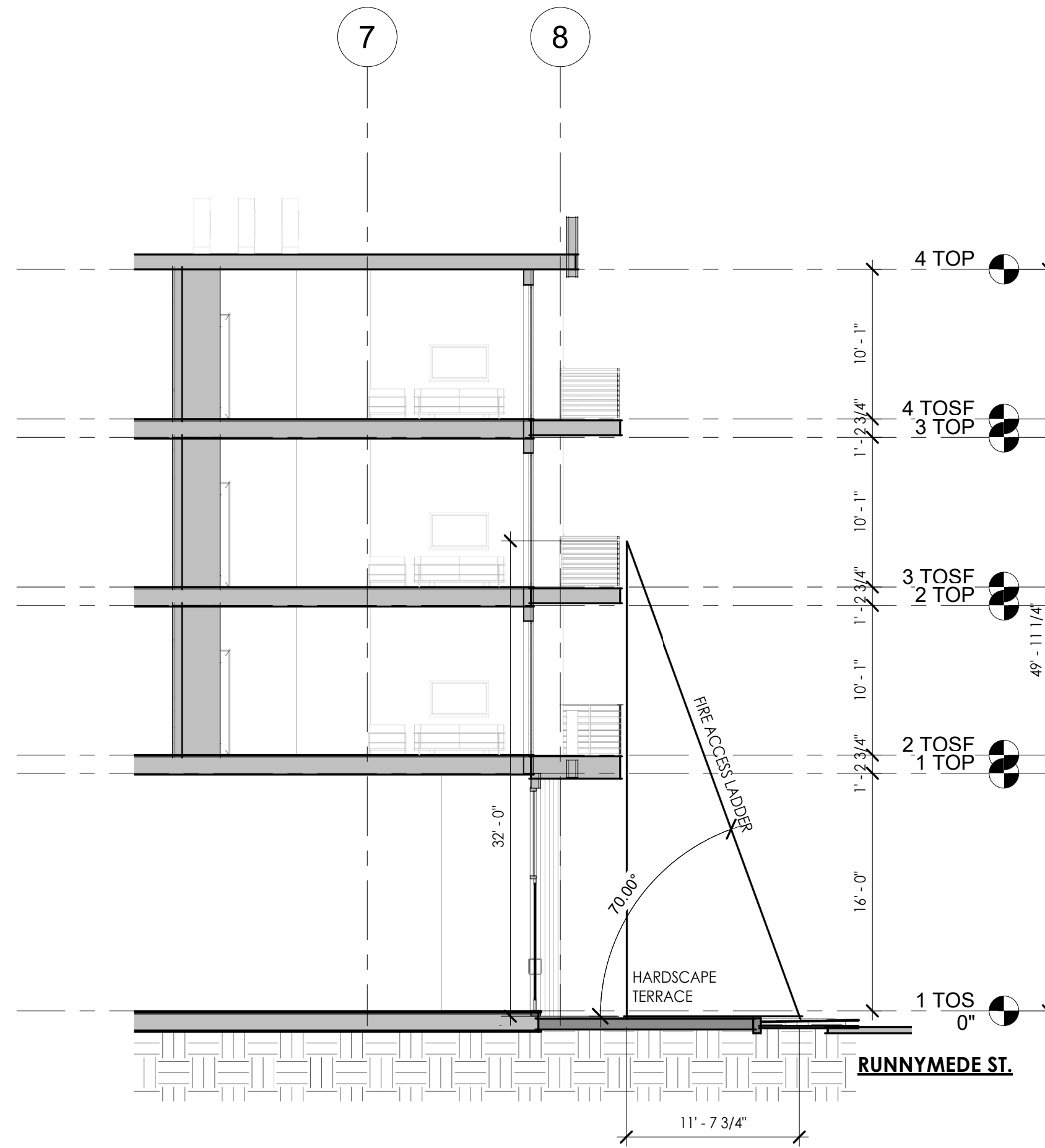


② BUILDING SECTION 2
1/8" = 1'-0"

