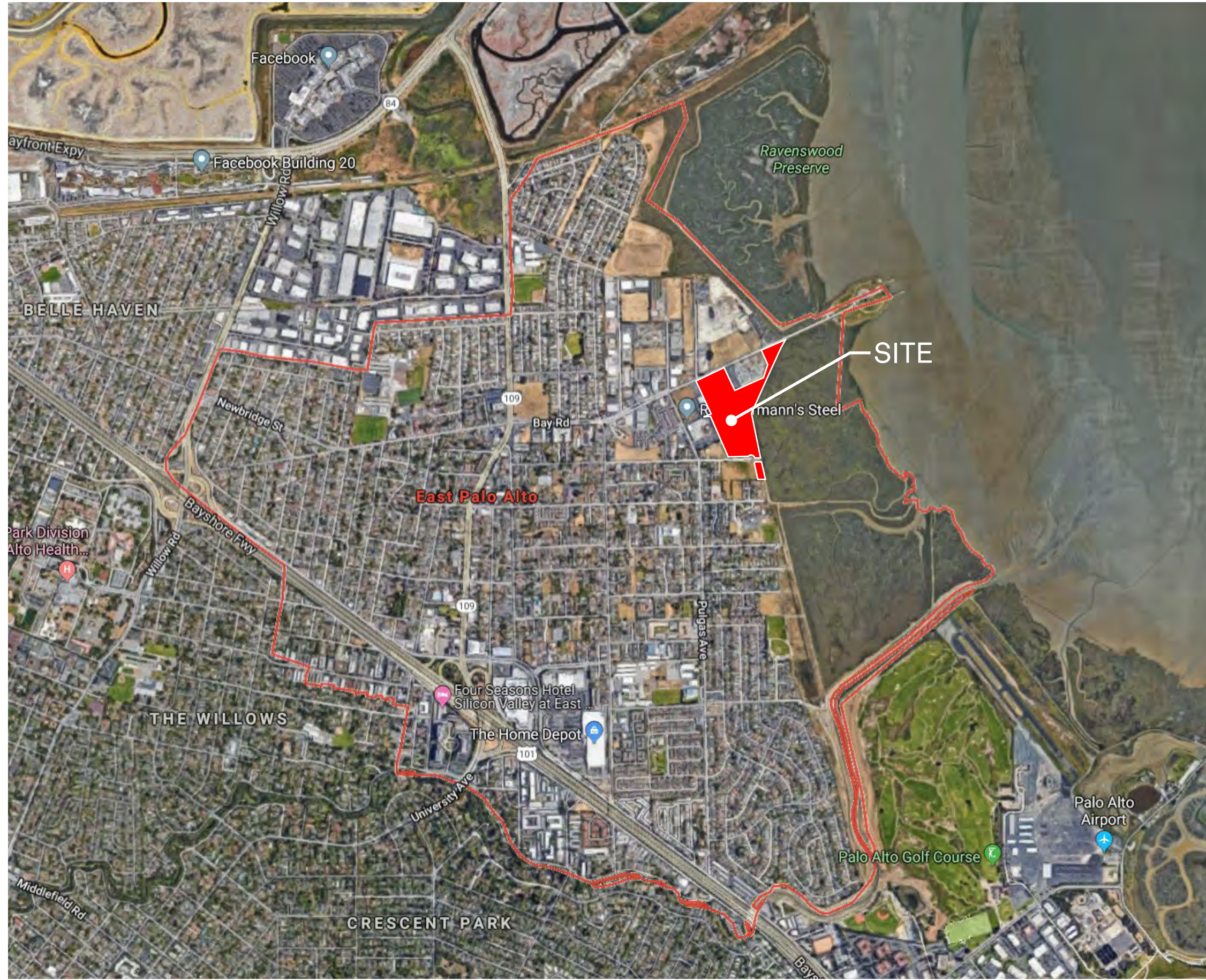


Pre-Application

20 February 2020

1990 Bay Rd, 1175 Weeks St & 1250 Weeks St
East Palo Alto, CA
Harvest Properties
American Realty Advisors

Location Map

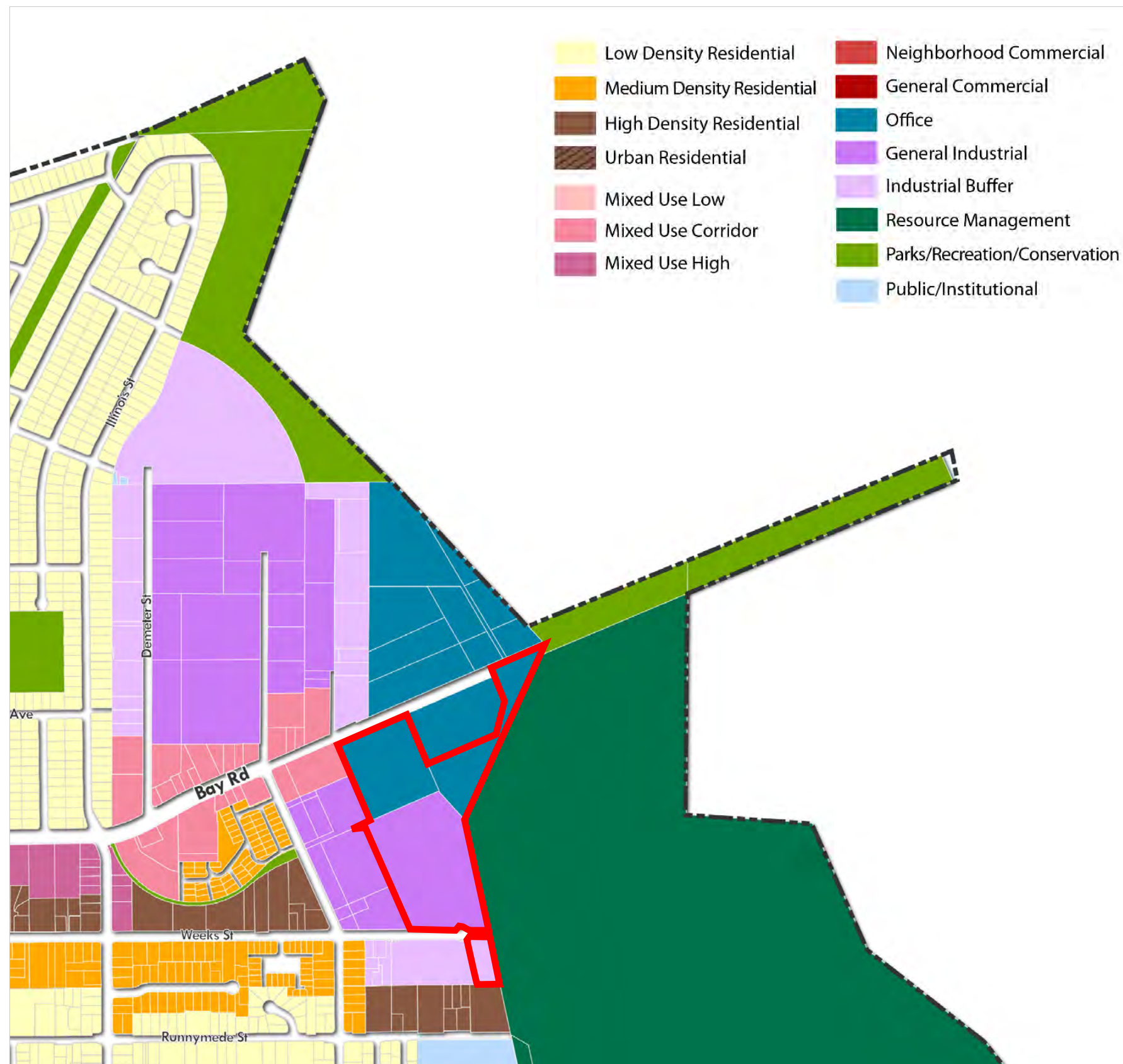


Vicinity Map

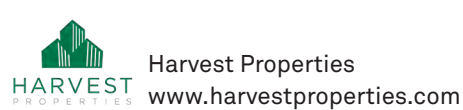


General Plan Land use Map

Figure 4-2B: General Plan Land Use Designations, Northeast



Owner:



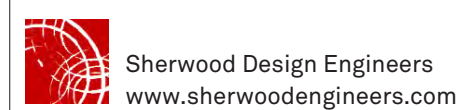
Designer:



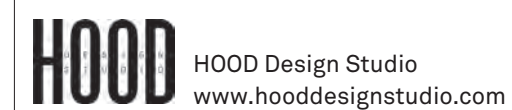
Architect of Record:



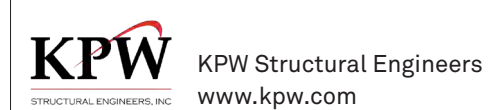
Civil Engineer:



Landscape Architect:



Structural Engineer:



Mechanical Engineer:



Parking Consultant:



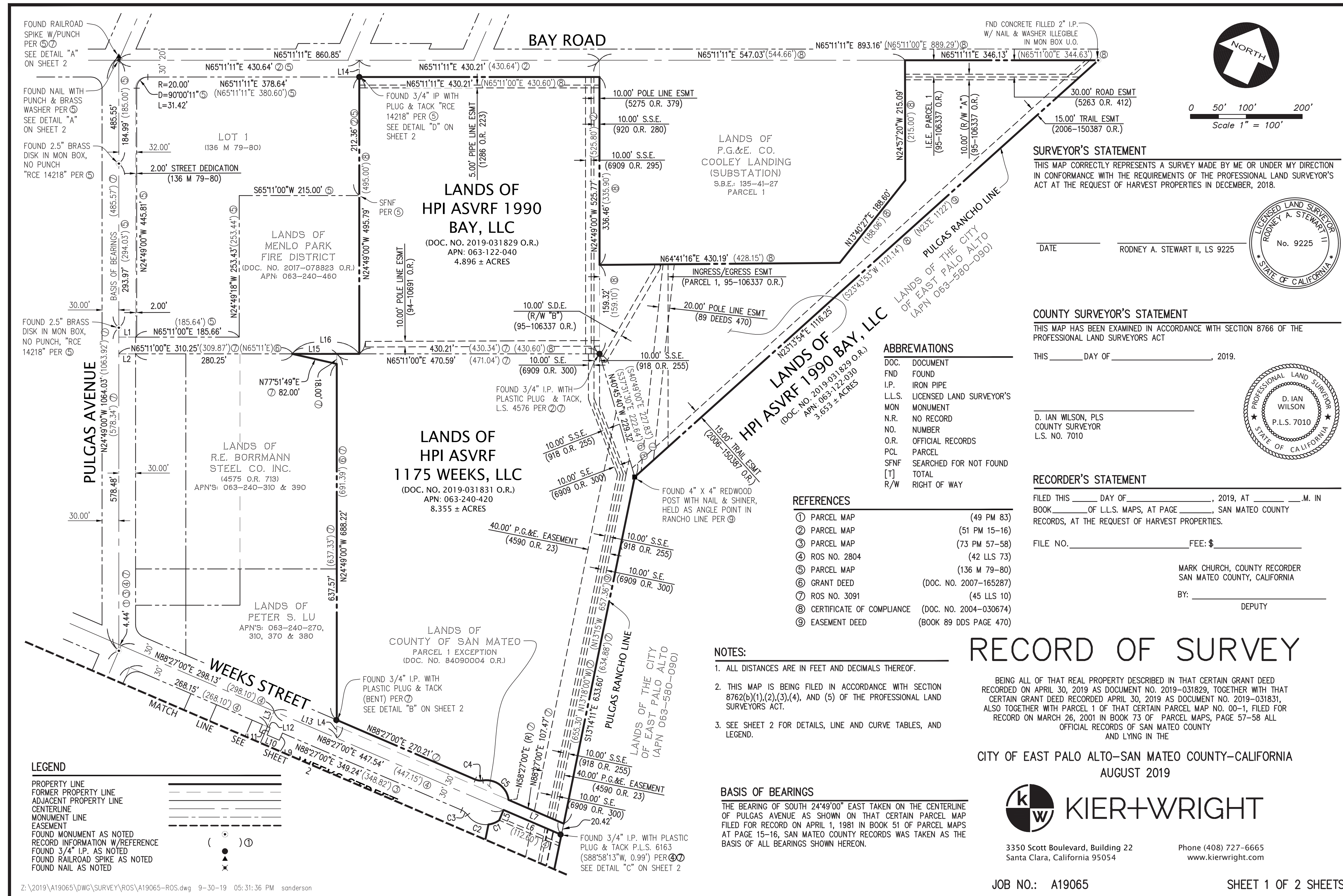
1990 Bay Road,
1175 Weeks Street &
1250 Weeks Street
East Palo Alto, CA