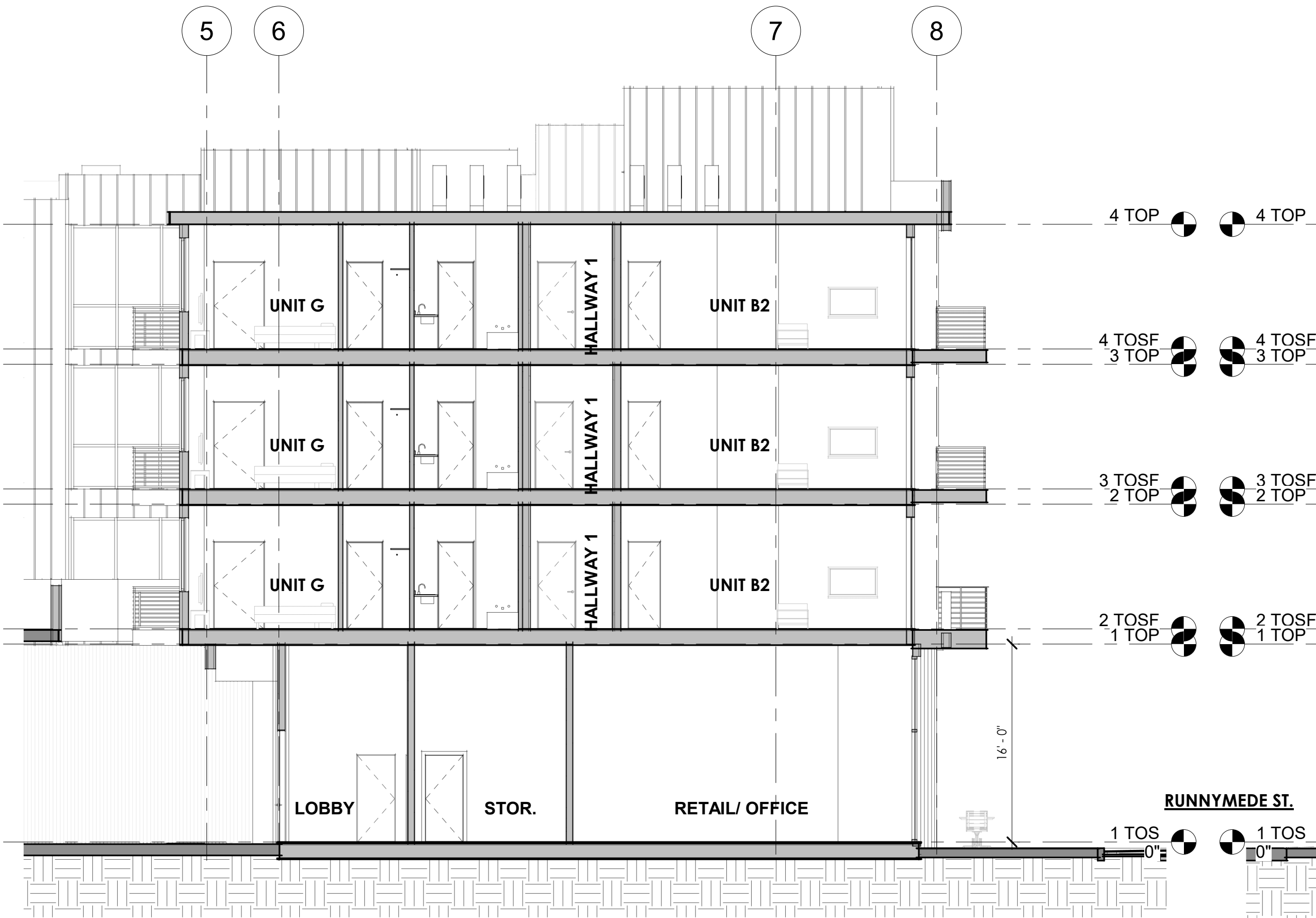


① BUILDING SECTION 1
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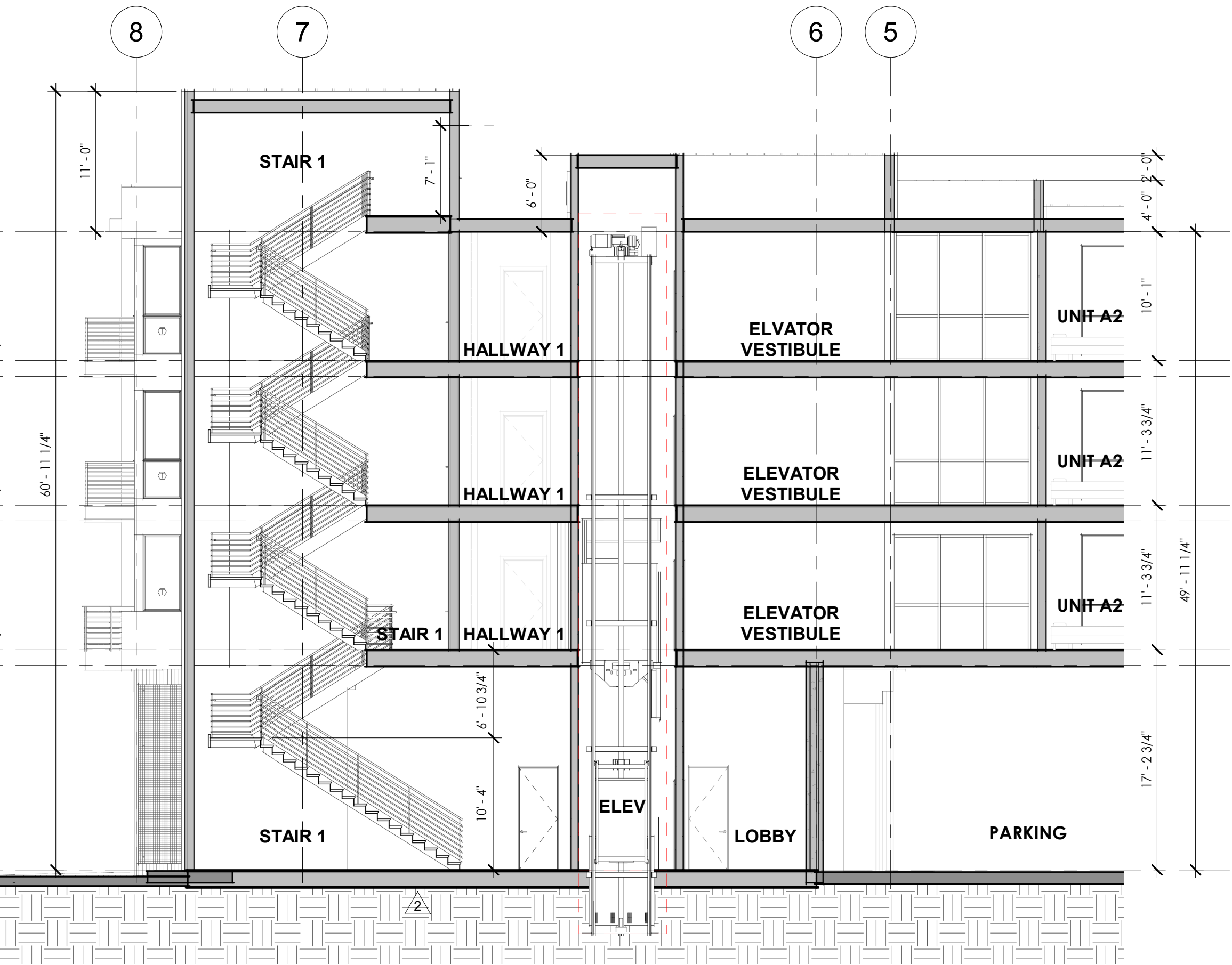
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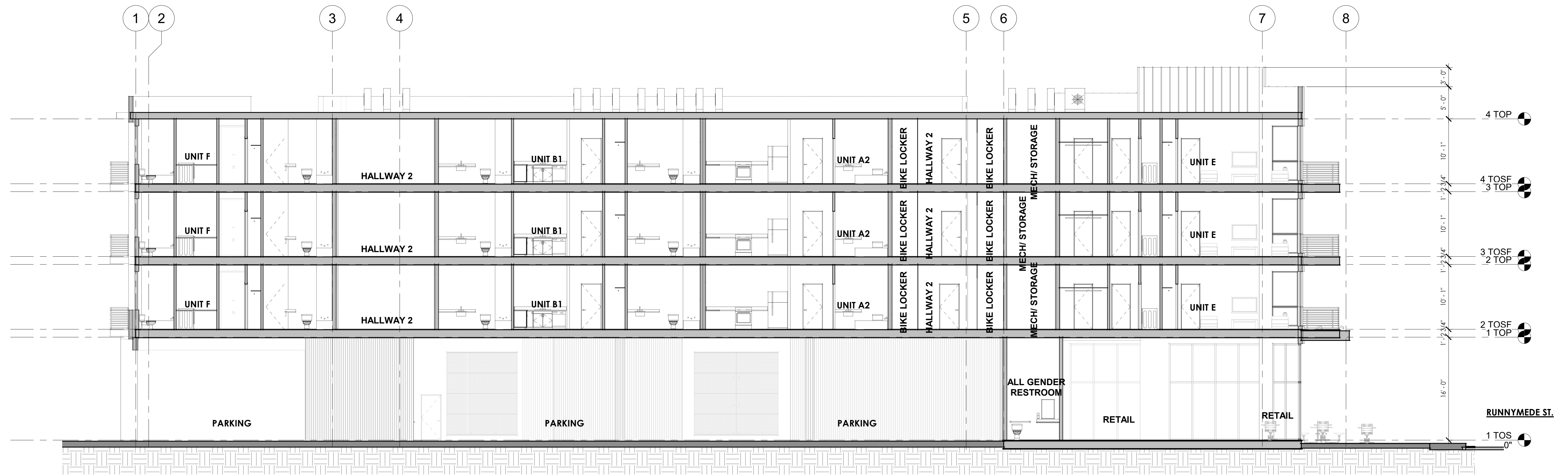
3 FIRE LADDER 2
1/8" = 1'-0"



4 BUILDING SECTION 5
1/8" = 1'-0"



2 BUILDING SECTION 4
1/8" = 1'-0"



1 BUILDING SECTION 3
1/8" = 1'-0"

1/10/2020 10:26:24 AM



TPO ROOFING WHITE REFLECTIVE



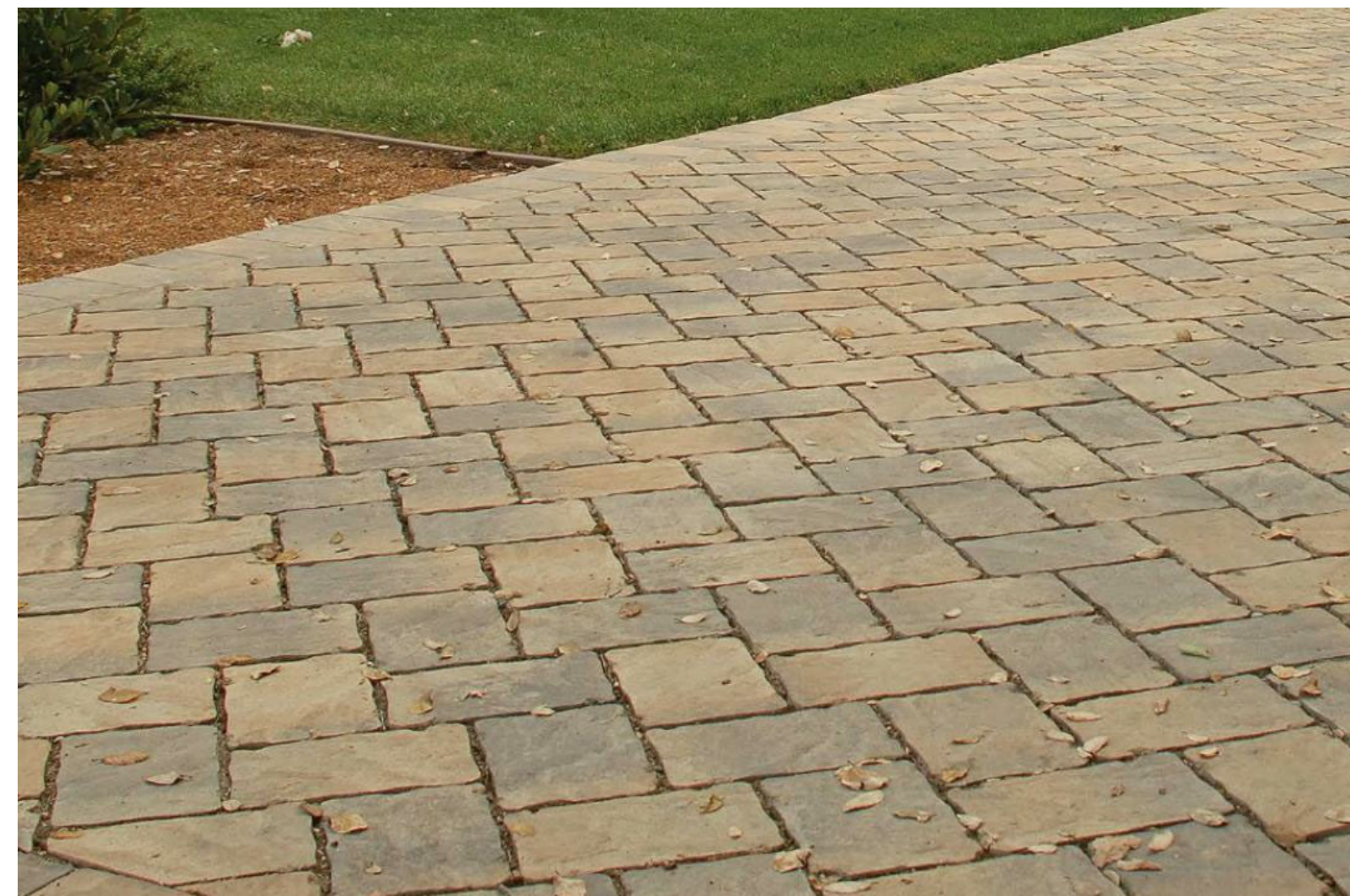
DOORS - SLIDING, FRENCH; WINDOWS - CASEMENT, FIXED, CORNER - ANDERSEN OR EQ.



DARK BRONZE



LIVING GREEN WALL



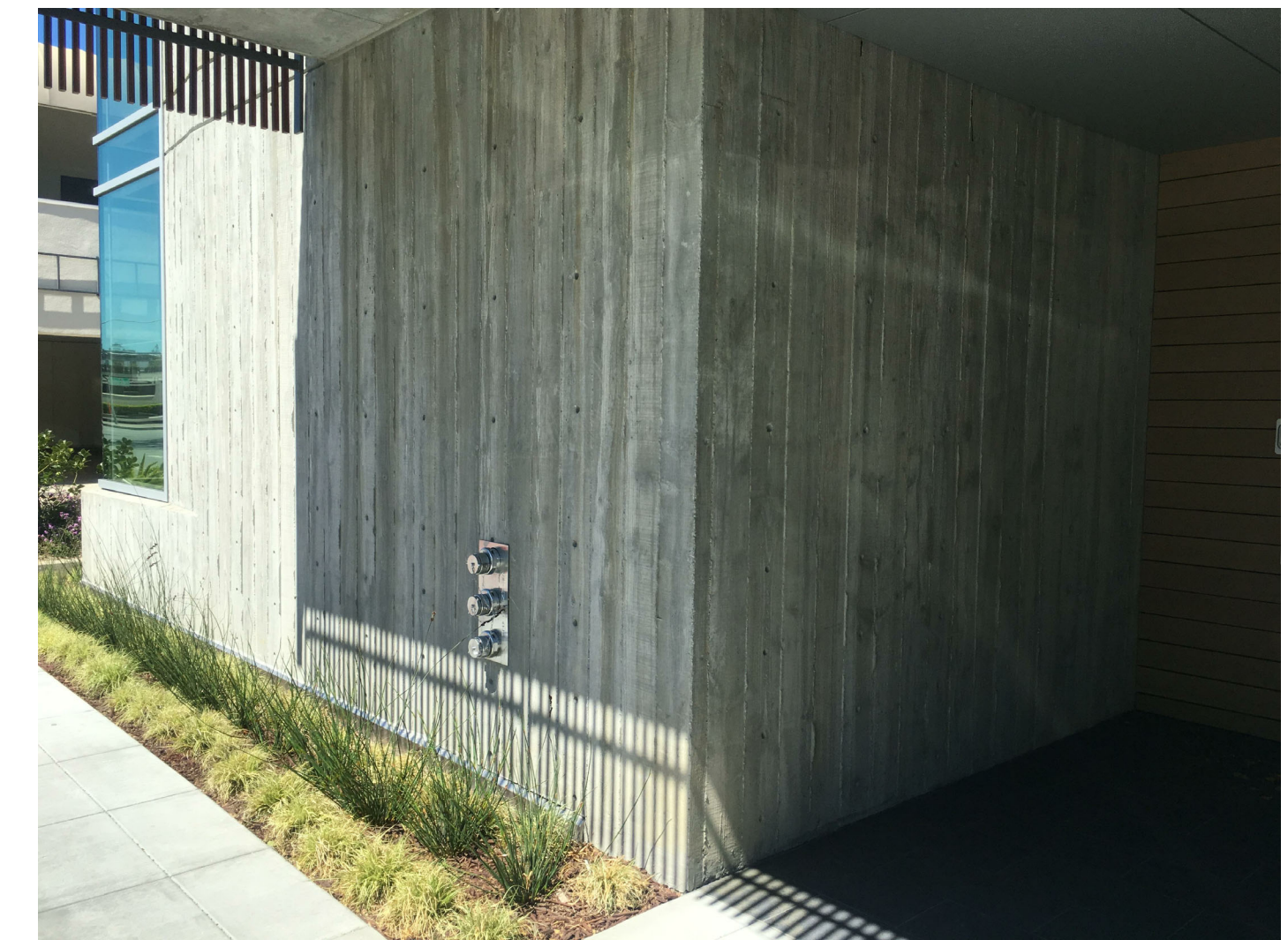
PERMEABLE PAVERS - CALTONE OR EQ. RUSTIC YELLOW



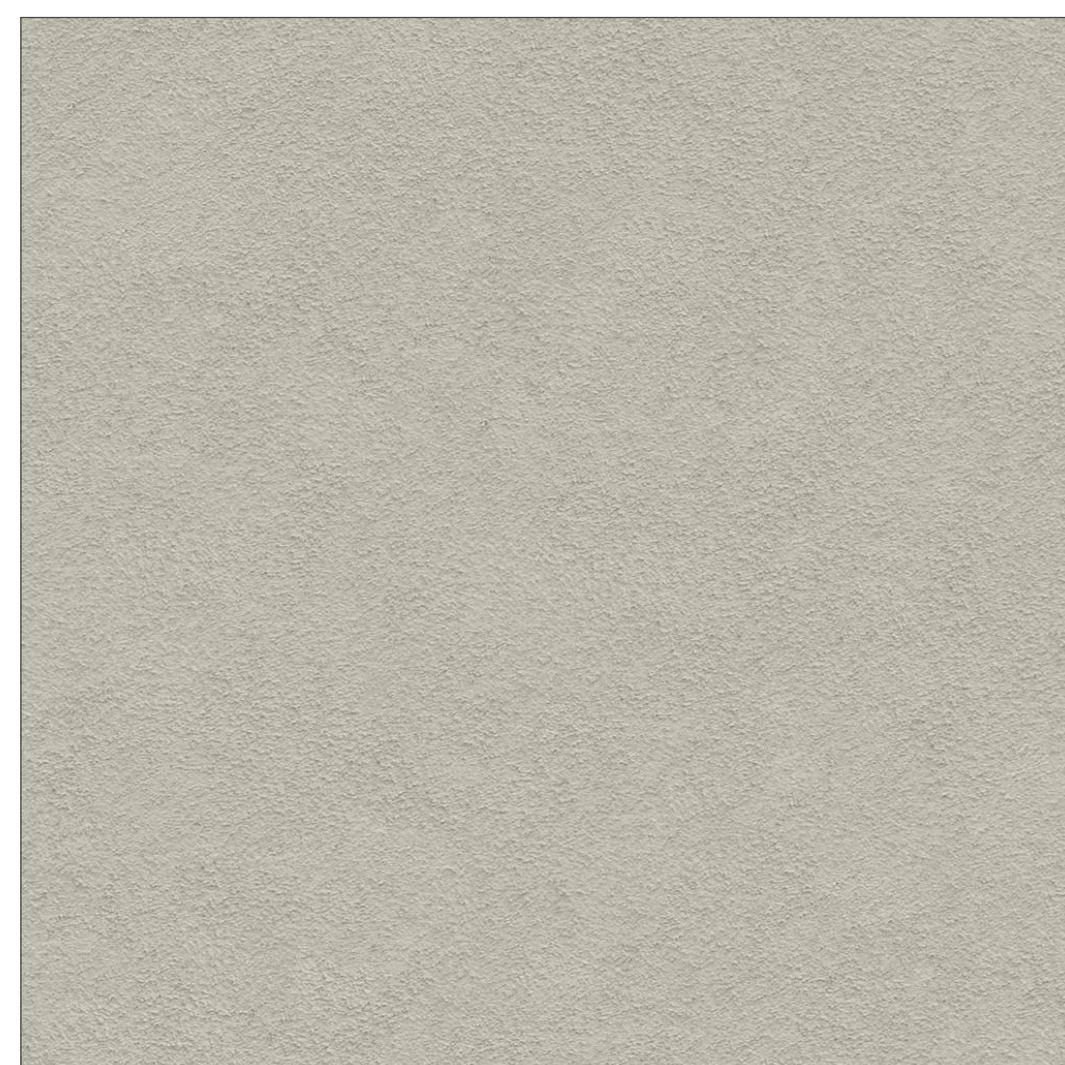
METAL FLAT BAR RAILINGS KM DESERT SHADOW



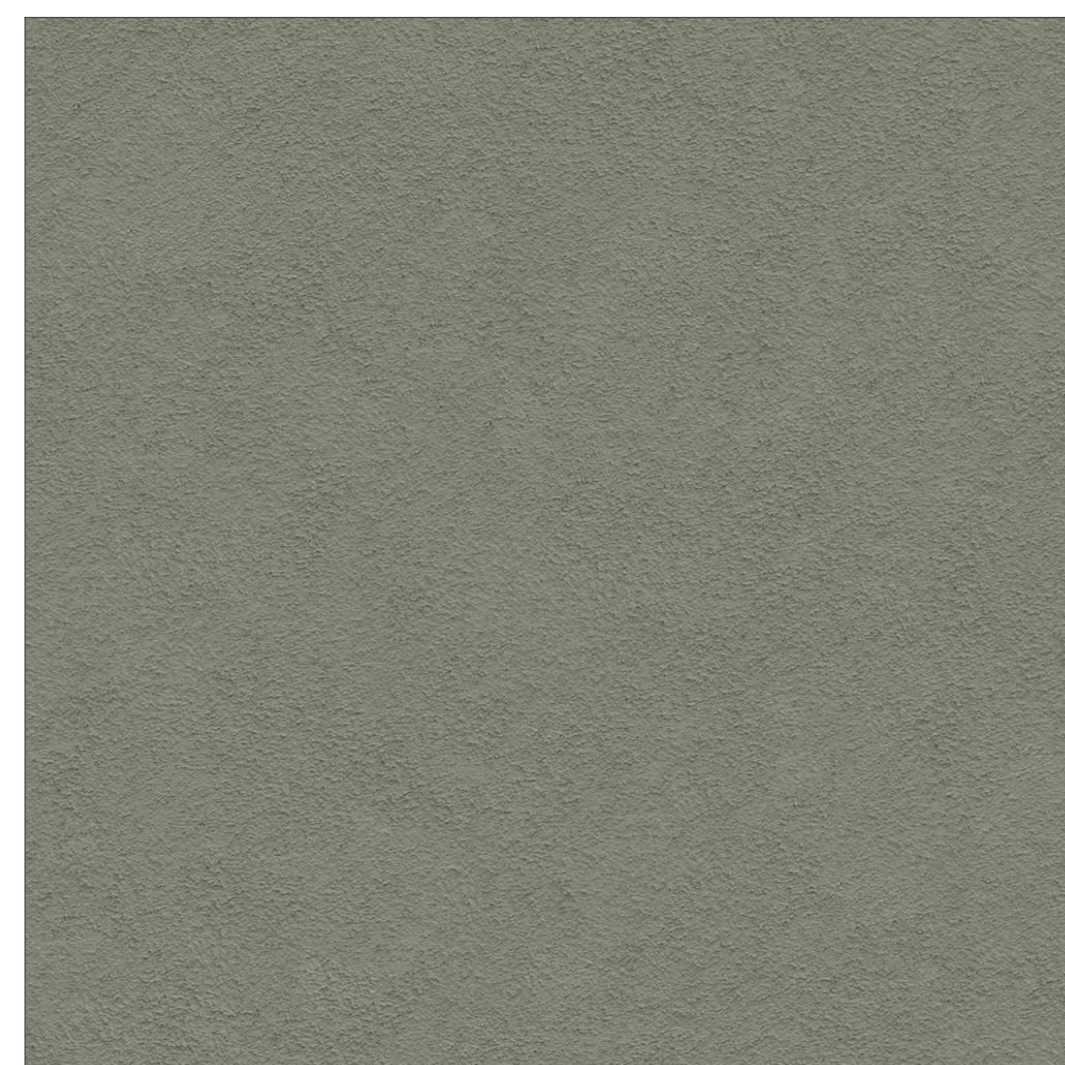
16" METAL SIDING PANELS - METAL SALES OR EQ. MATTE BLACK 106



VERTICAL BOARD FORMED CONCRETE NATURAL GRAY



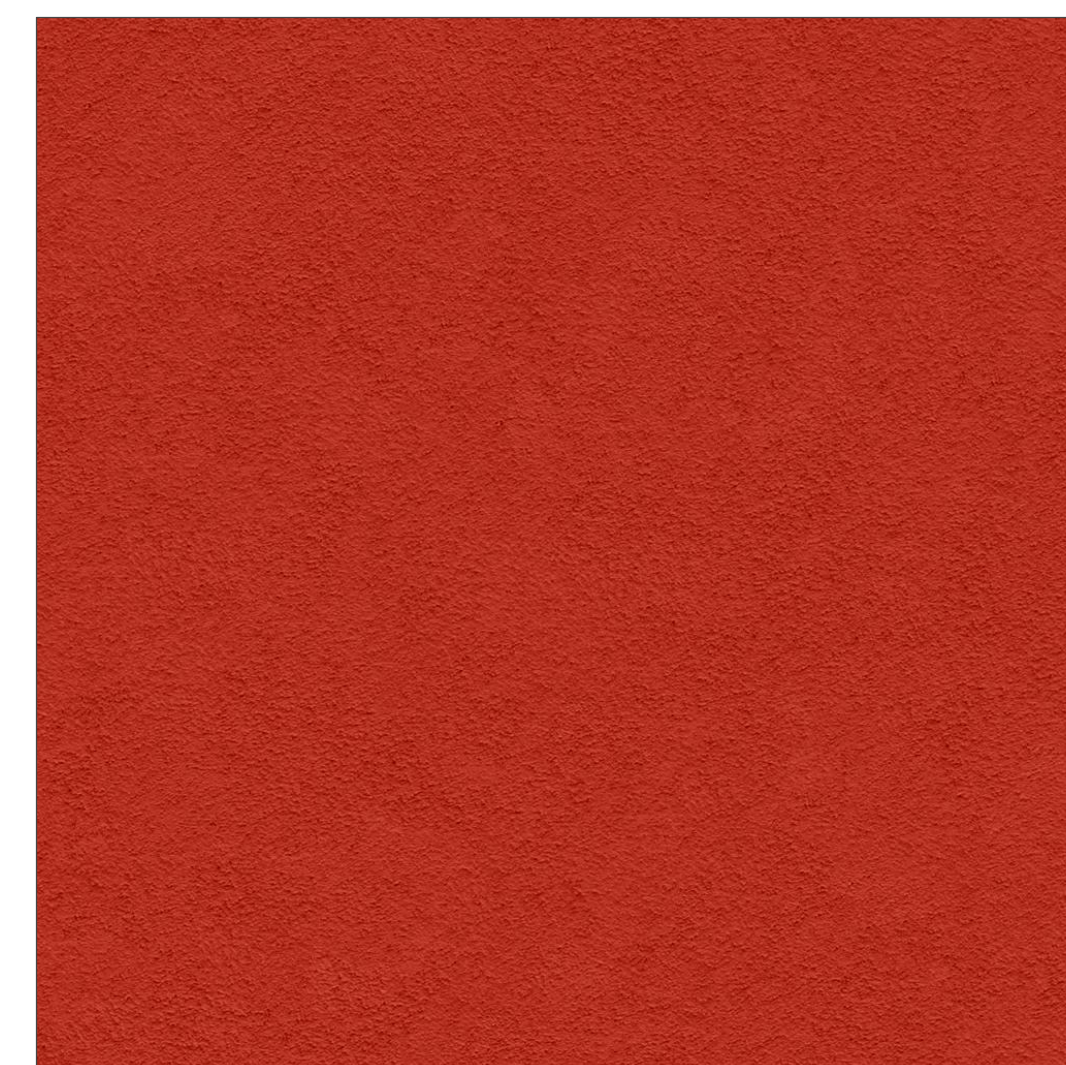
STUCCO FRESH LINEN - KM4786



STUCCO BACKDROP - KM4789



STUCCO, FASCIA, TRIM - DUCK WILLOW - KM4791

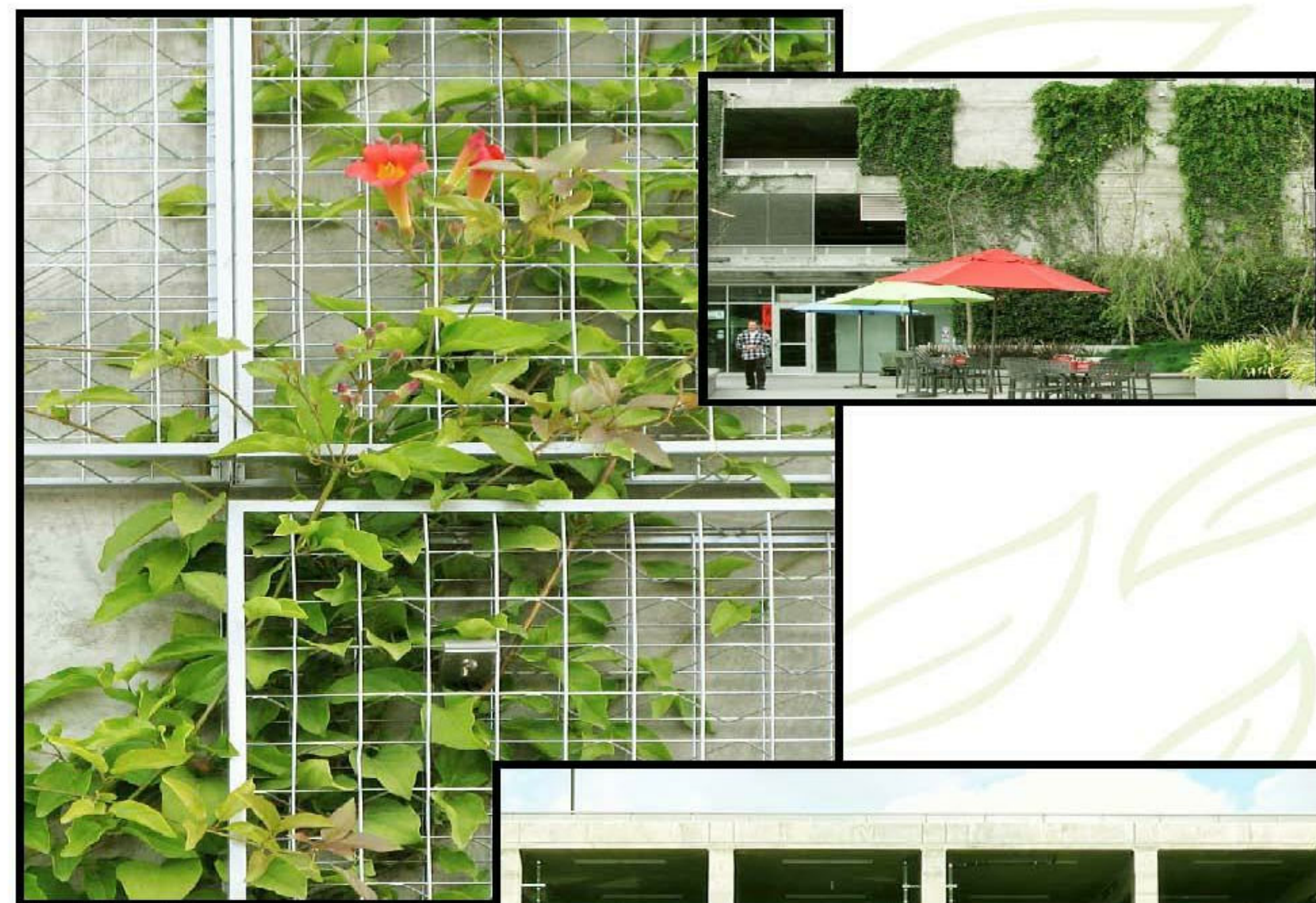


STUCCO ACCENT SALSA - BM 2009-20



STUCCO DESERT SHADOW - KM4911

1/10/2020 10:26:30 AM



Royal Trumpet Vine

Horizon at Playa Vista - Playa Vista, CA
A custom pattern of wall mounted greenscreen® panels is used to describe a sophisticated visual texture on the surface of parking and store entries serving a multi-building office cluster.



Hardiness Zone 10b



1743 S. LA CIENEGA BLVD. LOS ANGELES, CA. 90035 T - 800.450.3494 www.greenscreen.com