Project Context

Pre-Application / 20 February 2020

NOT TO SCALE

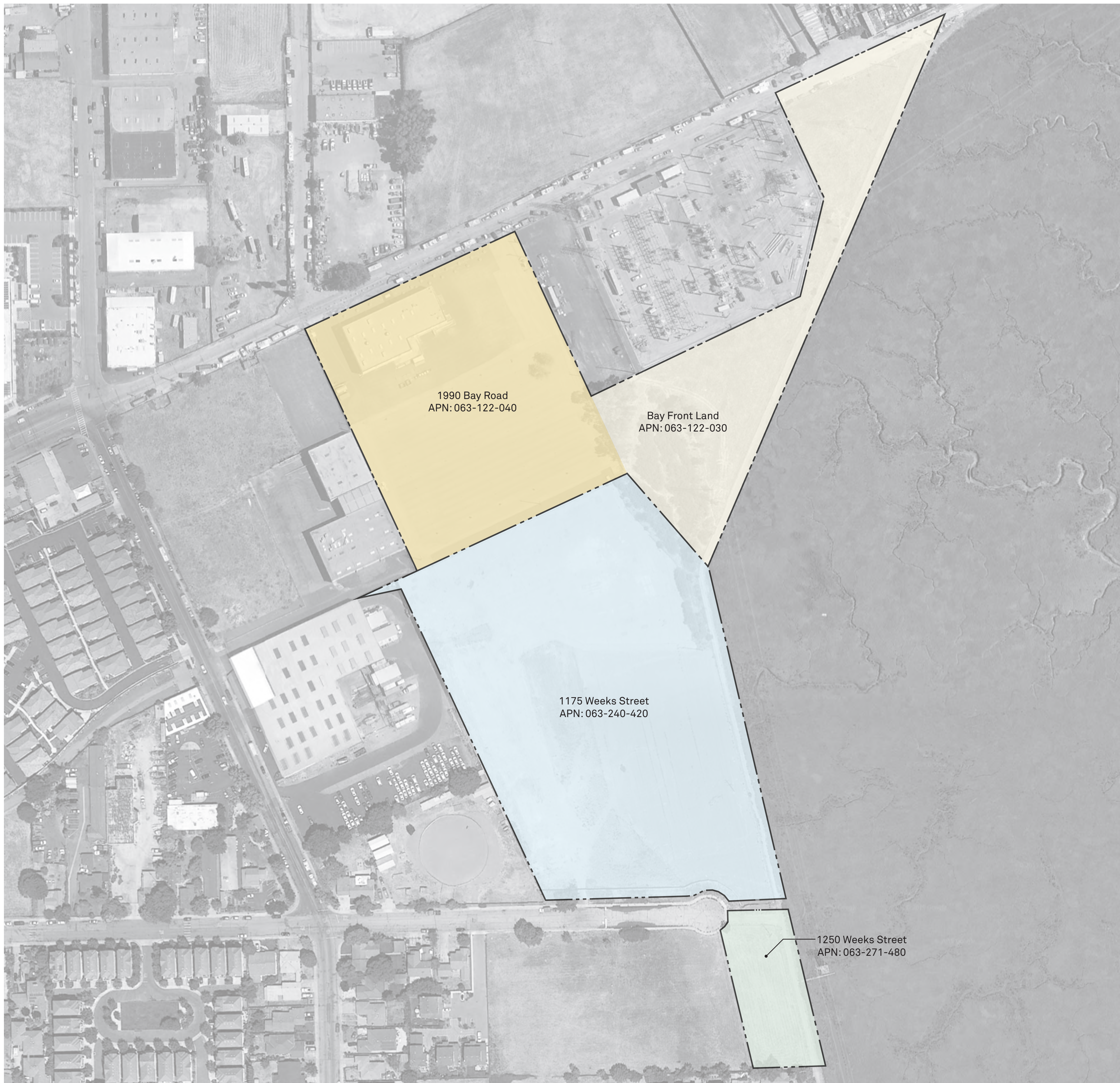




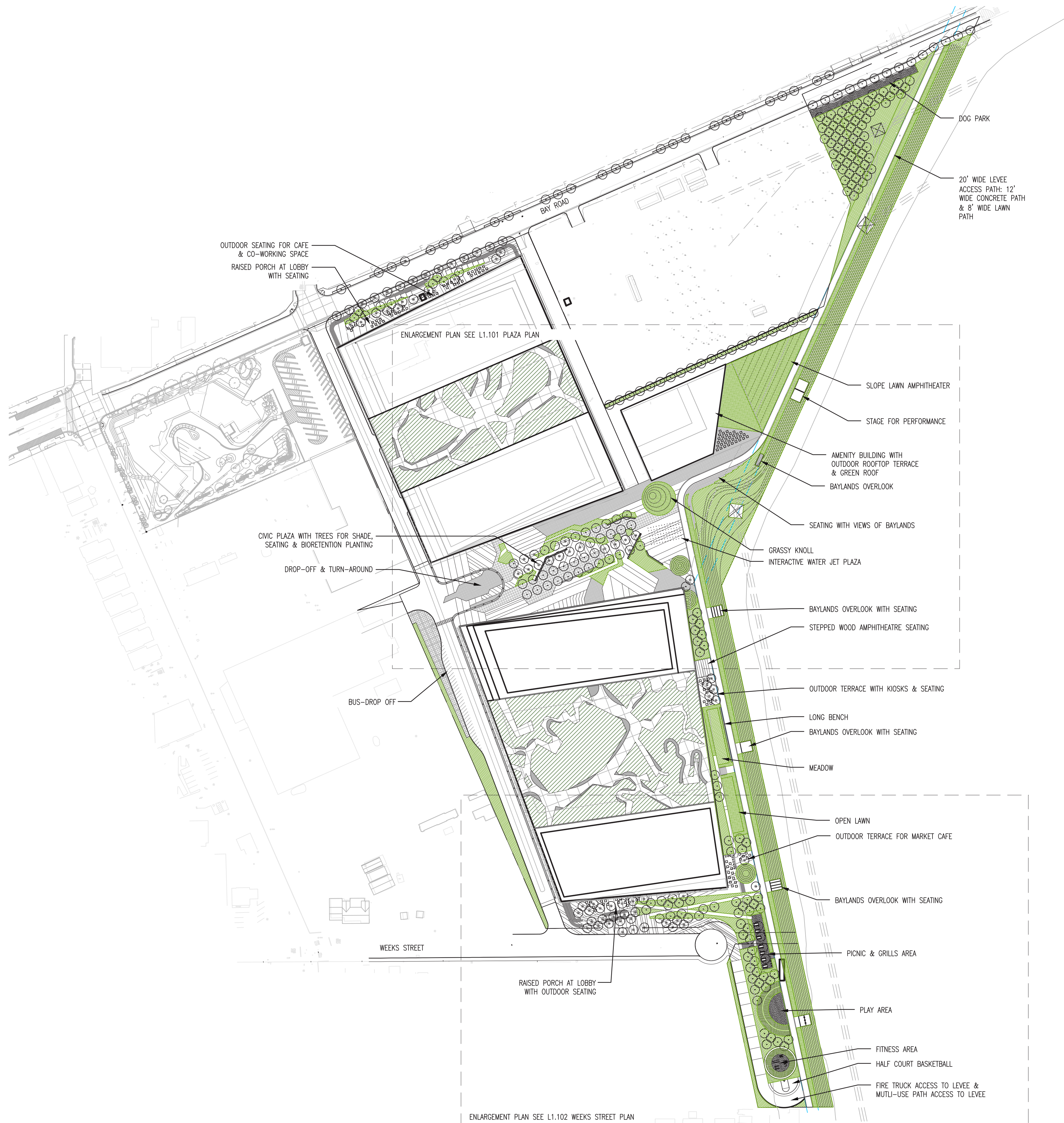
1990 Bay Road, 1175 & 1250 Weeks Street

Address	Assessor's Parcel No.	Parcel Area (Sq. Ft.)	Parcel Area (Acres)	% of Total Parcel Area	Site Totals	
					(Sq. Ft.)	(Acres)
1990 Bay Road	063-122-040	213,270	4.896	27.51%	372,394	8.549
Bay Front Land	063-122-030	159,125	3.653	20.53%	363,944	8.355
1175 Weeks Street- Parcel I	063-240-420	363,944	8.355	46.95%	38,812	0.89
1250 Weeks Street	063-271-480	38,812	0.891	5.01%	775,150	17.795
Total Site Area		775,150	17.795	100.00%	775,150	17.795

** Based on August 2019 Record of Survey







OUTDOOR SEATING FOR CAFE & CO-WORKING SPACE
RAISED PORCH AT LOBBY WITH SEATING

ENLARGEMENT PLAN SEE L1.101 PLAZA PLAN

CIVIC PLAZA WITH TREES FOR SHADE, SEATING & BIORETENTION PLANTING

DROP-OFF & TURN-AROUND

BUS-DROP OFF

WEEKS STREET

RAISED PORCH AT LOBBY WITH OUTDOOR SEATING

ENLARGEMENT PLAN SEE L1.102 WEEKS STREET PLAN

DOG PARK

20' WIDE LEVEE ACCESS PATH: 12' WIDE CONCRETE PATH & 8' WIDE LAWN PATH

SLOPE LAWN AMPHITHEATER

STAGE FOR PERFORMANCE

AMENITY BUILDING WITH OUTDOOR ROOFTOP TERRACE & GREEN ROOF
BAYLANDS OVERLOOK

SEATING WITH VIEWS OF BAYLANDS

GRASSY KNOLL
INTERACTIVE WATER JET PLAZA

BAYLANDS OVERLOOK WITH SEATING

STEPPED WOOD AMPHITHEATRE SEATING

OUTDOOR TERRACE WITH KIOSKS & SEATING

LONG BENCH

BAYLANDS OVERLOOK WITH SEATING

MEADOW

OPEN LAWN

OUTDOOR TERRACE FOR MARKET CAFE

BAYLANDS OVERLOOK WITH SEATING

PICNIC & GRILLS AREA

PLAY AREA

FITNESS AREA

HALF COURT BASKETBALL

FIRE TRUCK ACCESS TO LEVEE & MUTLI-USE PATH ACCESS TO LEVEE





Building Areas

Parcel	Parcel Area	Building	Floor Area Towards FAR	Proposed FAR	Permitted FAR	Max Floor Area Permitted
1990 Bay Road	213,270	A	268,000	1.51	3.0	1,117,182 SF
		B	268,000			
Bay Front Land	159,125	Amenity	25,000			
Sub-Total	372,394 SF		561,000 SF			
1175 Weeks Street	363,944	C	242,000	0.981	1.0	363,944 SF
		D	115,000			
Sub-Total	363,944 SF		357,000 SF			
1250 Weeks Street	38,812	none	0 SF	0	0.75	29,109 SF
Sub-Total	38,812 SF		0 SF			
Project Totals	775,150 SF		918,000 SF			1,510,235 SF

Lot Coverage

Parcel	Parcel Area	Building	Lot Coverage	Lot Coverage (%)
1990 Bay Road	213,270	A & B	160,000	75.02%
Bay Front Land	159,125	Amenity	22,000	13.83%
Sub-Total	372,394 SF		182,000 SF	48.87%
1175 Weeks Street	363,944	C & D	185,000	50.83%
Sub-Total	363,944 SF		185,000 SF	50.83%
1250 Weeks Street	38,812 SF	-	0 SF	0%
Project Totals	775,150 SF		367,000 SF	47.35%

Parking Calculations

1990 Bay Road							Floor Area Towards FAR	1990 Bay Rd Parking Ratio
Floor	Parking Stall Type				Sub-Totals Per Floor			
	Standard	Unistall	ADA	Stacker				
First	5	84	26	216	331			
Second	119	145	0	0	264			
Third	119	145	0	0	264			
Fourth	119	145	0	0	264			
Fifth	119	145	0	0	264			
Sixth	37	60	0	160	257			
Stall Type Sub-Totals	518	724	26	376	1,644 Stalls	561,000 SF	2.9 per 1000	

1175 Weeks Street							Floor Area Towards FAR	1175 Weeks St Parking Ratio
Floor	Parking Stall Type				Sub-Totals Per Floor			
	Standard	Unistall	ADA	Stacker				
Cellar 1	121	228	0	0	349			
First	74	201	24	0	299			
Second	101	258	0	0	359			
Third	128	219	0	0	347			
Stall Type Sub-Totals	424	906	24	0	1,354 Stalls	357,000 SF	3.8 per 1000	

Project Totals							Floor Area Towards FAR	Blended Parking Ratio
Site	Parking Stall Type				Sub-Totals Per Site			
	Standard	Unistall	ADA	Stacker				
1990 Bay Road	518	724	26	376	1644			
1175 Weeks St	424	906	24	0	1354			
Project Totals	942	1630	50	376	2,998 Stalls	918,000 SF	3.3 per 1000	

Bicycle Parking Calculations

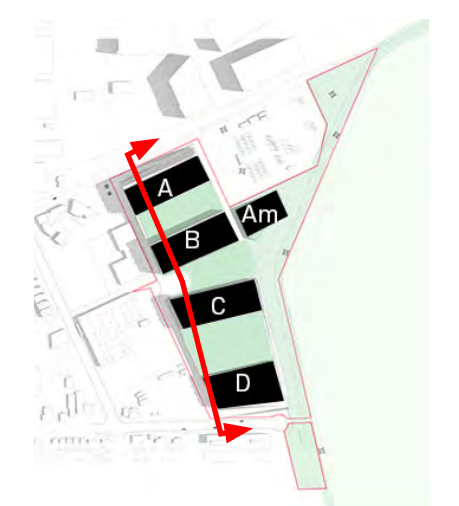
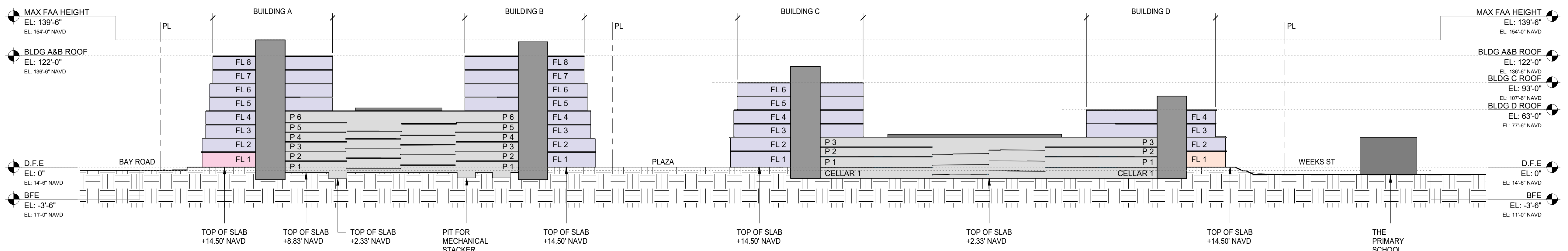
1990 Bay Road				
Building	Floor Area Towards FAR	1 Bike per 6,000 SF	75% @ Class I (Enclosed)	25% @ Class II (Rack)
Building A	268,000	45	34	11
Building B	268,000	45	34	11
Amenity Building	25,000	4	3	1
Sub-Totals	561,000 SF	94 Spaces	71 Spaces	23 Spaces

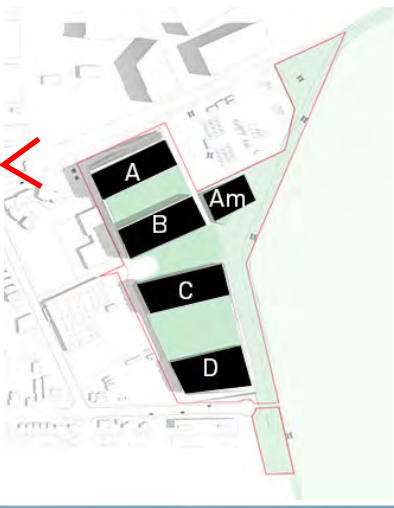
1175 Weeks Street				
Building	Floor Area Towards FAR	1 Bike per 6,000 SF	75% @ Class I (Enclosed)	25% @ Class II (Rack)
Building C	242,000	40	30	10
Building D	115,000	19	14	5
Sub-Totals	357,000 SF	59 Spaces	44 Spaces	15 Spaces

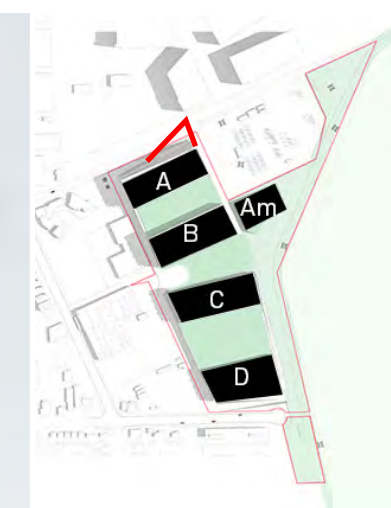
Project Totals				
Project Totals	Floor Area Towards FAR	Total Spaces	Enclosed Spaces	Racked Spaces
	918,000 SF	153 Total Spaces	115 Enclosed Spaces	38 Racked Spaces

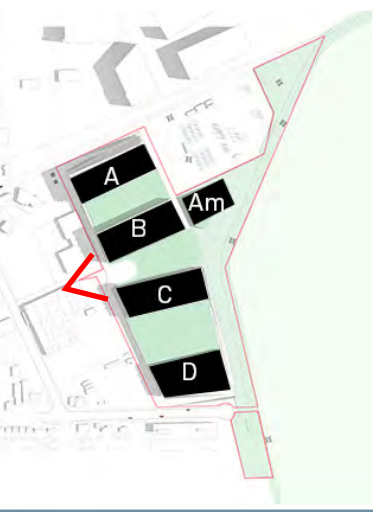


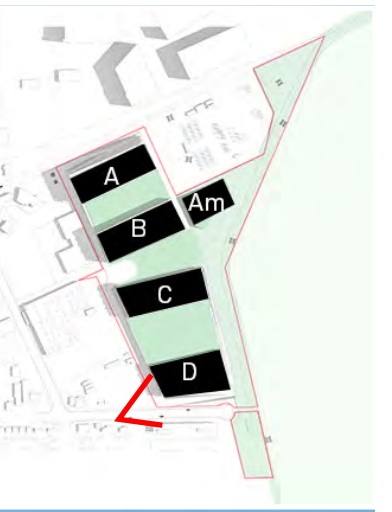
Building Areas						
Parcel	Parcel Area	Building	Floor Area Towards FAR	Proposed FAR	Permitted FAR	Max Floor Area Permitted
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		B	268,000			
Bay Front Land	159,125	Amenity	25,000			
Sub-Total	372,394 SF		561,000 SF	1.51	3.0	1,117,182 SF
1175 Weeks Street	363,944	C	242,000			
		D	115,000			
Sub-Total	363,944 SF		357,000 SF	0.981	1.0	363,944 SF
1250 Weeks Street	38,812	none	0 SF			
Sub-Total	38,812 SF		0 SF	0	0.75	29,109 SF
Project Totals	775,150 SF		918,000 SF			1,510,235 SF







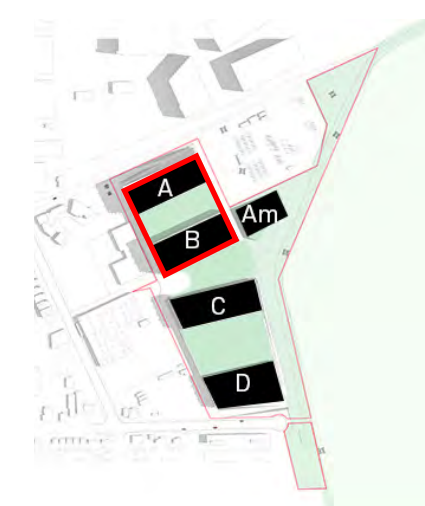


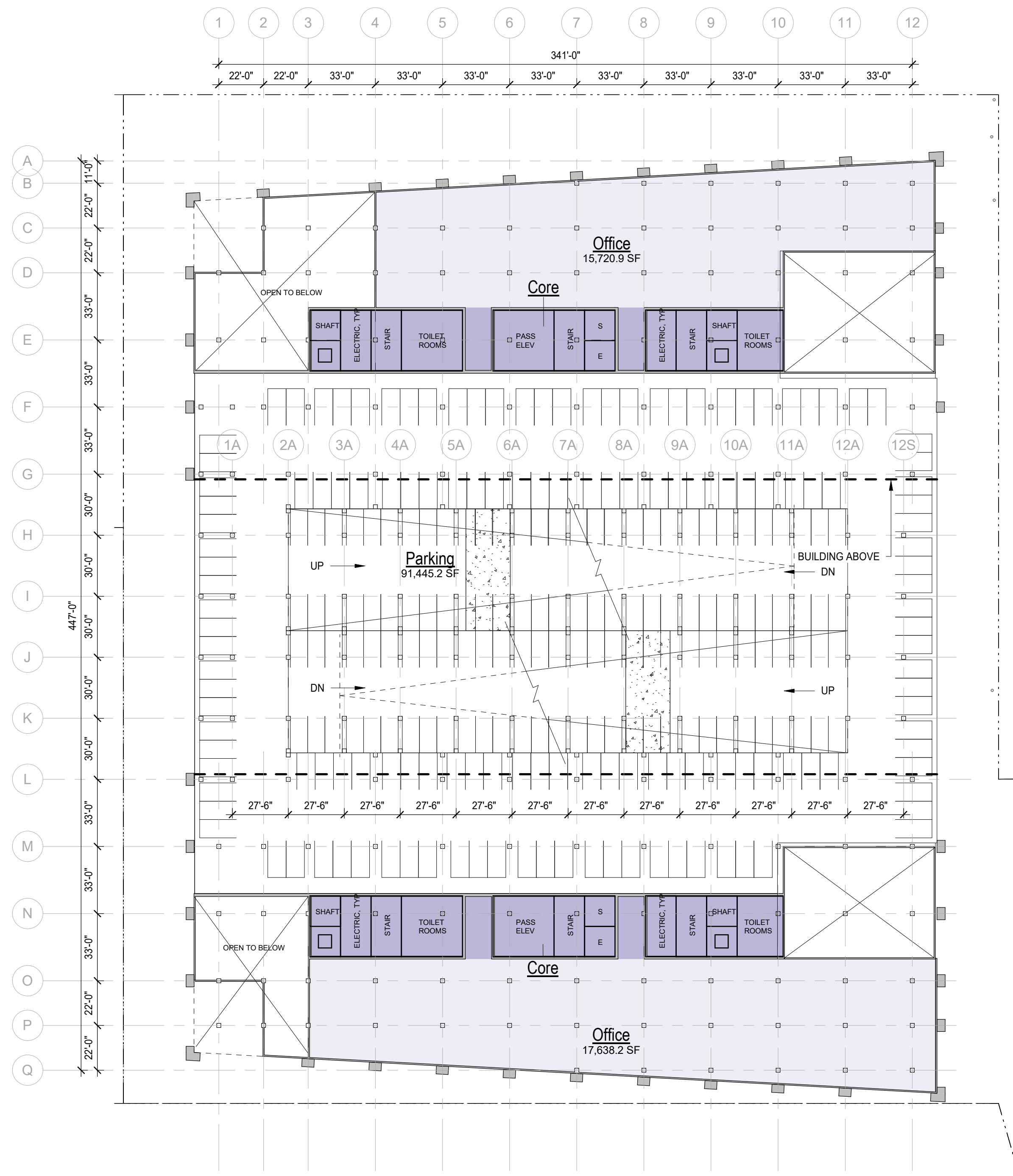




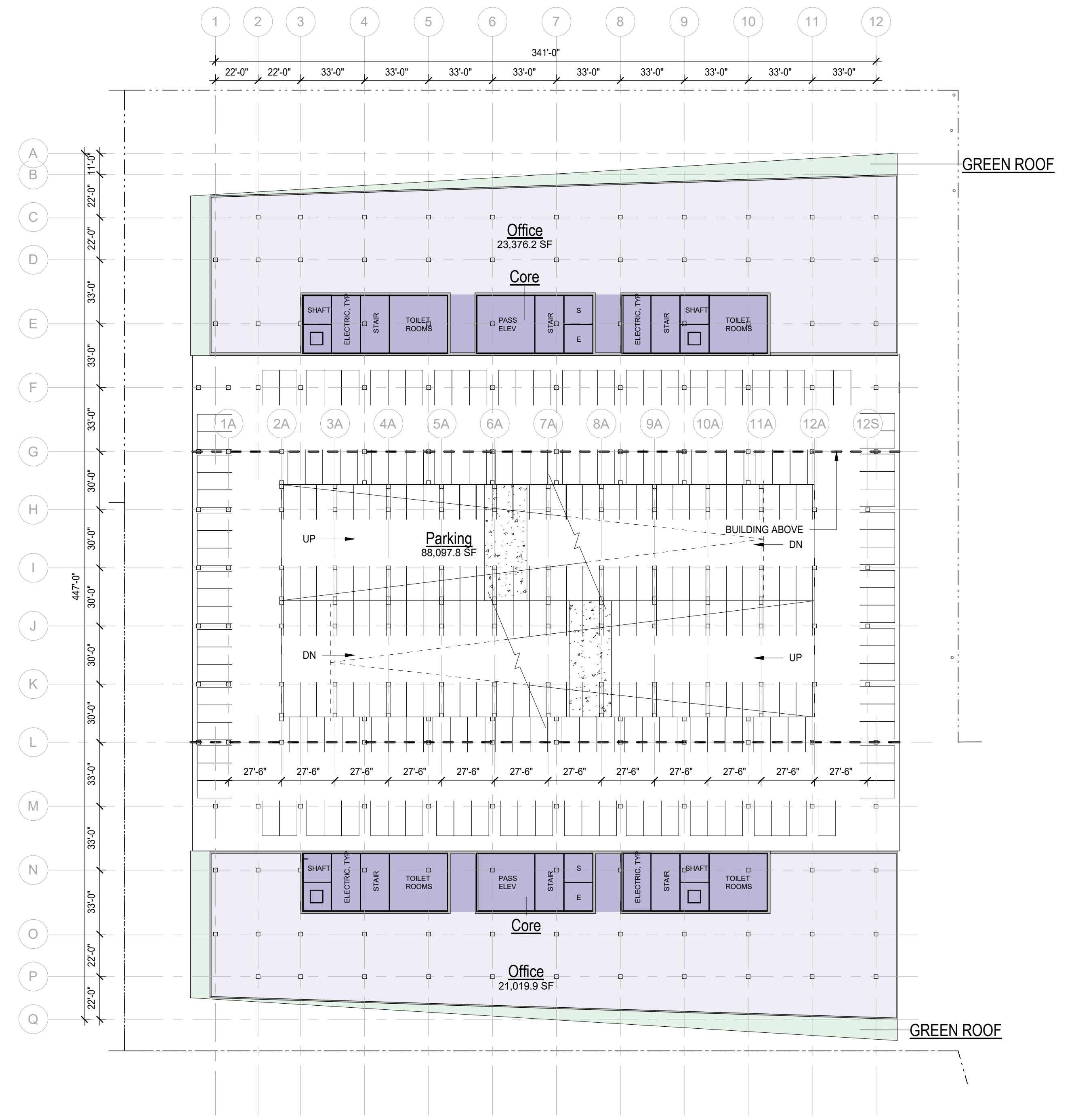


OFFICE FLOOR 1 / PARKING FLOOR 1



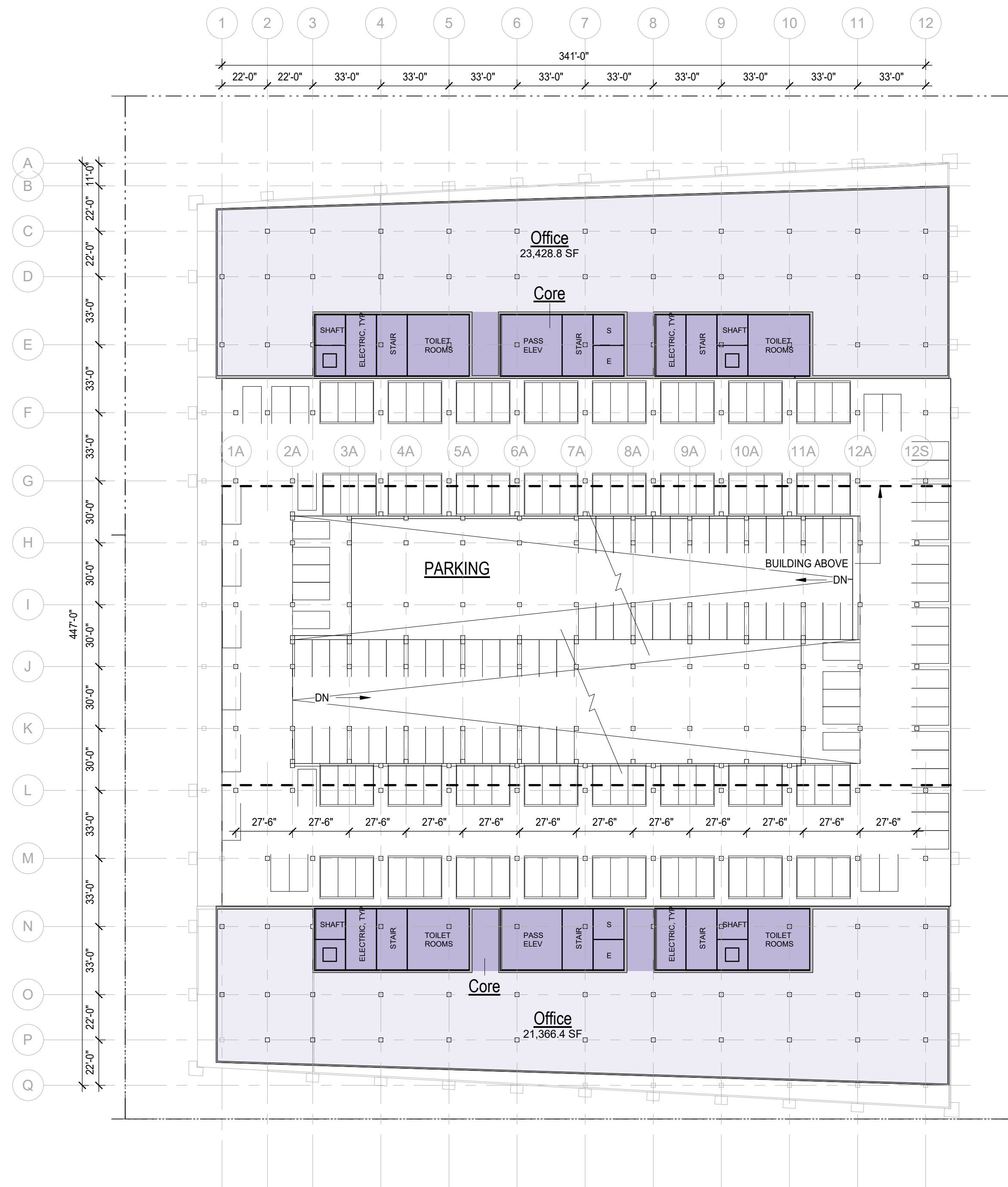


OFFICE FLOOR 2 / PARKING FLOOR 2

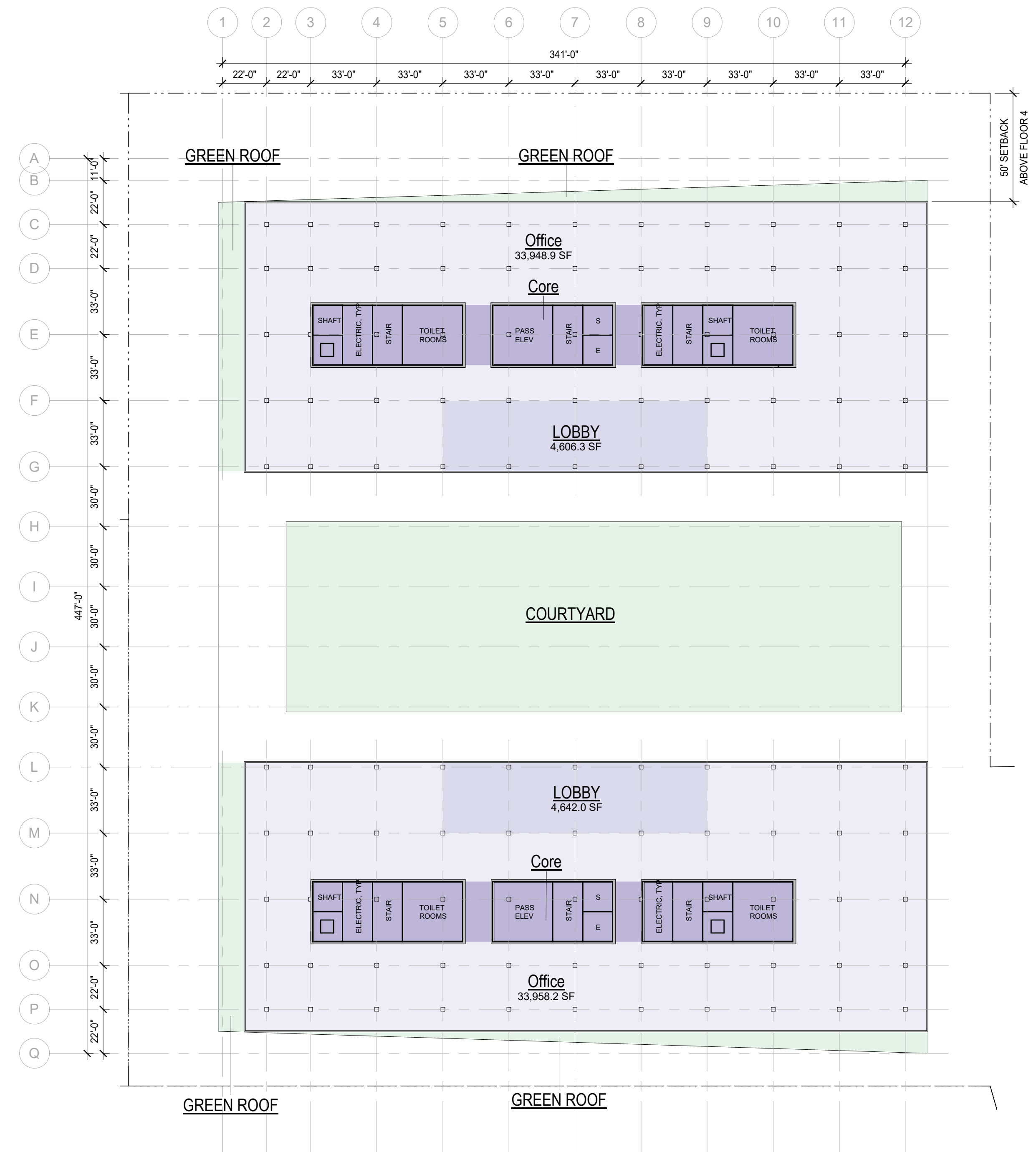


OFFICE FLOOR 3 / PARKING FLOORS 3, 4 & 5 ARE SIMILAR



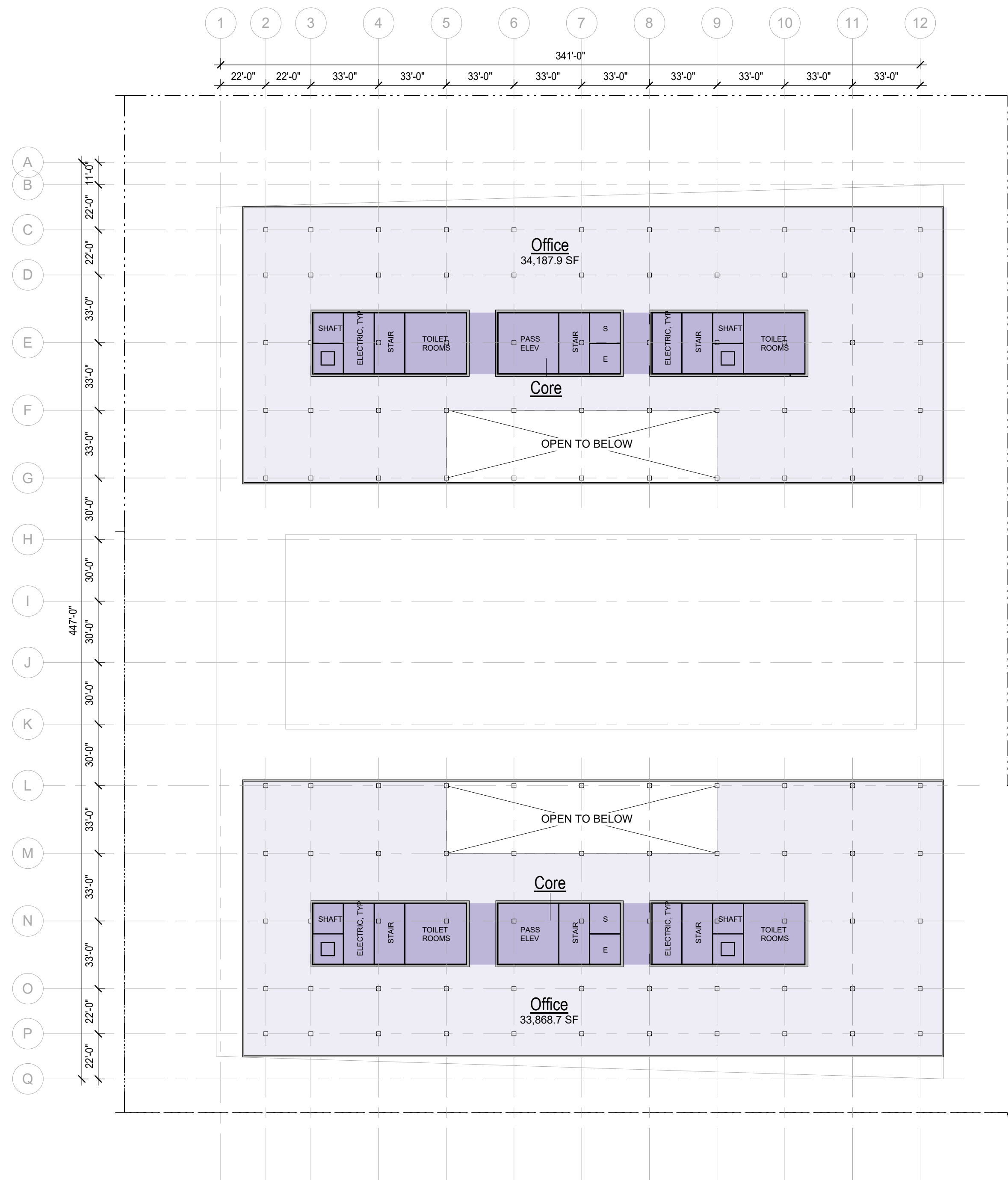


OFFICE FLOOR 4 / PARKING FLOOR 6

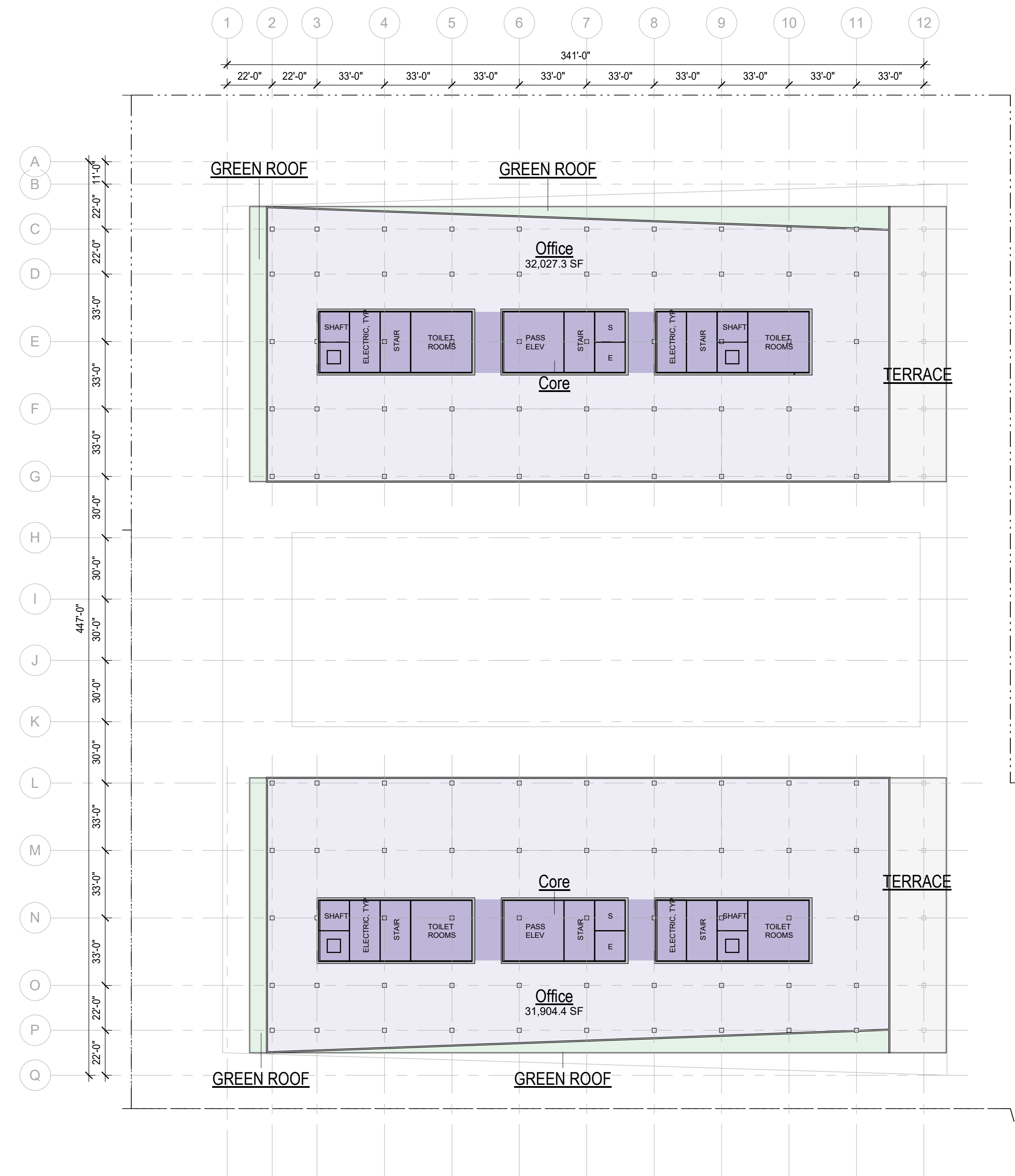


OFFICE FLOOR 5



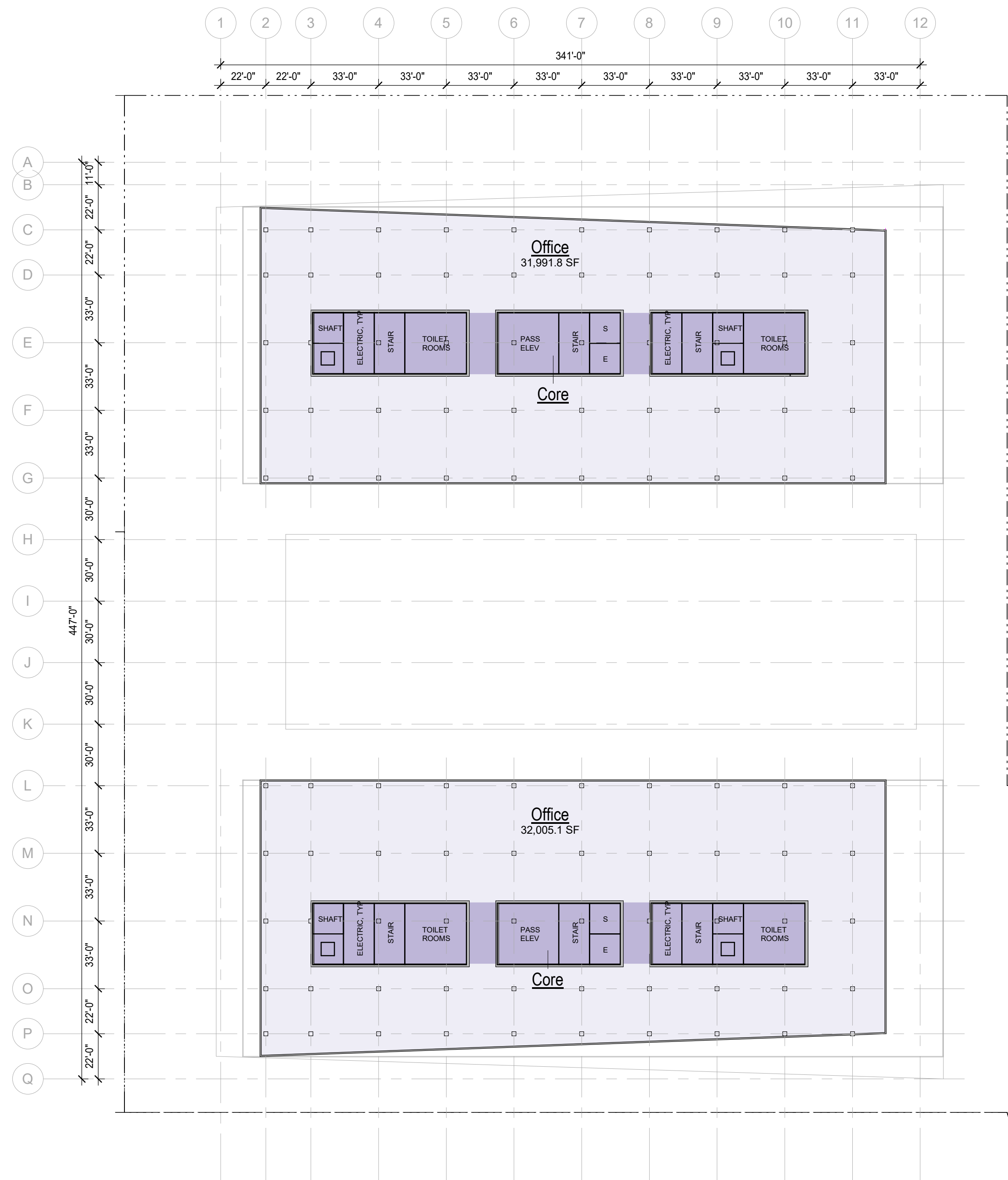


OFFICE FLOOR 6



OFFICE FLOOR 7

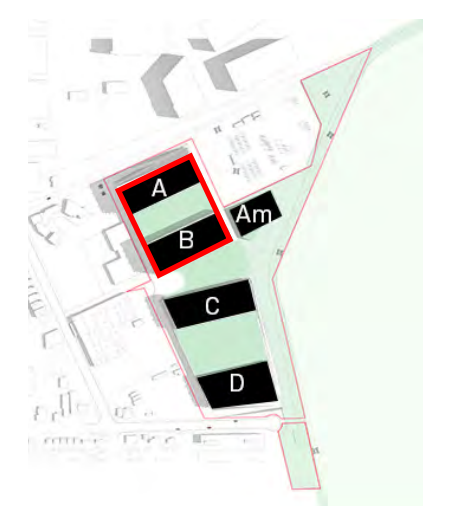




OFFICE FLOOR 8



ROOF PLAN



TOP OF STACK
 EL: 139'-6"
 MECHANICAL SCREEN
 EL: 135'-6"
 EL: 150'-0" NAVD
 ROOF
 EL: 122'-0"
 EL: 107'-0" NAVD
 FLOOR 8
 EL: 107'-0"
 EL: 107'-0" NAVD
 FLOOR 7
 EL: 92'-0"
 EL: 99'-6" NAVD
 FLOOR 6
 EL: 77'-0"
 EL: 91'-6" NAVD
 FLOOR 5 / TERRACE
 EL: 62'-0"
 EL: 70'-6" NAVD
 FLOOR 4
 EL: 47'-0"
 EL: 47'-0" NAVD
 FLOOR 3
 EL: 32'-0"
 EL: 31'-6" NAVD
 FLOOR 2
 EL: 17'-0"
 EL: 31'-6" NAVD