Hardiness Zone 9b

Central Bus - Seattle, WA
greenscreen® panels are mounted to a steel frame with a simple attachment clip, producing a green facade trellis structure for a variety of vines that will shade this south building exposure.



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Eastern Village CoHousing - Silver Spring, MD
greenscreen® panels mounted to balconies are also connected vertically to the roof garden on this four story residential building. Two plant species grow intertwined from the planting beds at the building front.



Five Leaf Akebia and Honeyuckie Hardiness Zone 7a



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Star/Jacqueline Jasmine

Hardiness Zone 9a

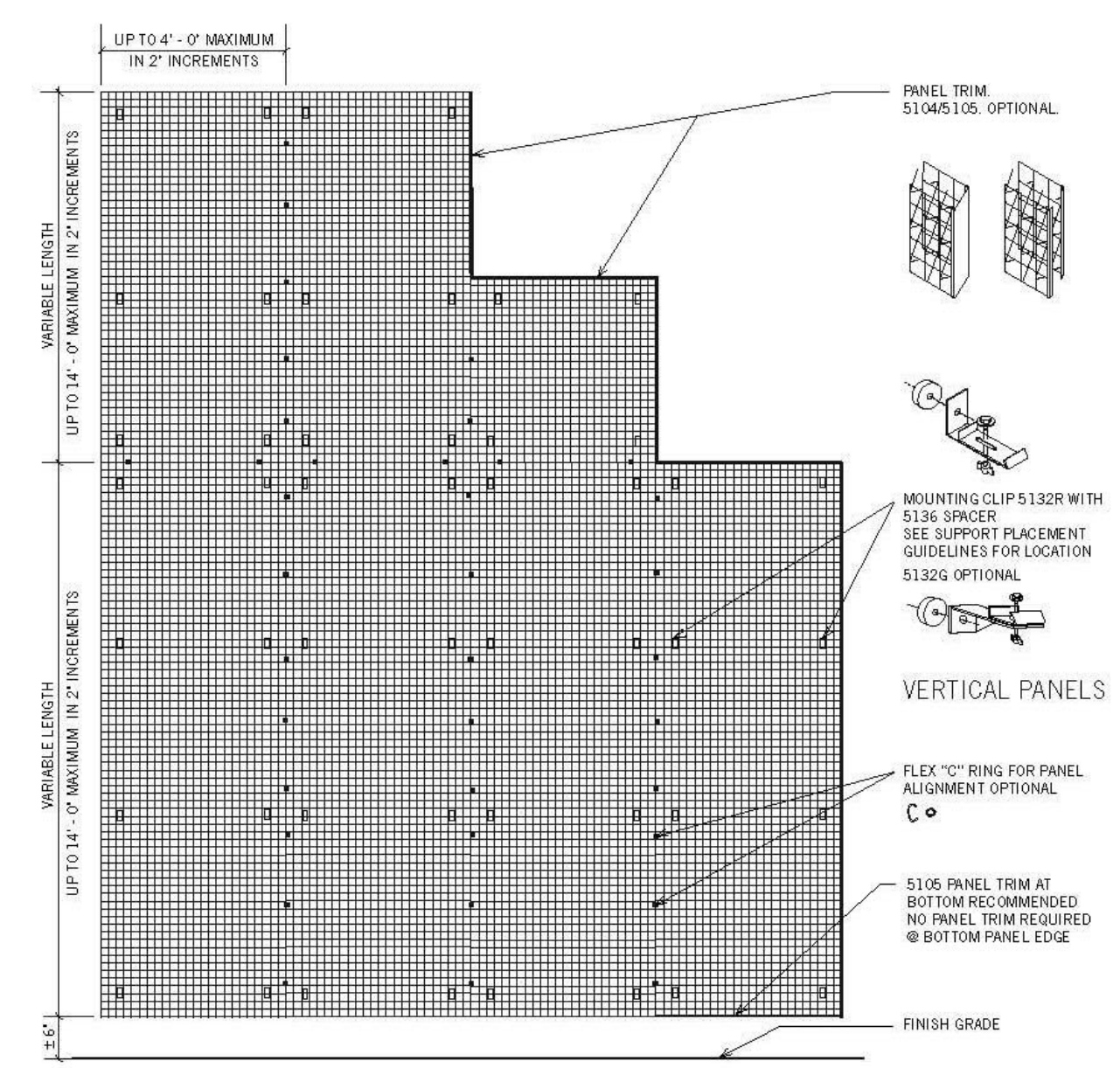
Houston Memorial Hospital - Houston, TX
Tall sections of greenscreen® wall mounted panels fill with evergreen Star Jasmine at the parking structure adjacent to the hospital.



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mounting options

Wall Mounted
This example showing multiple modular panels in a wall hung application references typical trims and clips from our Accessory Items list. Combine custom screen sizes and profiles for your own unique greenscreen®.



Mounting Options WALL MOUNTED

greenscreen® 1743 S. La Cienega Blvd. Los Angeles CA 90035 T - 800.450.3494 www.greenscreen.com

1/10/2020 10:26:31 AM

HD-9STX



Four-Post Lifts
SKU# 5175862
9,000-lb. Capacity, Four-Post Lift / Narrow Width / High Lift

Questions? Contact BendPak's Sales Team
sales@bendpak.com | 1-800-253-2363
Monday - Friday, 7AM to 4:30PM PST

More Height and Narrow Body

The HD-9STX is your 9,000-lb. rugged **four-post lift** solution for when you need get something heavy and high, but you don't have room to spare on the sides. Perfect for vehicle storage and service in shops and garages with higher ceilings. Whether you're a service professional or a DIY'er, BendPak's got the right lift for you. This model is available with optional casters, drip-trays, jack platform and more.