 FLOOR 1
 EL: 0"
 EL: 14'-6" NAVD



NORTH ELEVATION

TOP OF STACK
 EL: 139'-6"
 MECHANICAL SCREEN
 EL: 135'-6"
 EL: 150'-0" NAVD
 ROOF
 EL: 122'-0"
 EL: 107'-0" NAVD
 FLOOR 8
 EL: 107'-0"
 EL: 107'-0" NAVD
 FLOOR 7
 EL: 92'-0"
 EL: 99'-6" NAVD
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 EL: 91'-6" NAVD
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 EL: 62'-0"
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 FLOOR 4
 EL: 47'-0"
 EL: 47'-0" NAVD
 FLOOR 3
 EL: 32'-0"
 EL: 31'-6" NAVD
 FLOOR 2
 EL: 17'-0"
 EL: 31'-6" NAVD
 FLOOR 1
 EL: 0"
 EL: 14'-6" NAVD



EAST ELEVATION

TOP OF STACK
 EL: 139'-6"
 MECHANICAL SCREEN
 EL: 135'-6"
 EL: 150'-0" NAVD
 ROOF
 EL: 122'-0"
 EL: 107'-0" NAVD
 FLOOR 8
 EL: 107'-0"
 EL: 107'-0" NAVD
 FLOOR 7
 EL: 92'-0"
 EL: 99'-6" NAVD
 FLOOR 6
 EL: 77'-0"
 EL: 91'-6" NAVD
 FLOOR 5 / TERRACE
 EL: 62'-0"
 EL: 70'-6" NAVD
 FLOOR 4
 EL: 47'-0"
 EL: 47'-0" NAVD
 FLOOR 3
 EL: 32'-0"
 EL: 31'-6" NAVD
 FLOOR 2
 EL: 17'-0"
 EL: 31'-6" NAVD
 FLOOR 1
 EL: 0"
 EL: 14'-6" NAVD



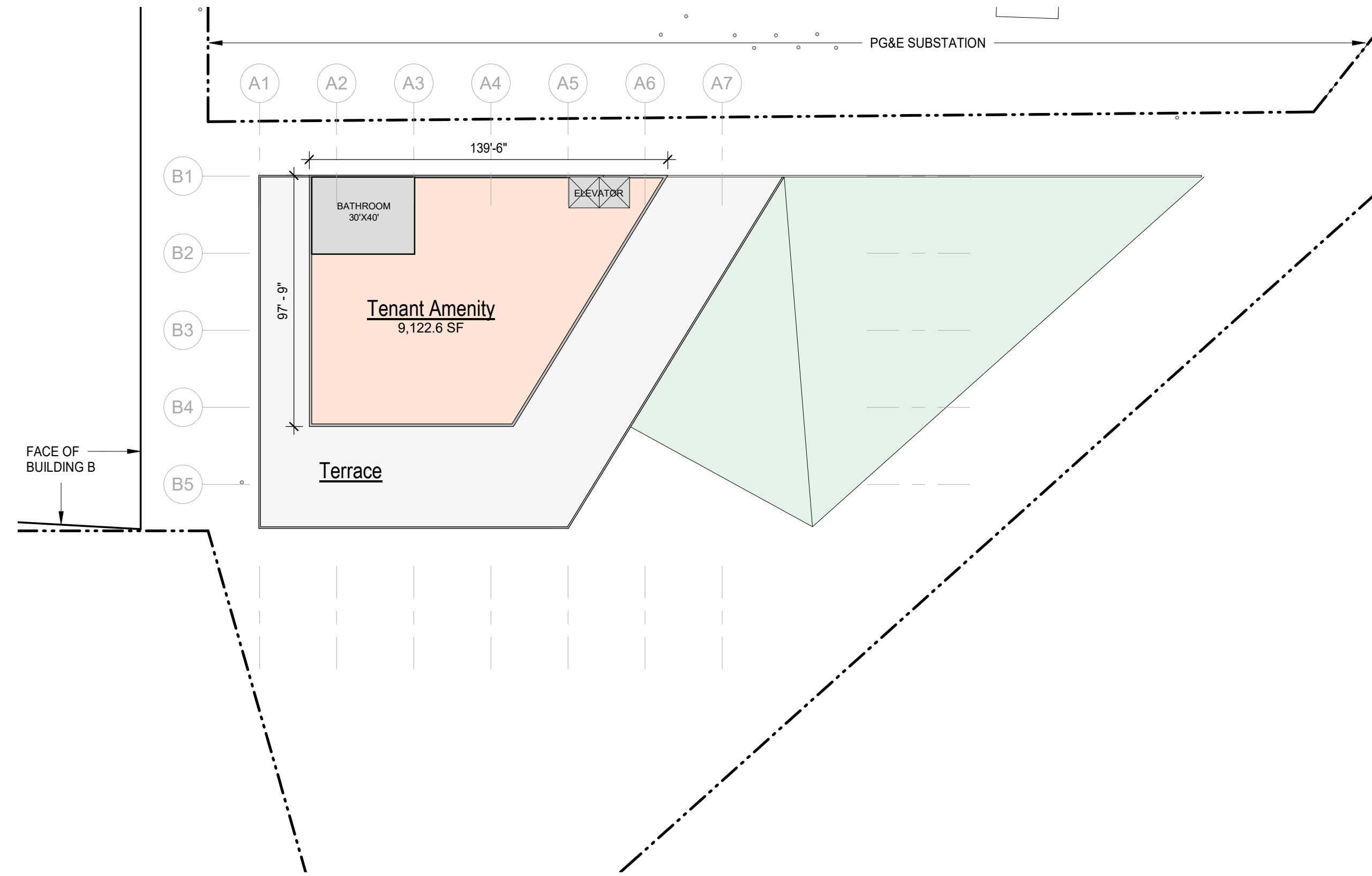
SOUTH ELEVATION

TOP OF STACK
 EL: 139'-6"
 MECHANICAL SCREEN
 EL: 135'-6"
 EL: 150'-0" NAVD
 ROOF
 EL: 122'-0"
 EL: 107'-0" NAVD
 FLOOR 8
 EL: 107'-0"
 EL: 107'-0" NAVD
 FLOOR 7
 EL: 92'-0"
 EL: 99'-6" NAVD
 FLOOR 6
 EL: 77'-0"
 EL: 91'-6" NAVD
 FLOOR 5 / TERRACE
 EL: 62'-0"
 EL: 70'-6" NAVD
 FLOOR 4
 EL: 47'-0"
 EL: 47'-0" NAVD
 FLOOR 3
 EL: 32'-0"
 EL: 31'-6" NAVD
 FLOOR 2
 EL: 17'-0"
 EL: 31'-6" NAVD
 FLOOR 1
 EL: 0"
 EL: 14'-6" NAVD