HD-9 Series Lifts

SKU#	Model	Description
5175859	HD-9XL	Standard Width / Extended Length
5175860	HD-9ST	Narrow Width
5175861	HD-9	Standard Width
5175863	HD-9XW	Standard Width / High Lift

Features

- CE Approved and Certified. Meets or exceeds the standards prescribed by European Standard EN-1493
- Freestanding design
- Perfect for parking, storage and service
- Runways accommodate narrow and standard vehicles
- Runways include rail-kit for optional accessories
- Single hydraulic cylinder mounted underneath runway
- Fully enclosed lifting cables, safety locks and sheaves
- Internal anti-sway slider blocks in each column
- Oversized self-lubricating cable rollers
- Heavy-duty 3/8" aircraft cable and 1.25" roller axles
- Runways feature non-skid surface
- Push-button pneumatic safety release
- Independent backup slack-cable safety latches
- Customizable power unit location
- Removable approach ramps
- Longer approach ramps for low-clearance vehicles
- Optional drive-thru ramps available
- Optional drip trays available
- Optional solid deck available to increase storage capacity
- Optional 4,500-lb. air / hydraulic rolling jacks available
- ETL Approved

Dual-hub cable sheaves
Dual-hub cable sheaves are more expensive to manufacture, but it's not a cost we push back onto you. They're necessary to prevent axles, sheaves and cables from burning out before they should. Our philosophy is that your car lift should be the last thing you worry about first thing in the morning.

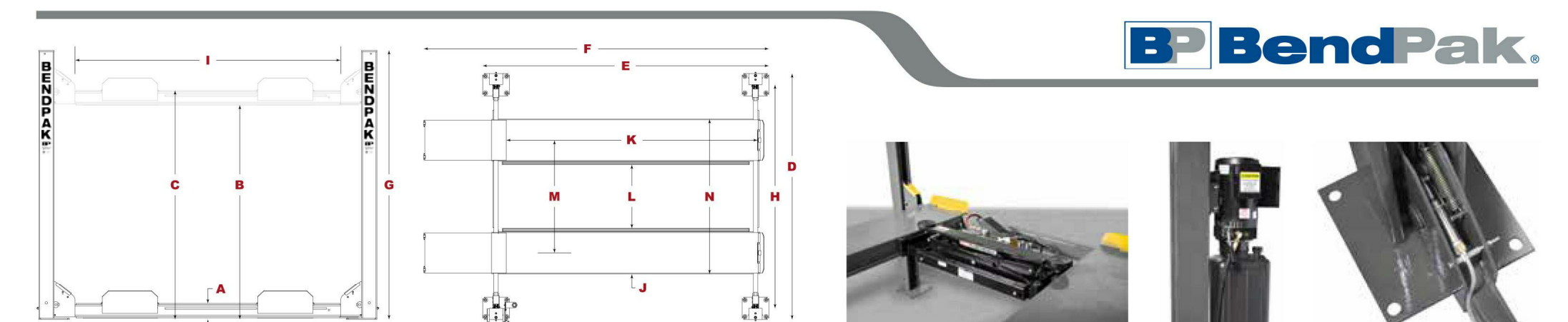
Multi-level locking positions
Unique service technicians require unique servicing positions; with the HD-9, you can safely lock your four-post car lift at varied heights, so you're never crouching or reaching uncomfortably to perform auto maintenance. If you're raising the lift for parking purposes, that variation is going to come in handy, depending on how you stack your vehicles.

Heavy-duty aircraft cable
Each four-post lift comes with four lifting cables made from superior-grade stainless steel. Each individual cable is rated to handle 14,400 lbs. This makes their combined rating over 640% of the total capacity. These cables are hidden within the post columns for both the safety and overall streamlined look of the lift.

Note: An air supply (minimum 30 psi / 3 CFM) is required for the safety-lock mechanisms to disengage. It is solely the responsibility of the end-user to provide, install and maintain the air supply.

*Not all BendPak lift models meet the standards as prescribed by ANSI/LI ALCTV-2017 or ANSI/LI 201. Consult www.autolift.org for a complete list or contact BendPak via contact@bendpak.com.

1645 Lemonwood Drive, Santa Paula, CA 93060 USA • Toll-free 1-800-253-2363 • Fax 1-805-933-9160
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Model	HD-9XL	HD-9ST	HD-9	HD-9STX	HD-9XW
Style	Standard Width / Ext. Length	Narrow Width	Standard Width	Narrow / High Lift	Standard Width / High Lift
SKU#	5175859	5175860	5175861	5175862	5175863
Lifting Capacity	9,000 lbs. (4,082 kg)	9,000 lbs. (4,082 kg)	9,000 lbs. (4,082 kg)	9,000 lbs. (4,082 kg)	9,000 lbs. (4,082 kg)
A - Min. Runway Height	4.5" (114 mm)	4.5" (114 mm)	4.5" (114 mm)	4.5" (114 mm)	4.5" (114 mm)
B - Max. Rise	70" (1,778 mm)	70" (1,778 mm)	70" (1,778 mm)	82" (2,083 mm)	82" (2,083 mm)
C - Max. Lifting Height	74.5" (1,892 mm)	74.5" (1,892 mm)	74.5" (1,892 mm)	86.5" (2,197 mm)	86.5" (2,197 mm)
D - Overall Width	110.25" (2,800 mm)	100.25" (2,546 mm)	110.25" (2,800 mm)	100.25" (2,546 mm)	110.25" (2,800 mm)
E - Outside Length	198" (5,029 mm)	174" (4,420 mm)	174" (4,420 mm)	198" (5,029 mm)	198" (5,029 mm)
F - Overall Length	224" (5,690 mm)	200" (5,080 mm)	200" (5,080 mm)	224" (5,690 mm)	224" (5,690 mm)
G - Height of Columns	88" (2,235 mm)	88" (2,235 mm)	88" (2,235 mm)	100" (2,540 mm)	100" (2,540 mm)
H - Width Between Columns	100.25" (2,555 mm)	89.75" (2,280 mm)	100.25" (2,555 mm)	89.75" (2,280 mm)	100.25" (2,555 mm)
I - Drive-Thru Clearance	86.5" (2,197 mm)	76.5" (1,943 mm)	86.5" (2,197 mm)	76.5" (1,943 mm)	86.5" (2,197 mm)
J - Runway Width	19" (483 mm)	19" (483 mm)	19" (483 mm)	19" (483 mm)	19" (483 mm)
K - Length of Runways	188" (4,775 mm)	164" (4,166 mm)	164" (4,166 mm)	188" (4,775 mm)	188" (4,775 mm)
L - Width Between Runways	37.5" (952 mm) - 44-3/8" (1,127 mm)	37.5" (952 mm)	37.5" (952 mm) - 44-3/8" (1,127 mm)	37.5" (952 mm)	37.5" (952 mm) - 44-3/8" (1,127 mm)
M - Runway Centerline	56.5" (1,435 mm) - 63-3/8" (1,610 mm)	56.5" (1,435 mm)	56.5" (1,435 mm) - 63-3/8" (1,610 mm)	56.5" (1,435 mm) - 63-3/8" (1,610 mm)	56.5" (1,435 mm) - 63-3/8" (1,610 mm)
N - Outside Edge of Runways	75.5" (1,918 mm) - 82-3/8" (2,092 mm)	75.5" (1,918 mm)	75.5" (1,918 mm) - 82-3/8" (2,092 mm)	75.5" (1,918 mm)	75.5" (1,918 mm) - 82-3/8" (2,092 mm)
Min Wheelbase @ Capacity	135" (3,429 mm)	115" (2,921 mm)	115" (2,921 mm)	135" (3,429 mm)	135" (3,429 mm)
Min Wheelbase @ 75%	115" (2,921 mm)	100" (2,540 mm)	100" (2,540 mm)	115" (2,921 mm)	115" (2,921 mm)
Min Wheelbase @ 50%	95" (2,413 mm)	85" (2,159 mm)	85" (2,159 mm)	95" (2,413 mm)	95" (2,413 mm)
Min Wheelbase @ 25%	80" (2,032 mm)	70" (1,778 mm)	70" (1,778 mm)	80" (2,032 mm)	80" (2,032 mm)
Time to Full Rise	50 seconds	50 seconds	50 seconds	50 seconds	50 seconds
Locking Positions	every 4" (102 mm)	every 4" (102 mm)	every 4" (102 mm)	every 4" (102 mm)	every 4" (102 mm)
Lock Spacing	15	12	12	15	12
Motor	220 VAC / 60 Hz / 1 Ph	220 VAC / 60 Hz / 1 Ph	220 VAC / 60 Hz / 1 Ph	220 VAC / 60 Hz / 1 Ph	220 VAC / 60 Hz / 1 Ph

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① CAR STACKER SPECS
3/4" = 1'-0"