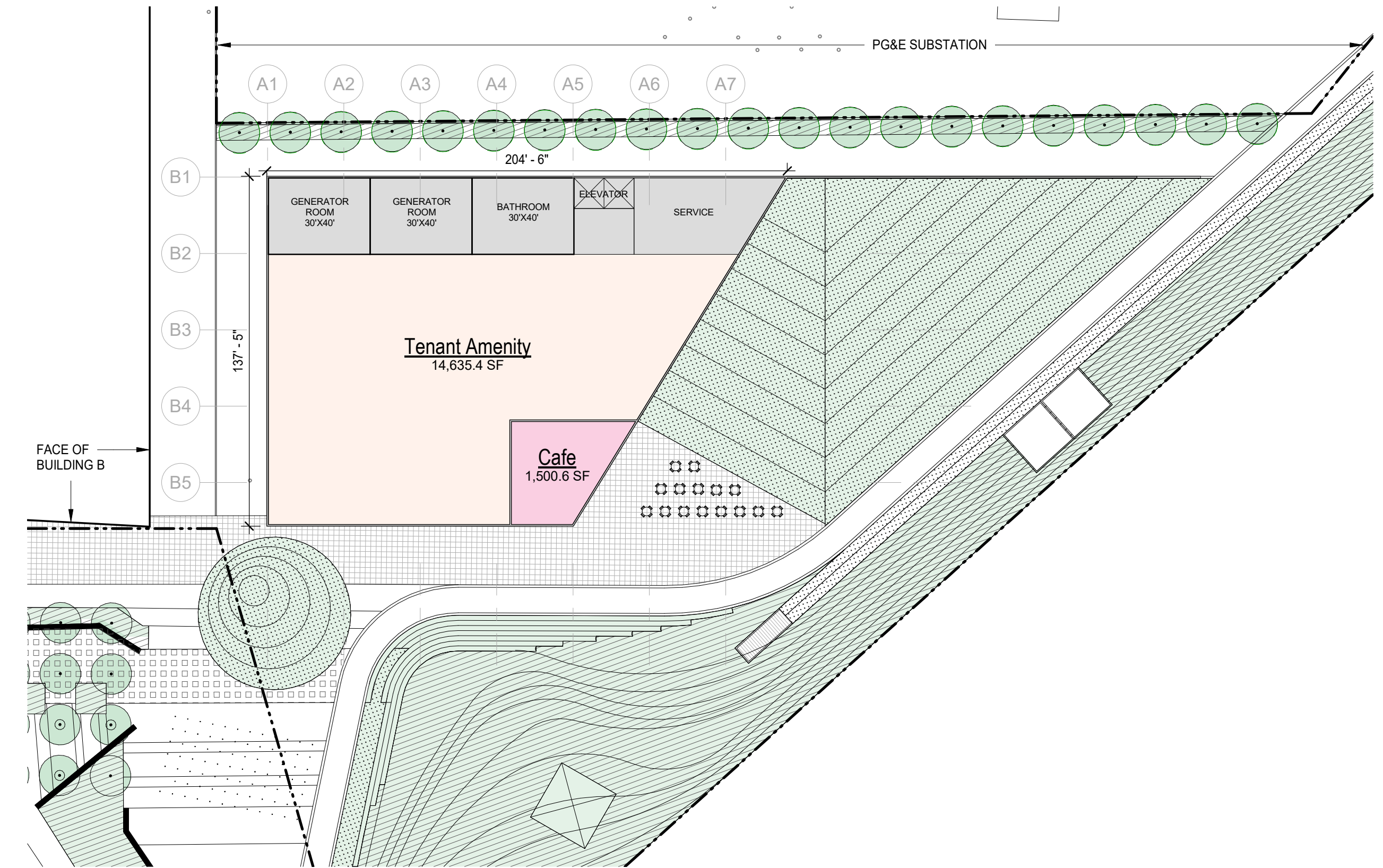


WEST ELEVATION

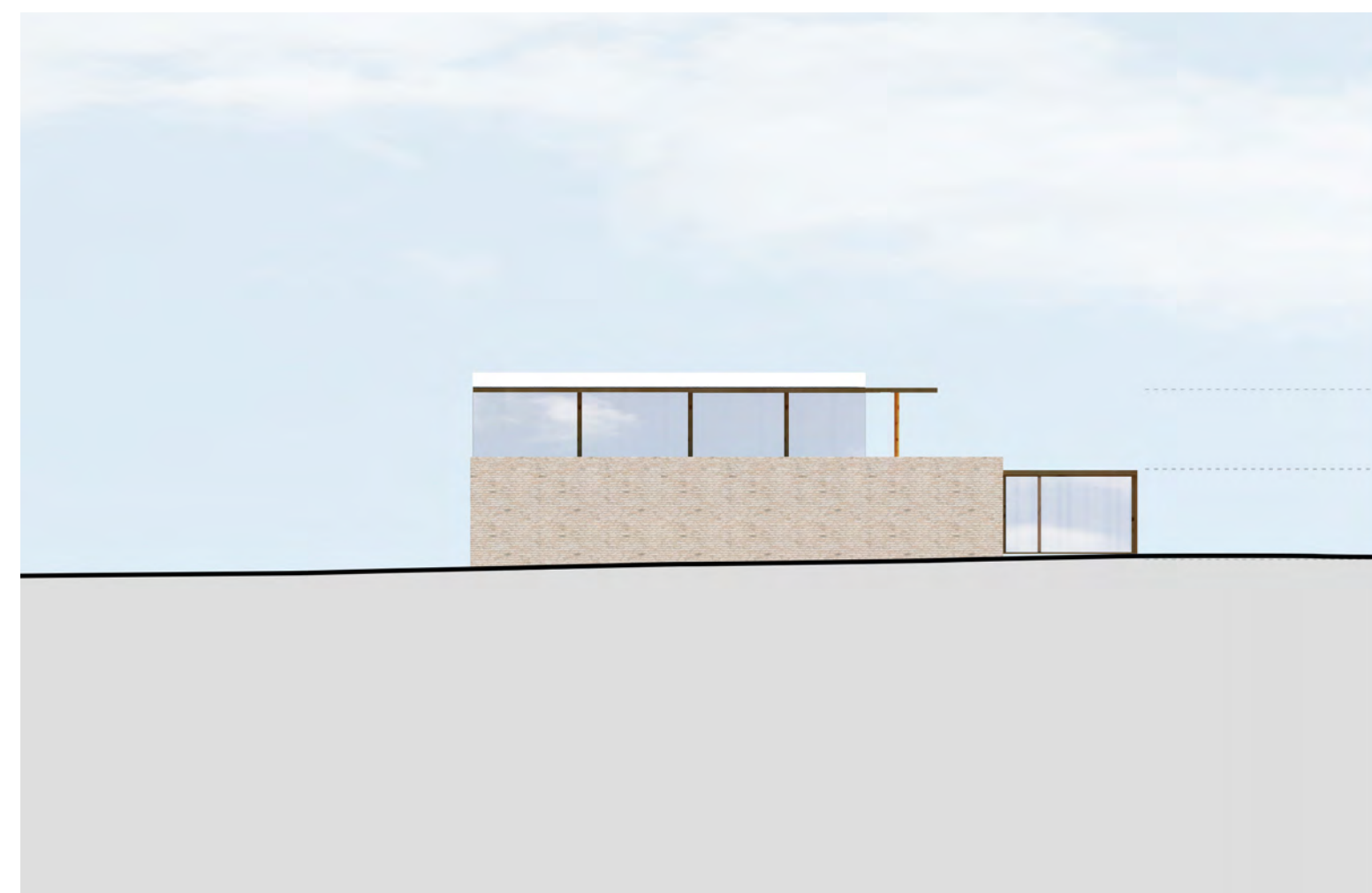




FLOOR 2 PLAN



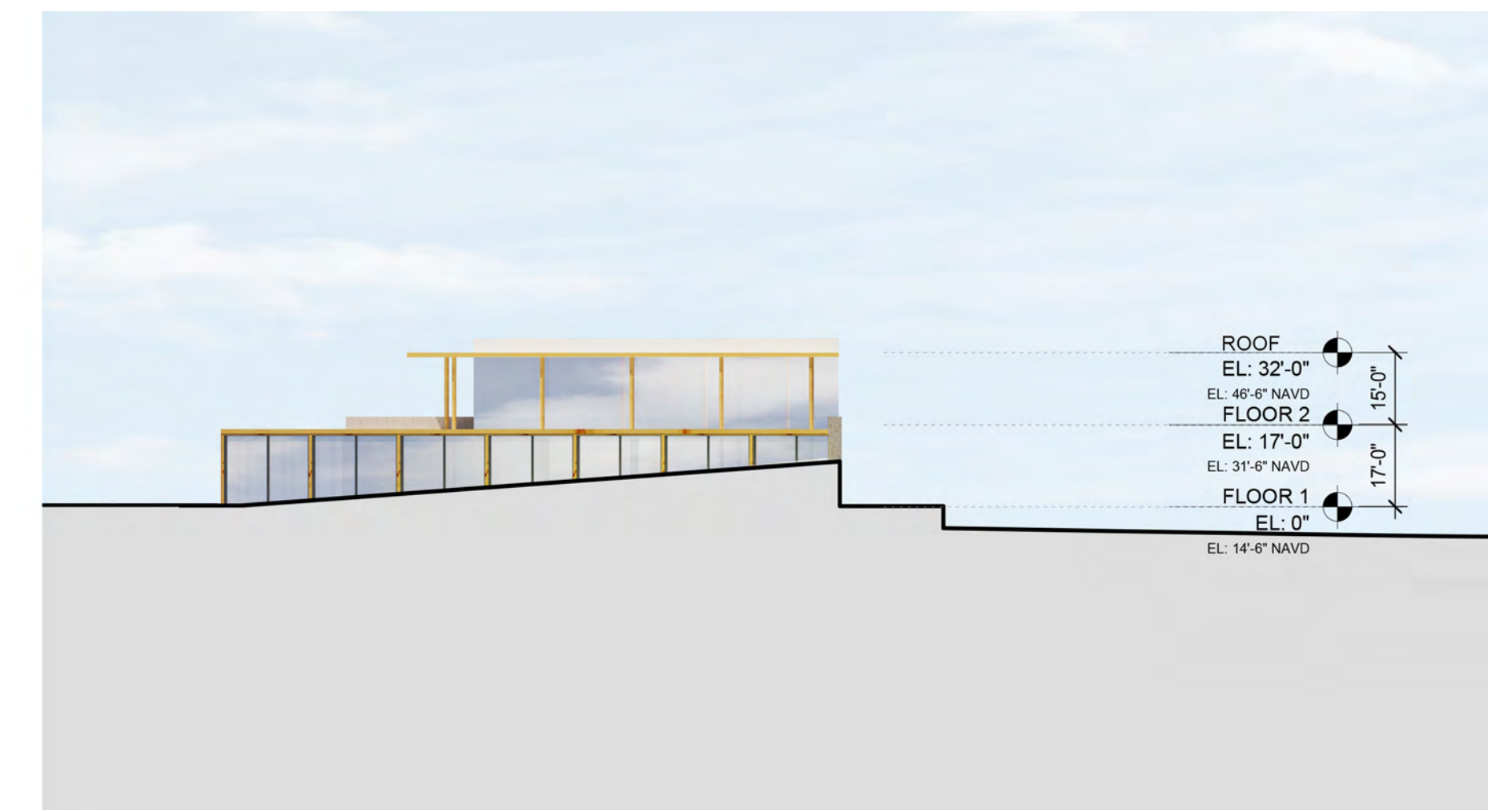
FLOOR 1 PLAN



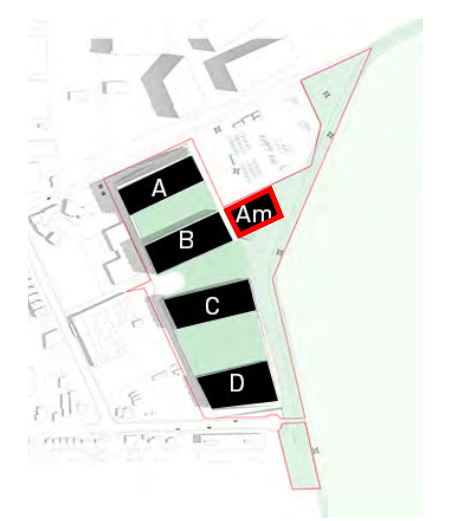
WEST ELEVATION

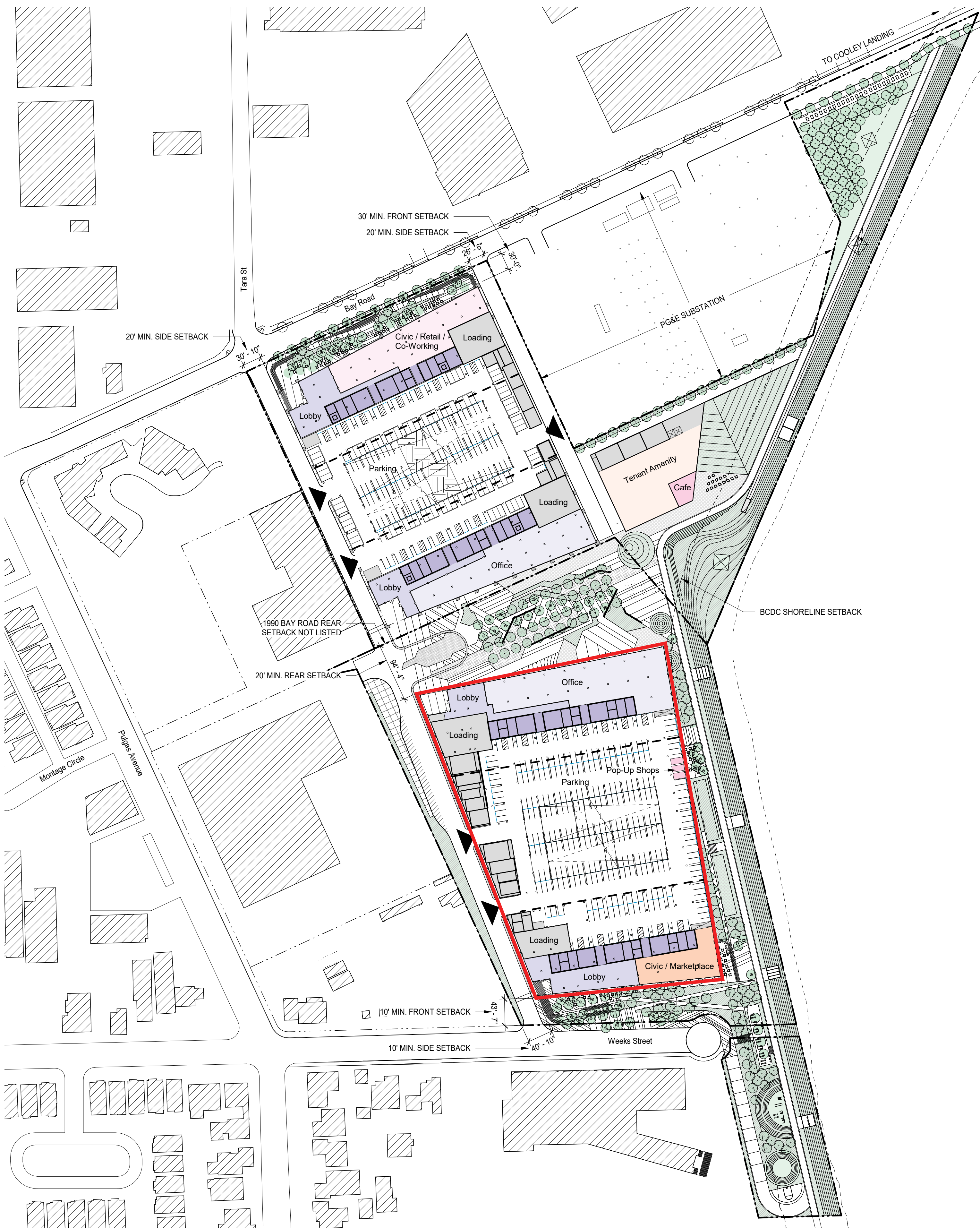


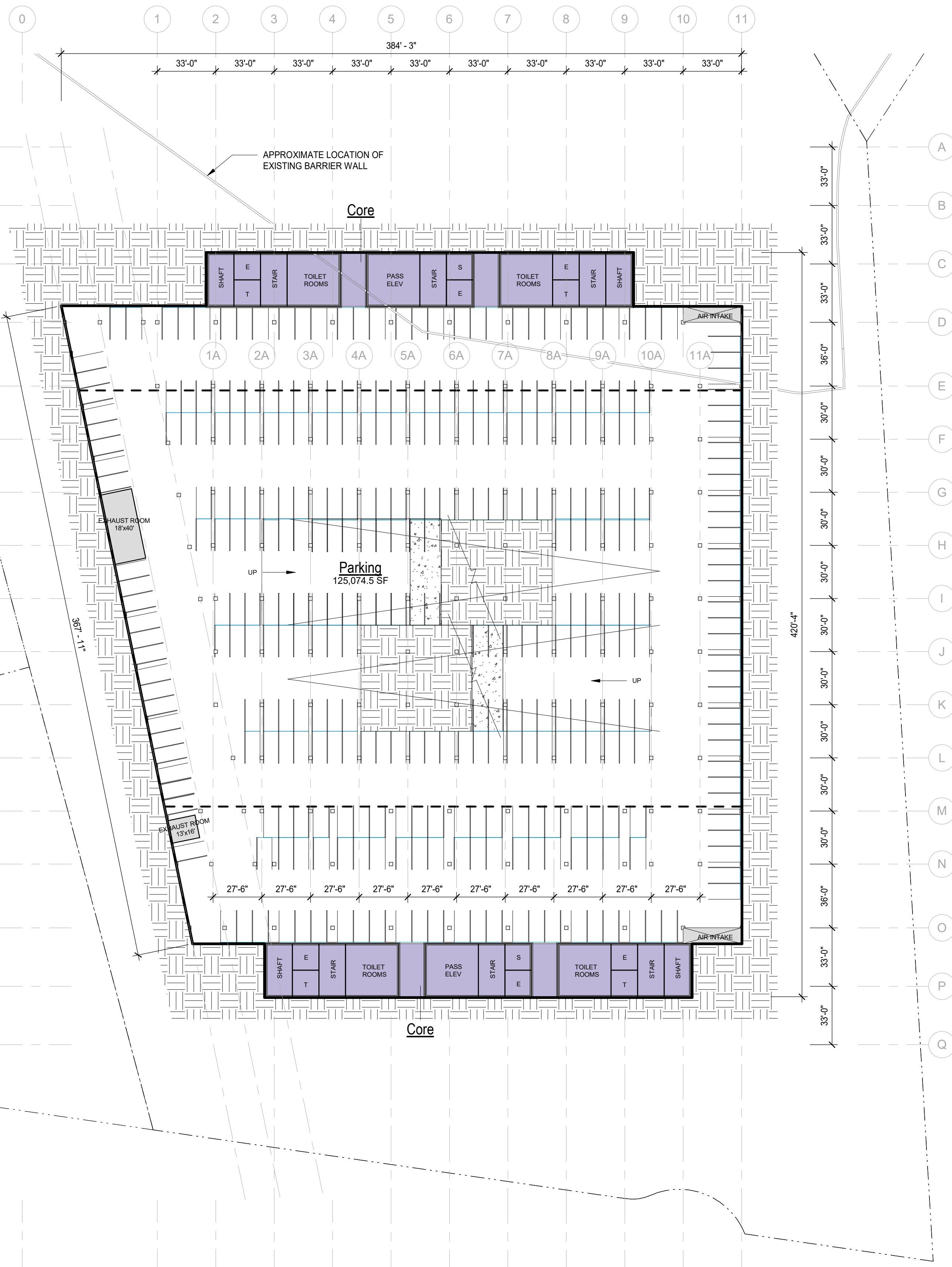
SOUTH ELEVATION



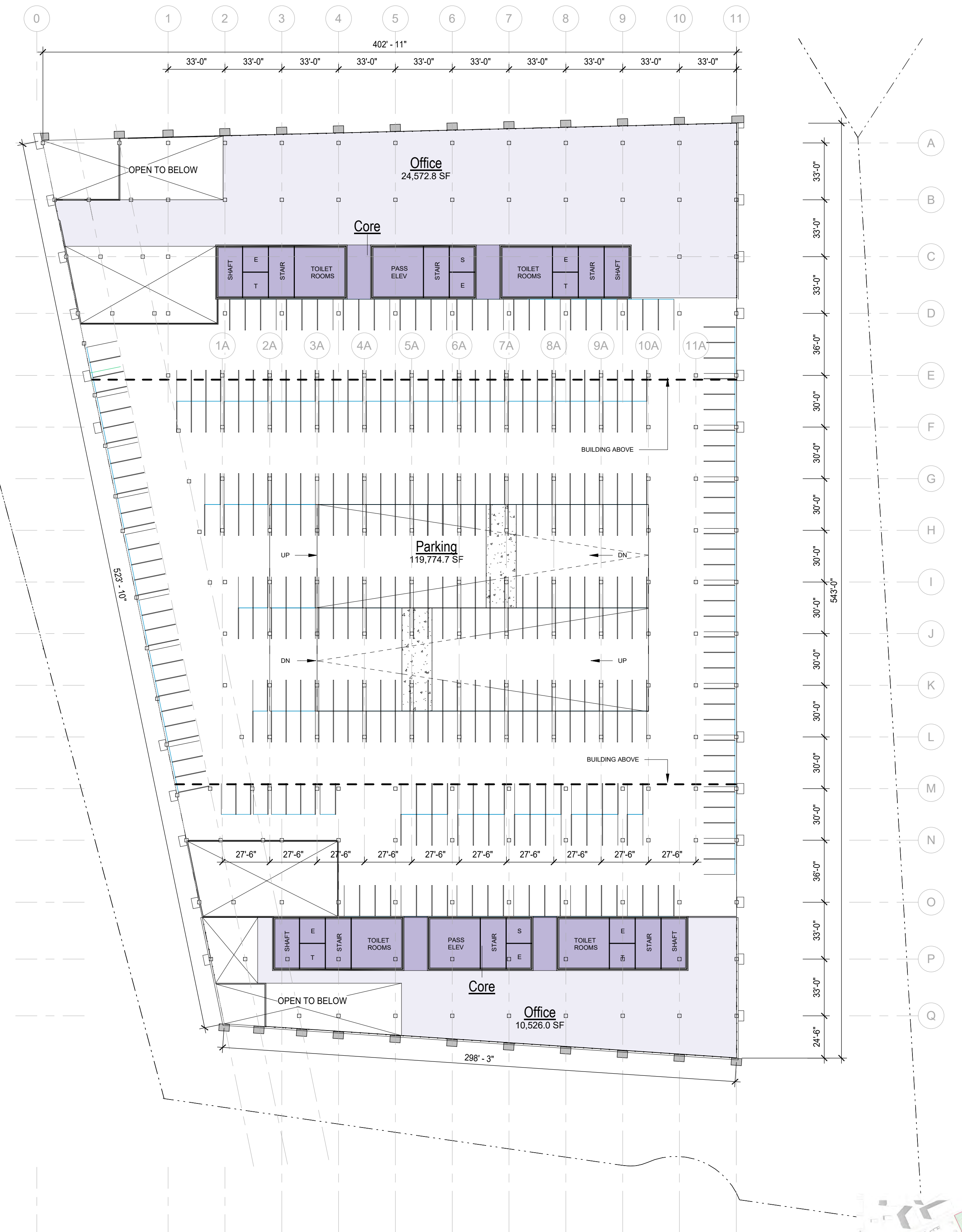
EAST ELEVATION





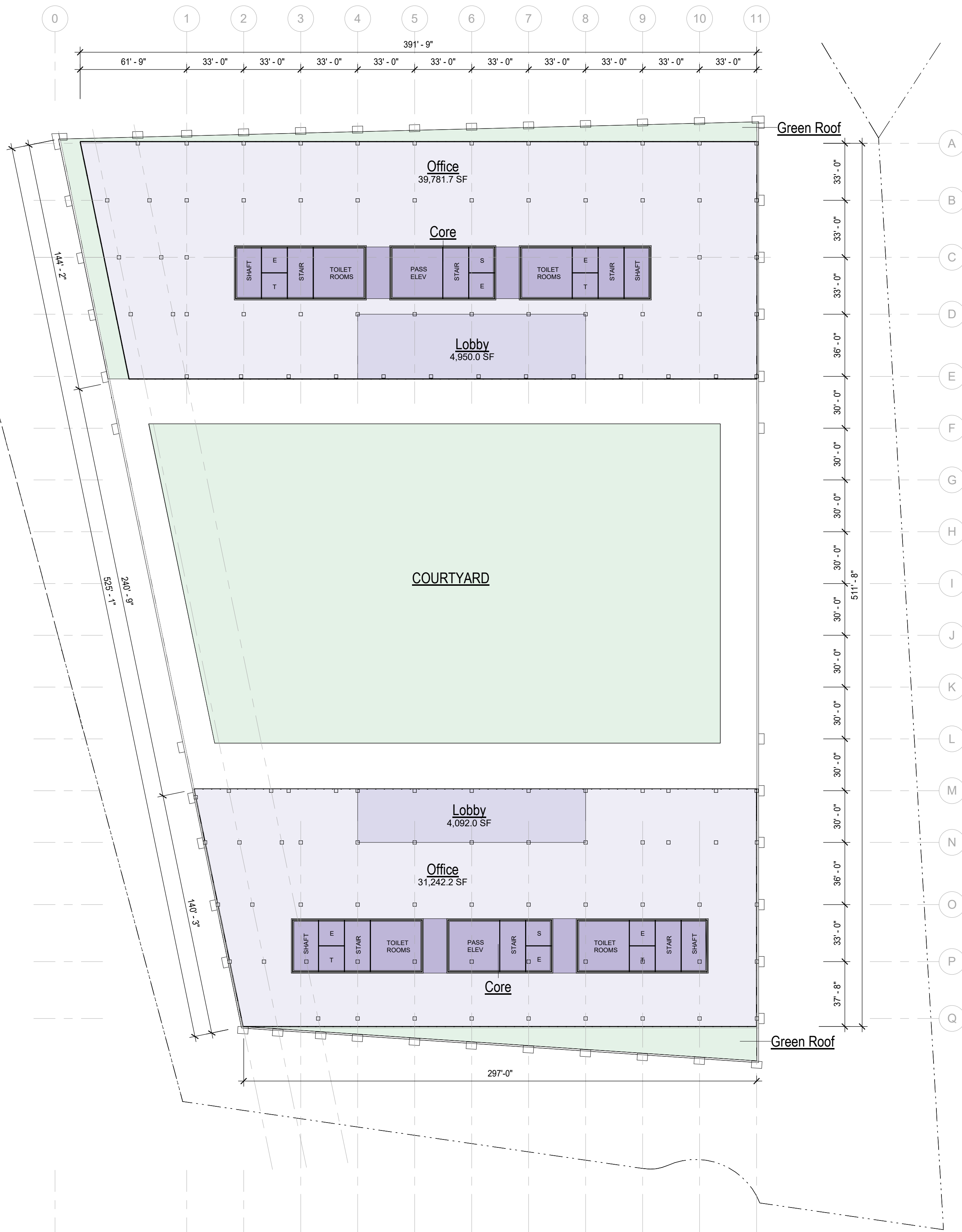


CELLAR FLOOR 1

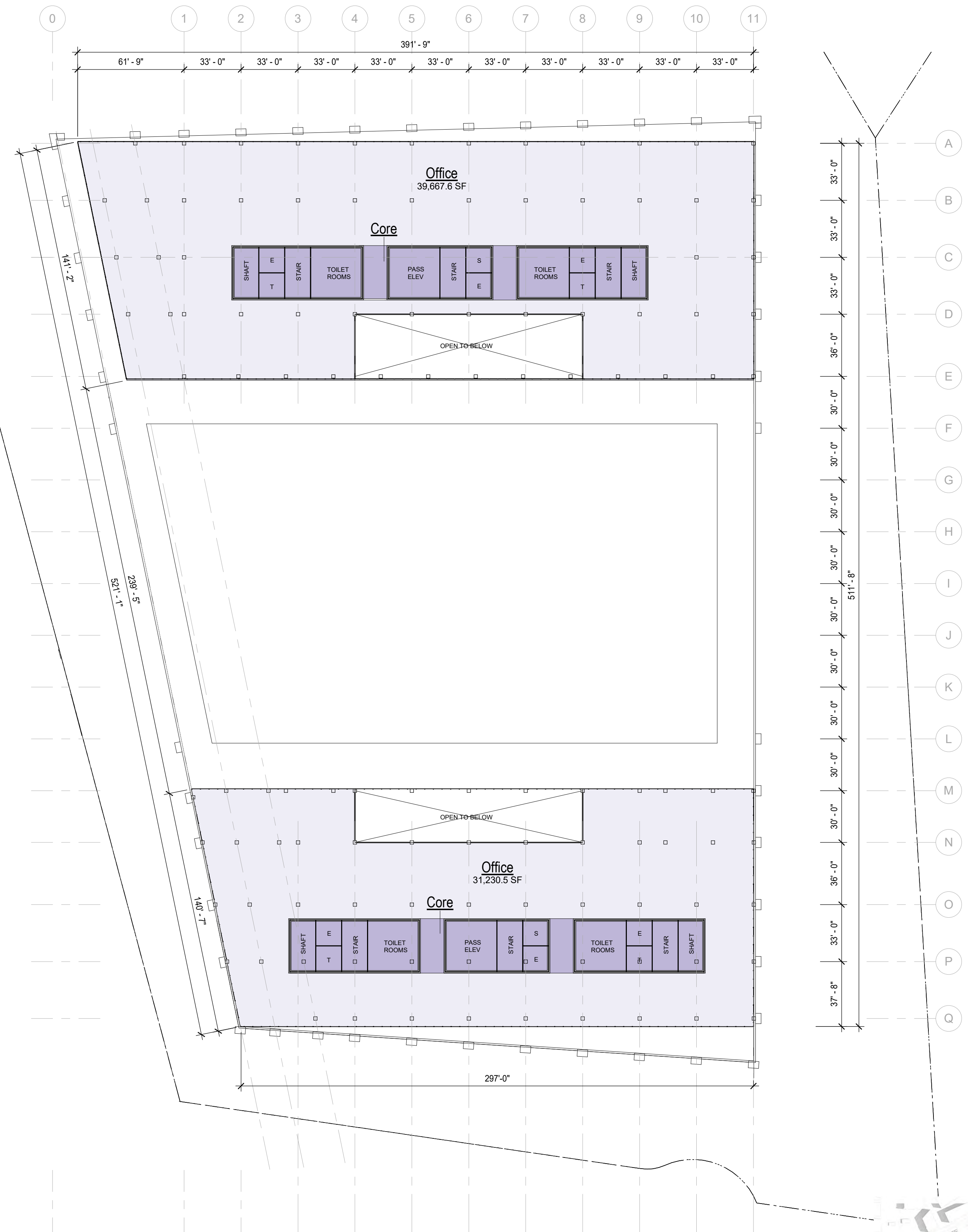


OFFICE FLOOR 2 / PARKING FLOOR 2 & 3 ARE SIMILAR



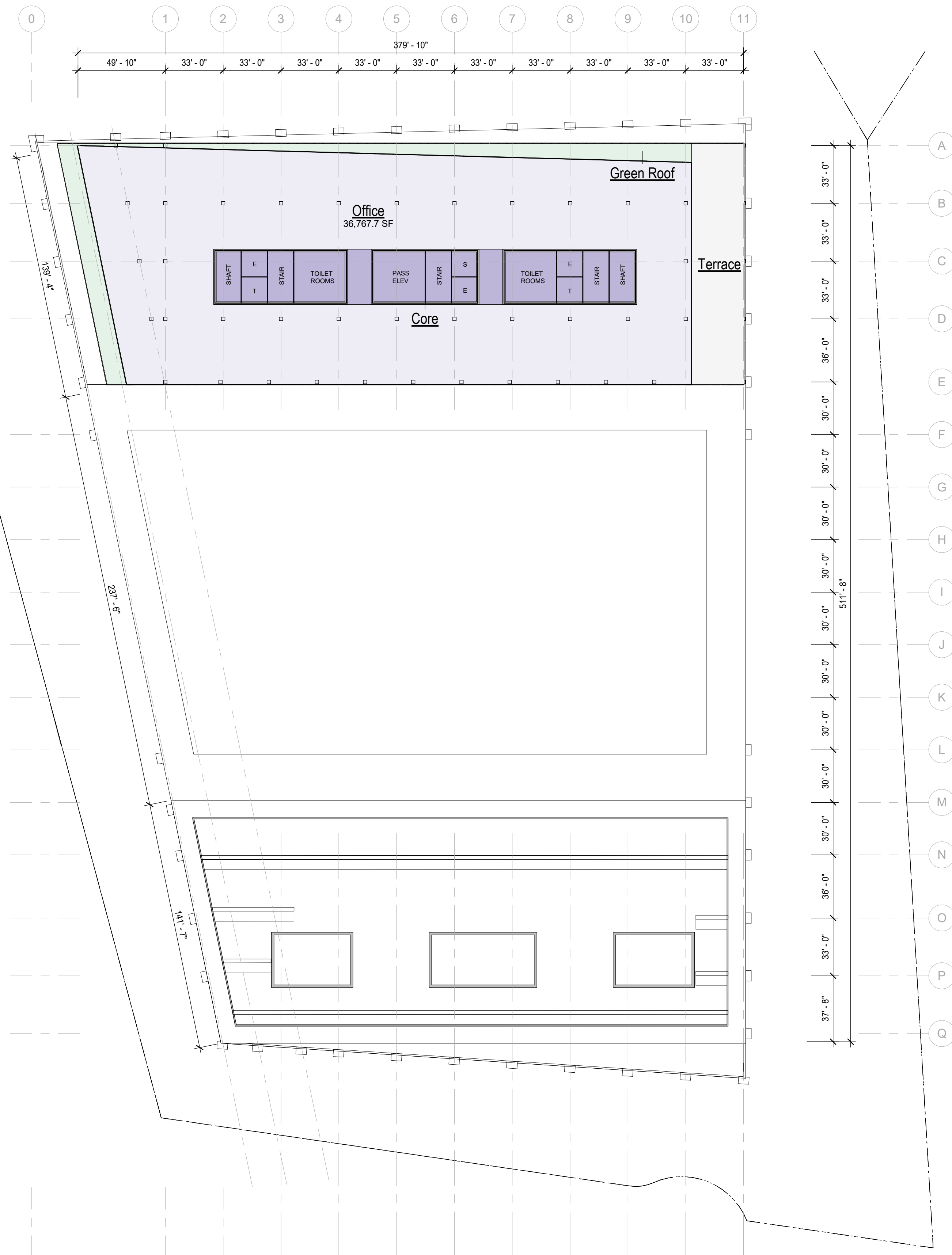


OFFICE FLOOR 3

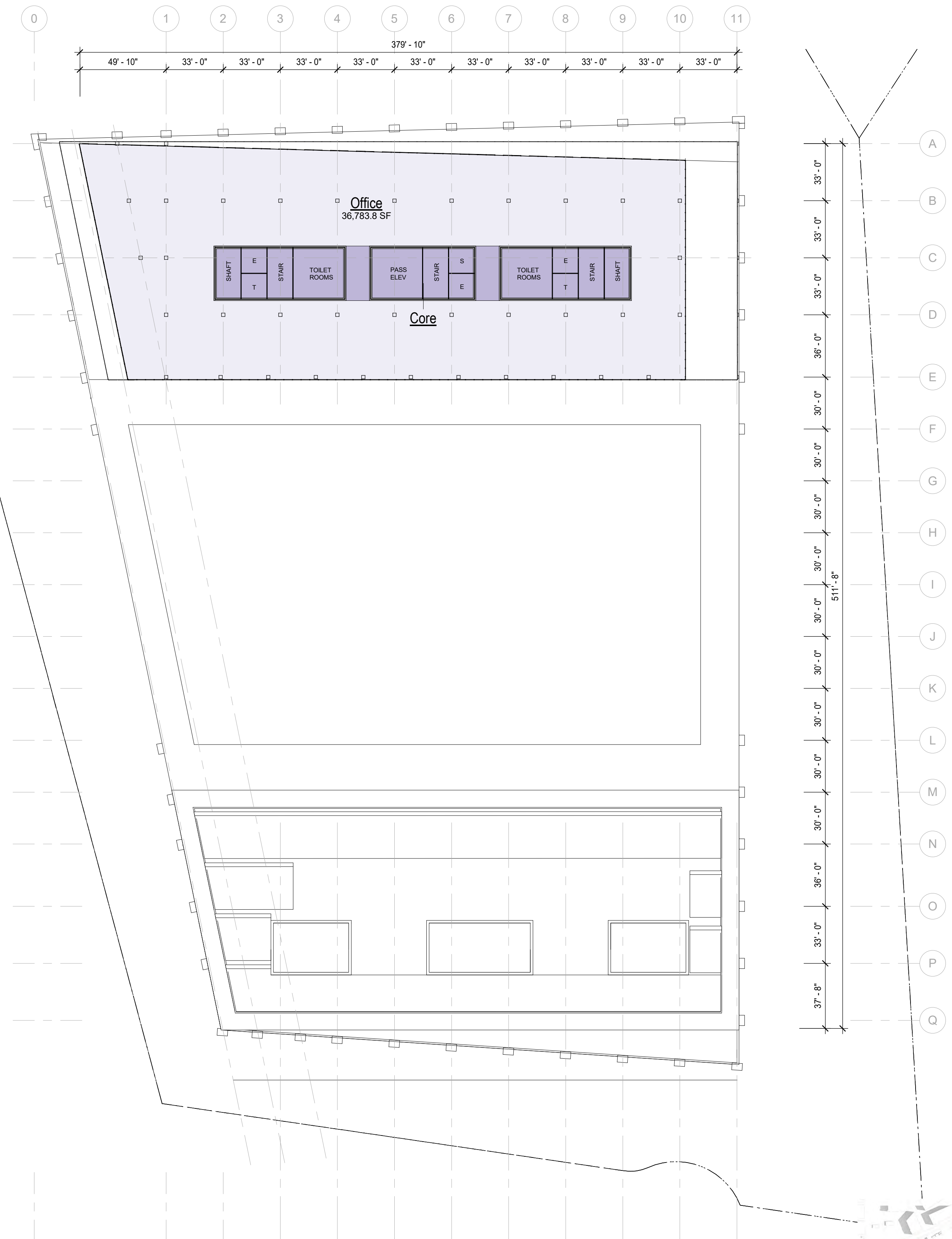


OFFICE FLOOR 4





OFFICE FLOOR 5

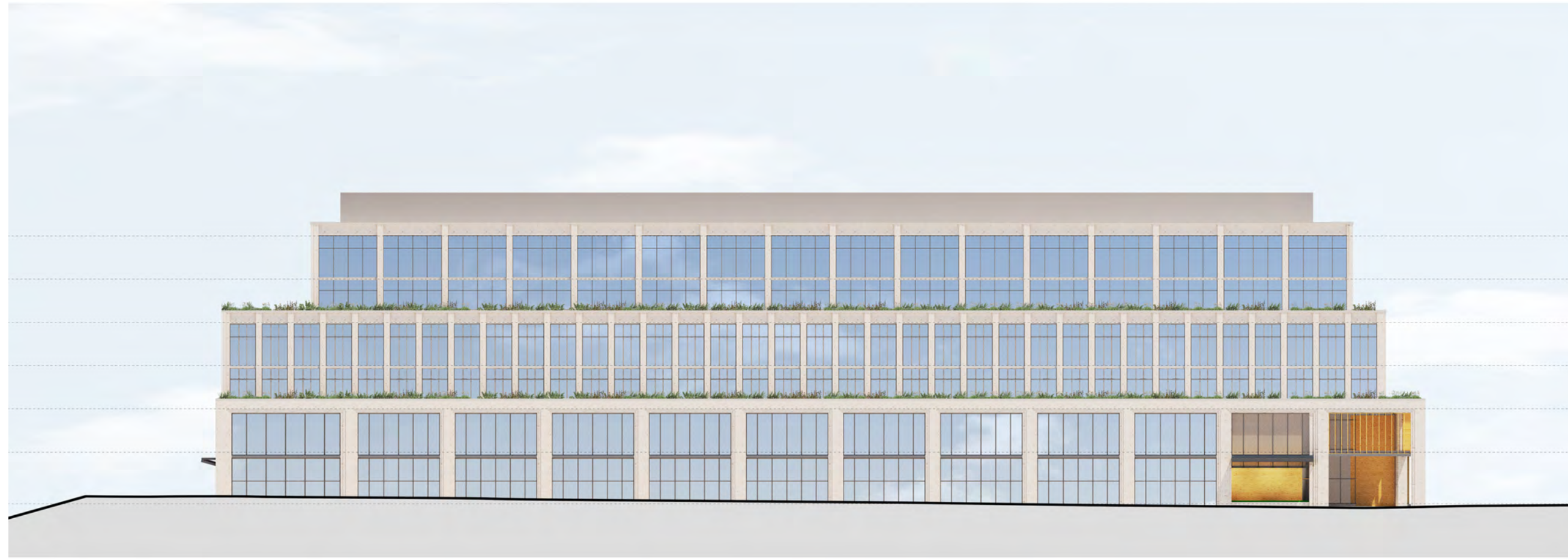


OFFICE FLOOR 6





ROOF PLAN



NORTH ELEVATION



EAST ELEVATION

- TOP OF STACK EL: 110'-6"
- MECHANICAL SCREEN EL: 106'-6"
- ROOF EL: 121'-0" NAVD
- FLOOR 6 EL: 93'-0"
- FLOOR 5 EL: 107'-0" NAVD
- FLOOR 4 EL: 78'-0"
- FLOOR 3 EL: 63'-0"
- FLOOR 2 EL: 77'-0" NAVD
- FLOOR 1 EL: 48'-0"
- FLOOR 0 EL: 18'-0"
- EL: 0'
- EL: 14'-0" NAVD



SOUTH ELEVATION



WEST ELEVATION

- TOP OF STACK EL: 110'-6"
- MECHANICAL SCREEN EL: 106'-6"
- ROOF EL: 121'-0" NAVD
- FLOOR 6 EL: 93'-0"
- FLOOR 5 EL: 107'-0" NAVD
- FLOOR 4 EL: 78'-0"
- FLOOR 3 EL: 63'-0"