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DATE
01/10/2020

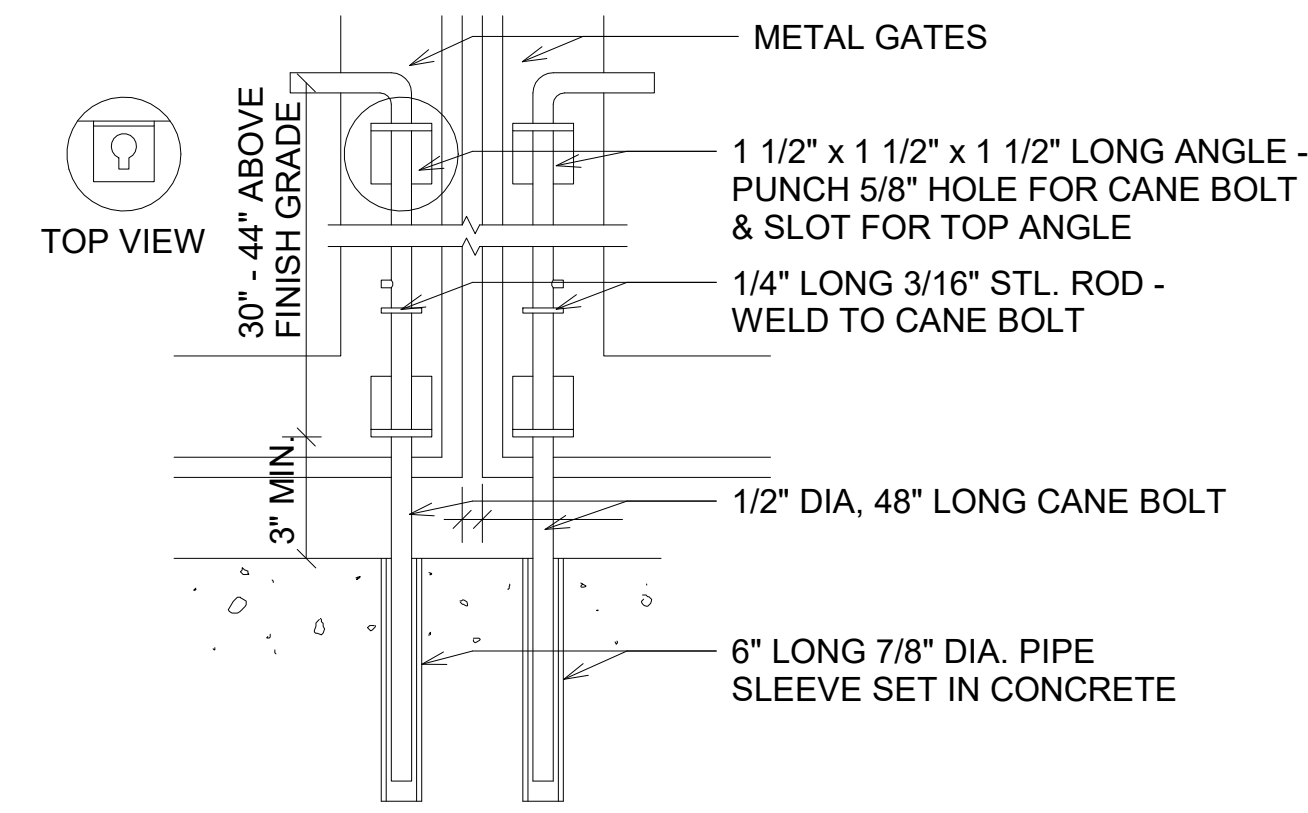
UNIVERSITY CORNER
EAST PALO ALTO, CALIFORNIA 94303

SHEET TITLE
CAR STACKER SPECIFICATION SHEETS

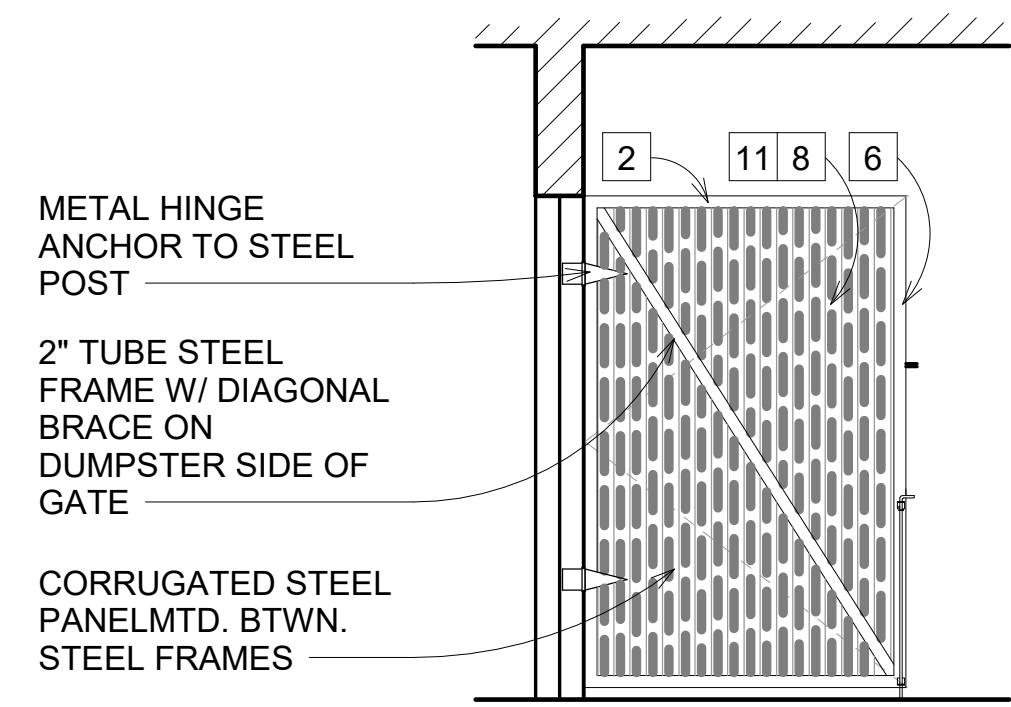
SHEET NUMBER
A6.3

ENVIRONMENTAL INNOVATIONS IN DESIGN
412 OLIVE AVE. PALO ALTO, CA 94306
PHONE: 650-226-8770 WWW.EIDARCHITECTS.COM

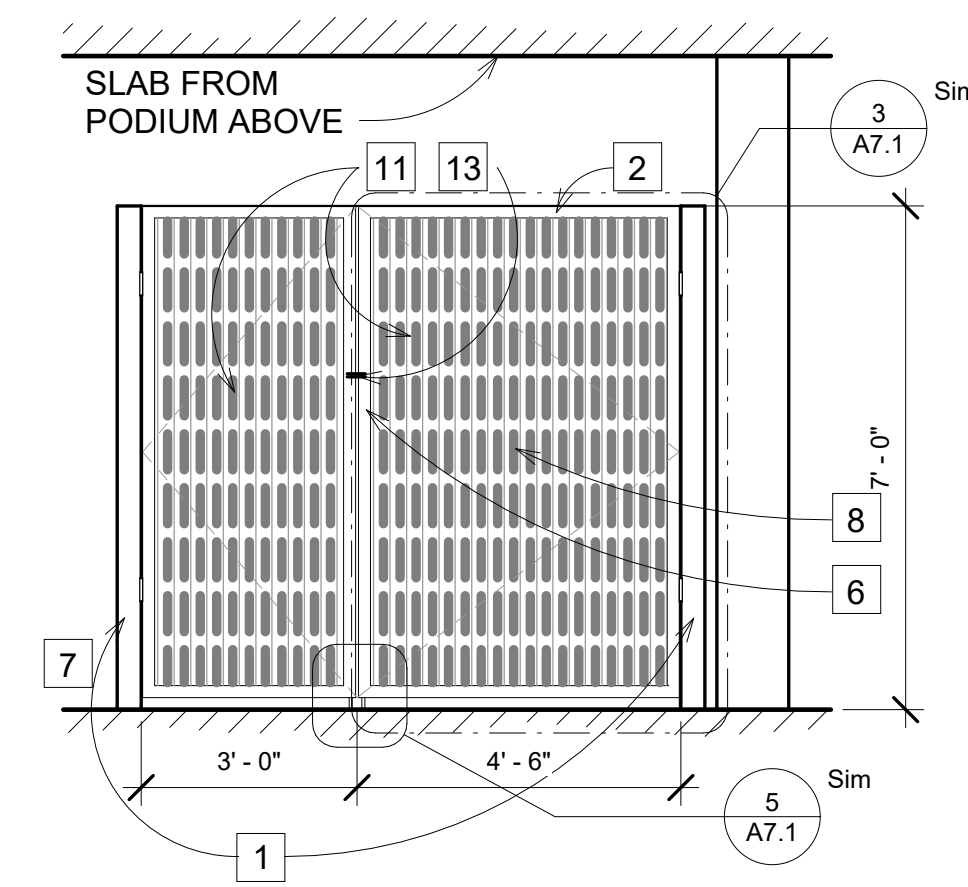




5 LOCKING MECHANISM
3/8" = 1'-0"



3 TRASH / RECYCLING GATE DETAIL
3/8" = 1'-0"

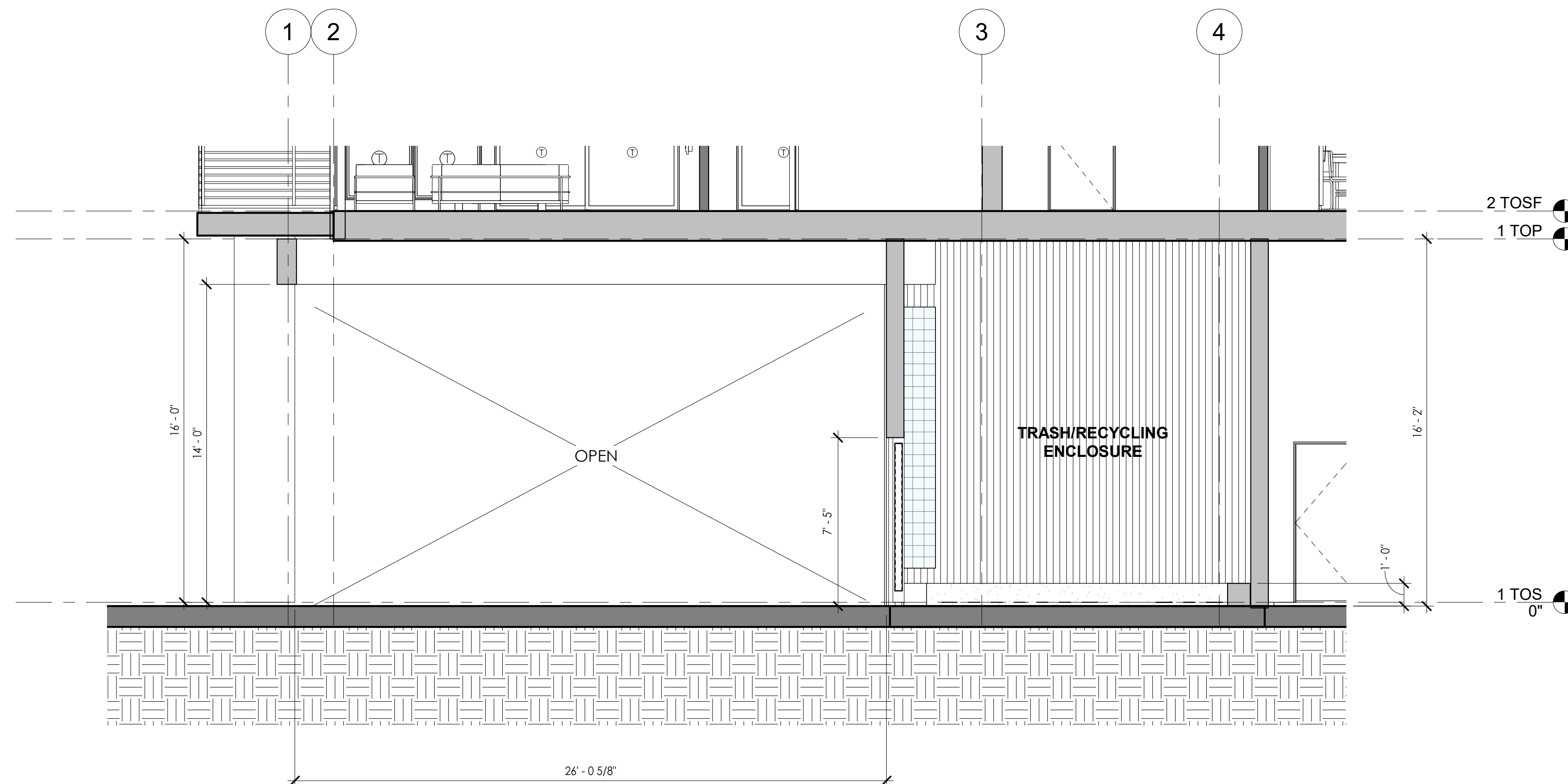


2 TRASH / RECYCLING ENCLOSURE GATE ELEVATION
3/8" = 1'-0"

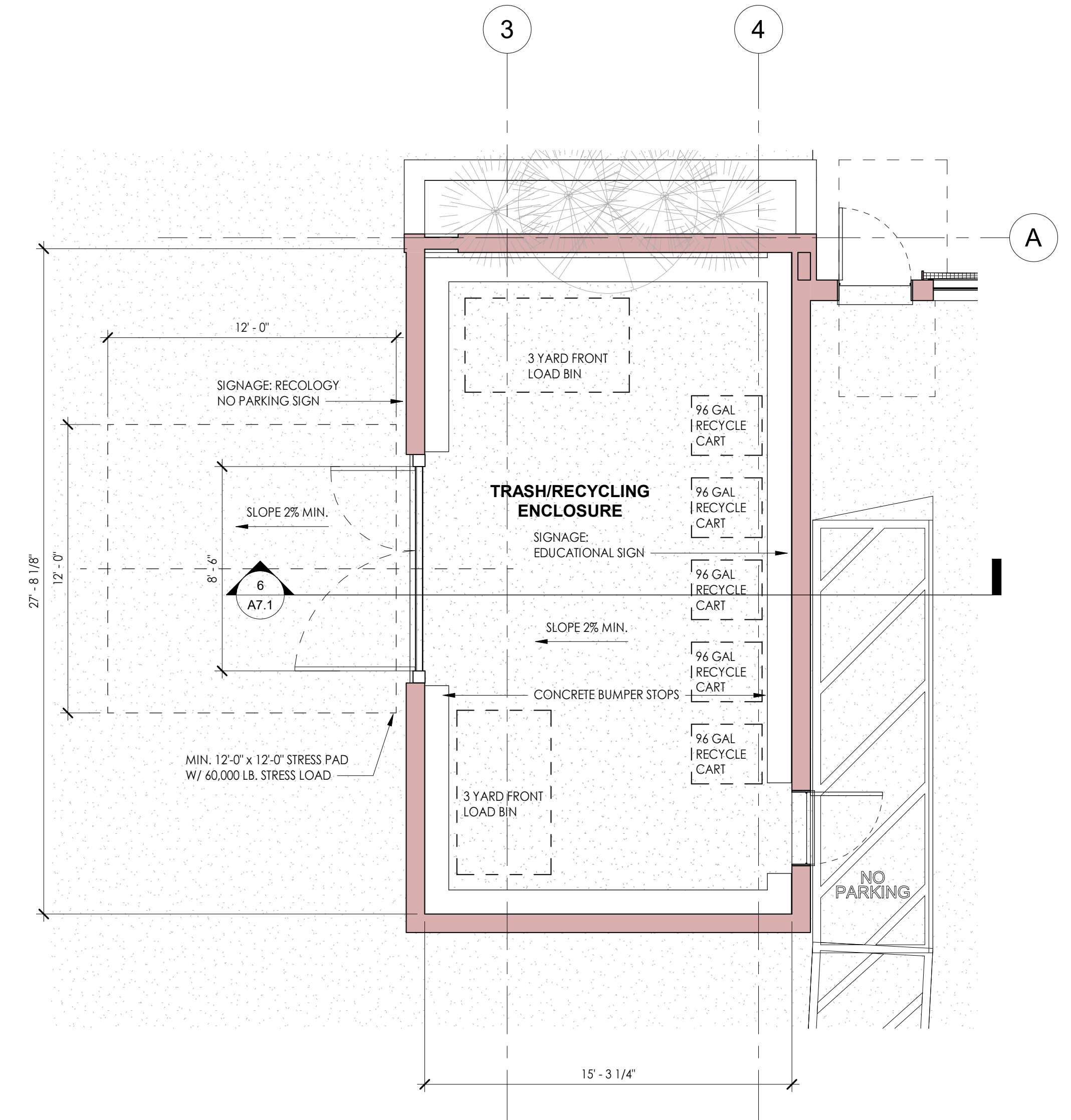
NOTES

- HSS 4x4x1/4 STEEL POST @ HINGE SIDE OF GATE, CONC. FILLED, PRIMED AND PAINTED TO MATCH WALLS.
- 18 GAUGE METAL FRAME TUBE STEEL.
- GALVANIZED STEEL HARDWARE & FASTENERS.
- RE: STRUCTURAL DRWGS FOR CONC. SLAB, REINFORCEMENT & WALLS.
- MOTION ACTIVATED, WALL-MOUNTED LED LIGHTING, VANDAL RESISTANT.
- 4'-6" DOOR TO BE EASILY ACCESSIBLE FOR RESIDENTS TRASH / RECYCLING ACCESS.
- STRESS PAD TO WITHSTAND MIN. WEIGHT OF 60,000 LBS COLLECTION TRUCK.
- GATES TO BE PAINTED TO MATCH BLDG ACCENT FEATURES.
- DESIGN, ENGINEERING, AND CONSTRUCTION NOT SPECIFICALLY NOTED SHALL BE IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS AND OF FIRST QUALITY.
- SECONDARY CANE BOLT RETAINER TO BE PLACED FOR EACH GATE SUCH THAT GATE IS HELD IN A POSITION 90° TO THE CLOSED POSITION.
- 20 GAUGE CORRUGATED METAL PANEL.
- ANGLE IRON REINFORCED FASTENING ALONG EDGE OF CORRUGATED PANEL AND METAL TUBE FRAME.
- 1/2" DIA. STOCK SLIDE BARREL BOLT (LOCKABLE).

4 TRASH / RECYCLING NOTES
3/8" = 1'-0"



6 SECTION THRU TRASH ENCLOSURE
1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

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