- FLOOR 2 EL: 77'-0" NAVD
- FLOOR 1 EL: 48'-0"
- FLOOR 0 EL: 18'-0"
- EL: 0'
- EL: 14'-0" NAVD





OUTDOOR SEATING FOR CAFE & CO-WORKING SPACE
RAISED PORCH AT LOBBY WITH SEATING

ROOFTOP AMENITY SPACE WITH SEATING, PLANTING & PAVED AREAS.
CIVIC PLAZA WITH TREES FOR SHADE, SEATING & BIORETENTION PLANTING

DROP-OFF & TURN-AROUND

BUS-DROP OFF

ROOFTOP AMENITY SPACE WITH SEATING, PLANTING & PAVED AREAS.

WEEKS STREET

RAISED PORCH AT LOBBY WITH OUTDOOR SEATING
FUTURE SCHOOL SITE

DOG PARK

20' WIDE LEVEE ACCESS PATH: 12' WIDE CONCRETE PATH & 8' WIDE LAWN PATH

SLOPE LAWN AMPHITHEATER

STAGE FOR PERFORMANCE

AMENITY BUILDING WITH OUTDOOR ROOFTOP TERRACE & GREEN ROOF
BAYLANDS OVERLOOK

SEATING WITH VIEWS OF BAYLANDS

GRASSY KNOLL
INTERACTIVE WATER JET PLAZA

BAYLANDS OVERLOOK WITH SEATING

STEPPED WOOD AMPHITHEATRE SEATING

OUTDOOR TERRACE WITH KIOSKS & SEATING

LONG BENCH

BAYLANDS OVERLOOK WITH SEATING

MEADOW

OPEN LAWN

OUTDOOR TERRACE FOR MARKET CAFE

BAYLANDS OVERLOOK WITH SEATING

PICNIC & GRILLS AREA

PLAYGROUND

FITNESS AREA

HALF COURT BASKETBALL

FIRE TRUCK ACCESS TO LEVEE & MUTLI-USE PATH ACCESS TO LEVEE

Owner:



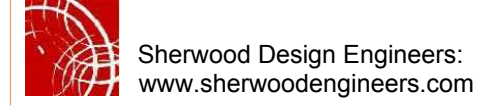
Designer:



Architect of Record:



Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:

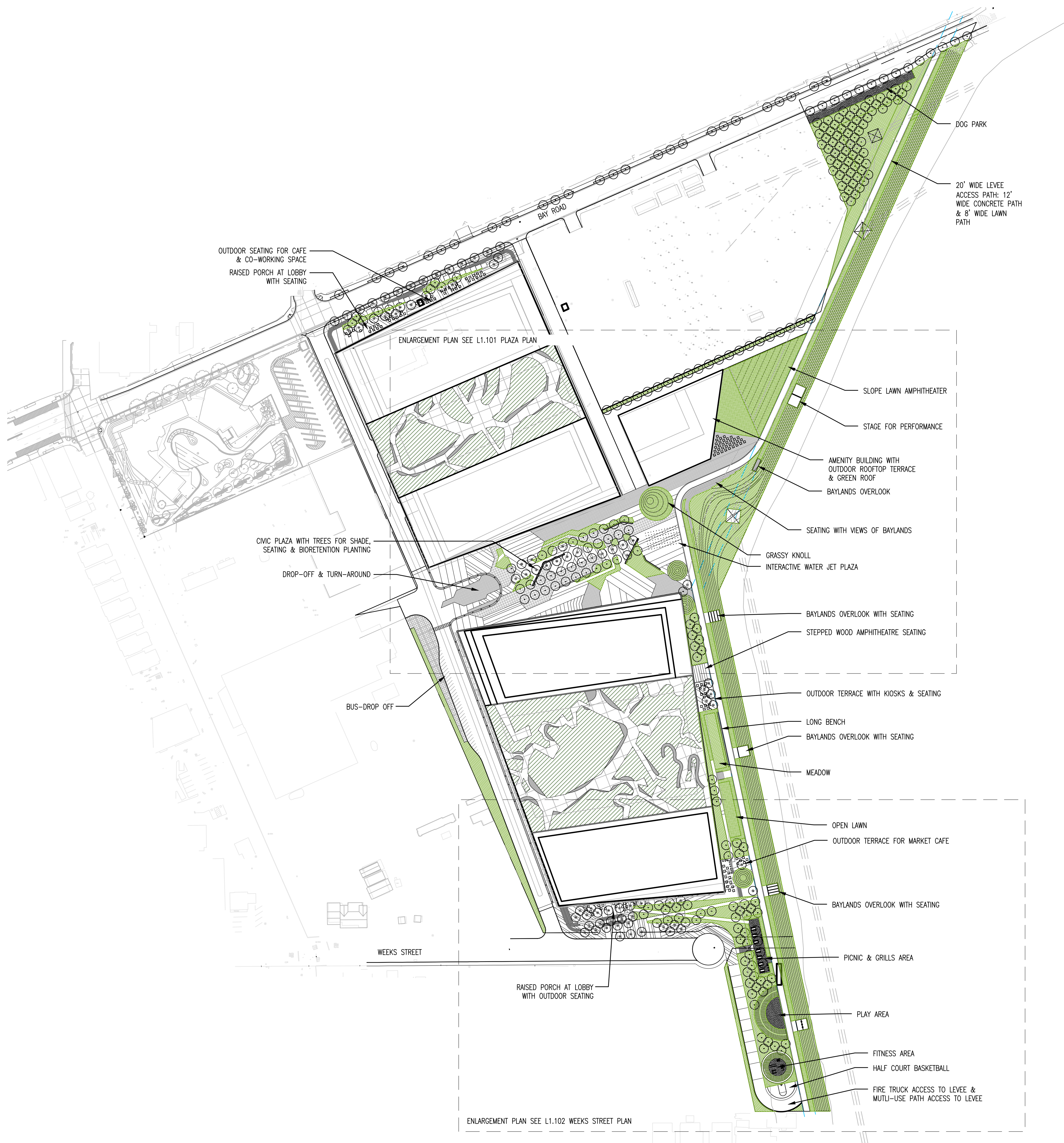


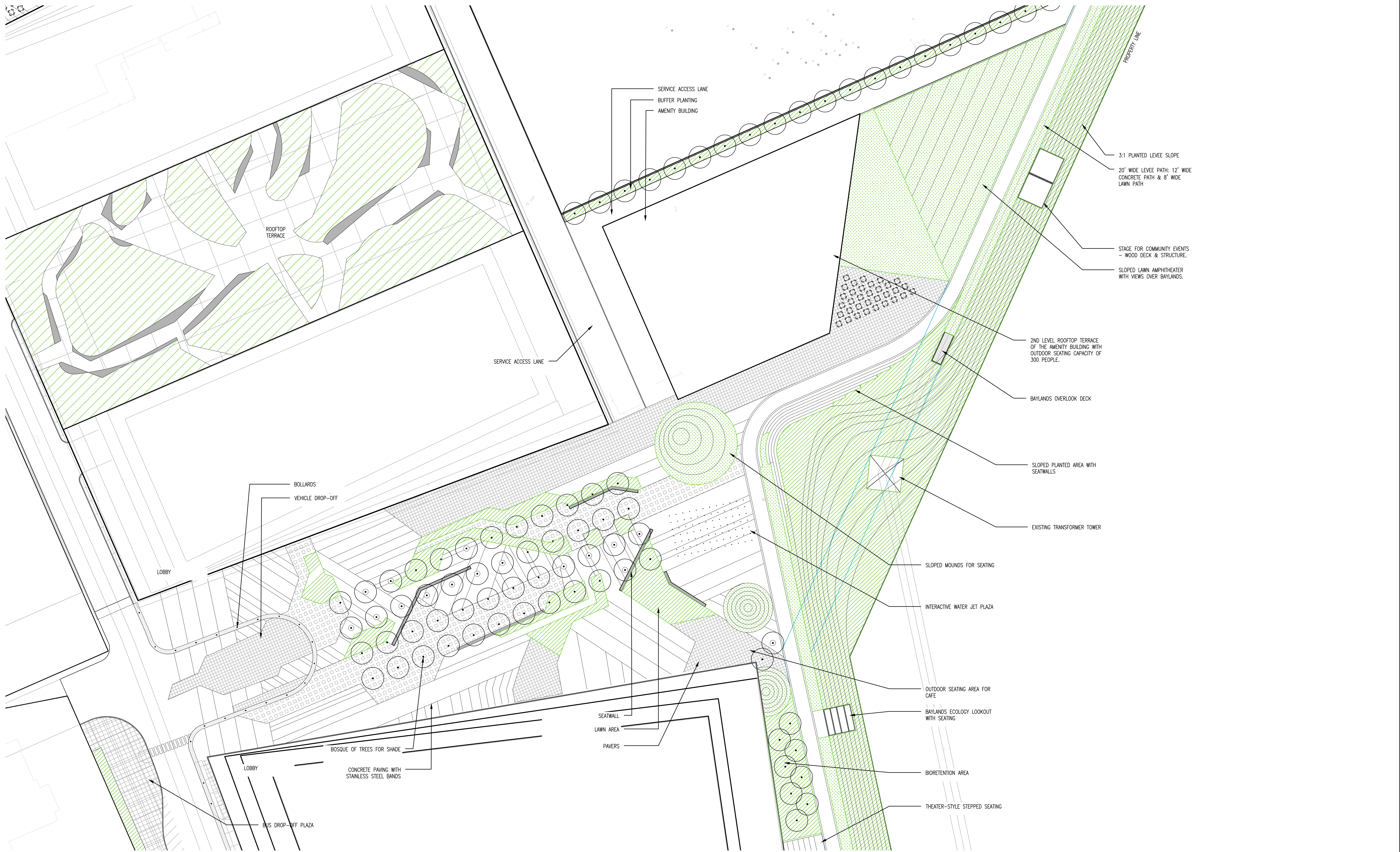
1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

ILLUSTRATIVE SITE PLAN

February 20, 2020







ROOFTOP TERRACE

SERVICE ACCESS LANE
 BUFFER PLANTING
 AMENITY BUILDING

SERVICE ACCESS LANE

3:1 PLANTED LEVEE SLOPE
 20' WIDE LEVEE PATH: 12' WIDE CONCRETE PATH & 8' WIDE LAWN PATH

STAGE FOR COMMUNITY EVENTS - WOOD DECK & STRUCTURE.
 SLOPED LAWN AMPHITHEATER WITH VIEWS OVER BAYLANDS.

2ND LEVEL ROOFTOP TERRACE OF THE AMENITY BUILDING WITH OUTDOOR SEATING CAPACITY OF 300 PEOPLE.

BAYLANDS OVERLOOK DECK

SLOPED PLANTED AREA WITH SEATWALLS

EXISTING TRANSFORMER TOWER

SLOPED MOUNDS FOR SEATING

INTERACTIVE WATER JET PLAZA

OUTDOOR SEATING AREA FOR CAFE

BAYLANDS ECOLOGY LOOKOUT WITH SEATING

BIORETENTION AREA

THEATER-STYLE STEPPED SEATING

LOBBY

BOLLARDS
 VEHICLE DROP-OFF

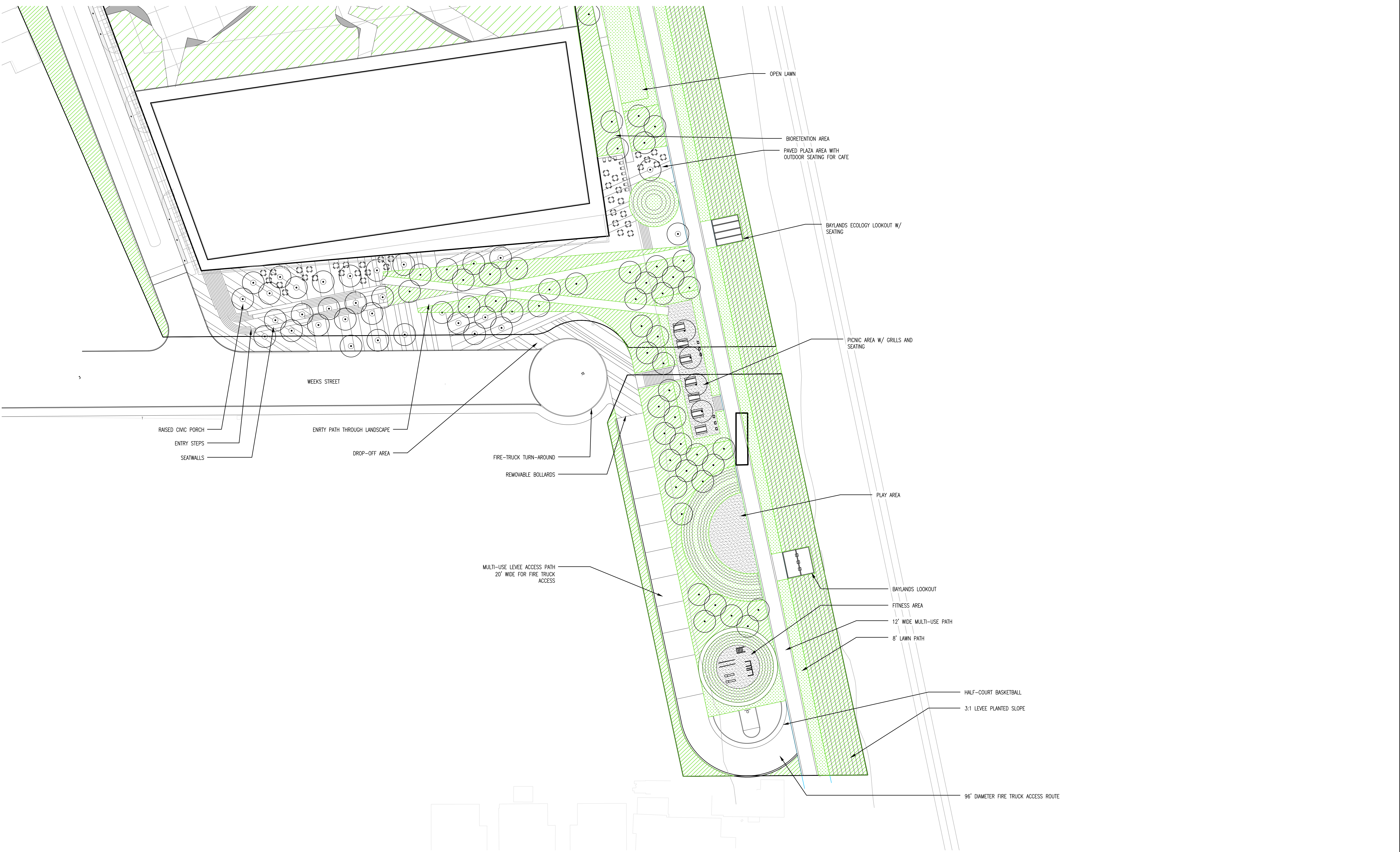
BOSQUE OF TREES FOR SHADE

CONCRETE PAVING WITH STAINLESS STEEL BANDS

LOBBY

BUS DROP-OFF PLAZA

SEATWALL
 LAWN AREA
 PAVERS



- OPEN LAWN
- BIORETENTION AREA
- PAVED PLAZA AREA WITH OUTDOOR SEATING FOR CAFE
- BAYLANDS ECOLOGY LOOKOUT W/ SEATING
- PICNIC AREA W/ GRILLS AND SEATING
- PLAY AREA
- BAYLANDS LOOKOUT
- FITNESS AREA
- 12' WIDE MULTI-USE PATH
- 8' LAWN PATH
- HALF-COURT BASKETBALL
- 3:1 LEVEE PLANTED SLOPE
- 96' DIAMETER FIRE TRUCK ACCESS ROUTE
- WEEKS STREET
- RAISED CIVIC PORCH
- ENTRY STEPS
- SEATWALLS
- ENTRY PATH THROUGH LANDSCAPE
- DROP-OFF AREA
- FIRE-TRUCK TURN-AROUND
- REMOVABLE BOLLARDS
- MULTI-USE LEVEE ACCESS PATH
20' WIDE FOR FIRE TRUCK ACCESS





Owner:



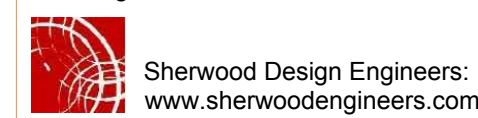
Designer:



Architect of Record:



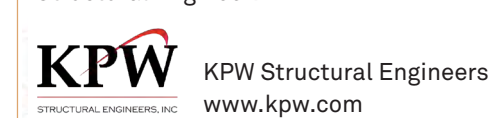
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:



1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

3D VIEW - LEVEE PATH & WEEKS STREET
February 20, 2020





Owner:



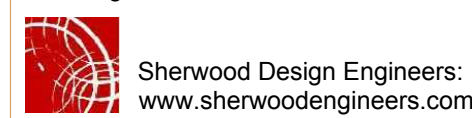
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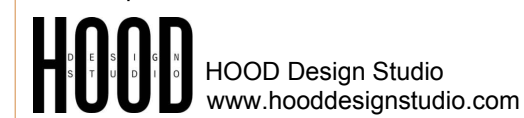
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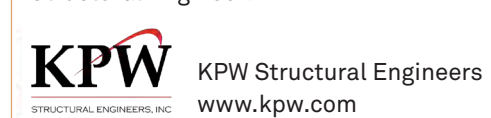
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:



1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

3D VIEW - LEVEE PATH @ WEEKS STREET
February 20, 2020





Owner:



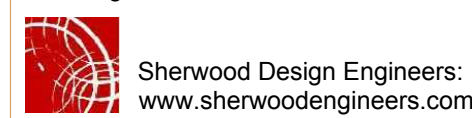
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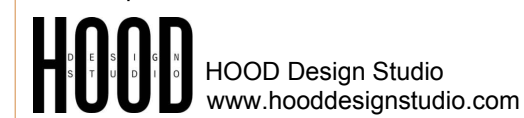
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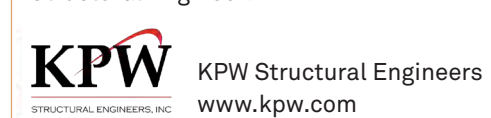
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:



1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

3D VIEW - LEVEE PATH
February 20, 2020





Owner:



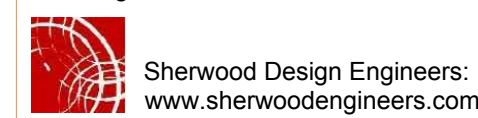
Designer:



Architect of Record:



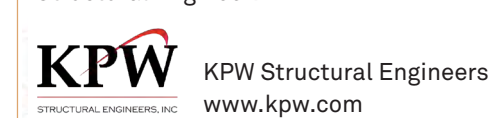
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:



1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

3D VIEW - PLAZA
February 20, 2020



Owner:



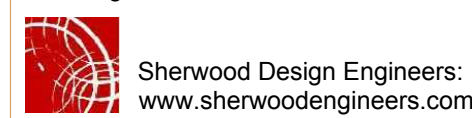
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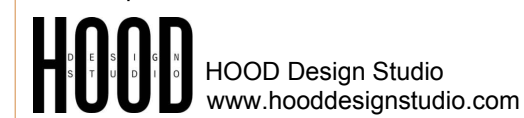
Architect of Record:



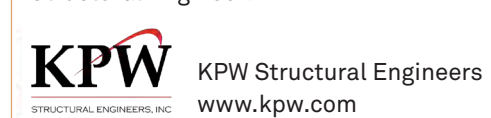
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:



1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

3D VIEW - LAWN AMPHITHEATER AND STAGE
February 20, 2020



Owner:



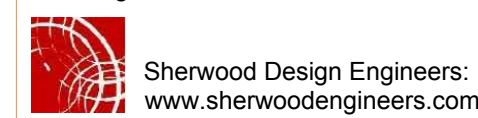
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Architect of Record:



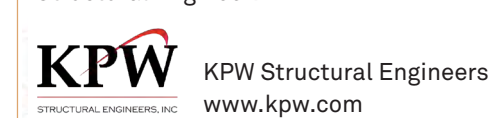
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:



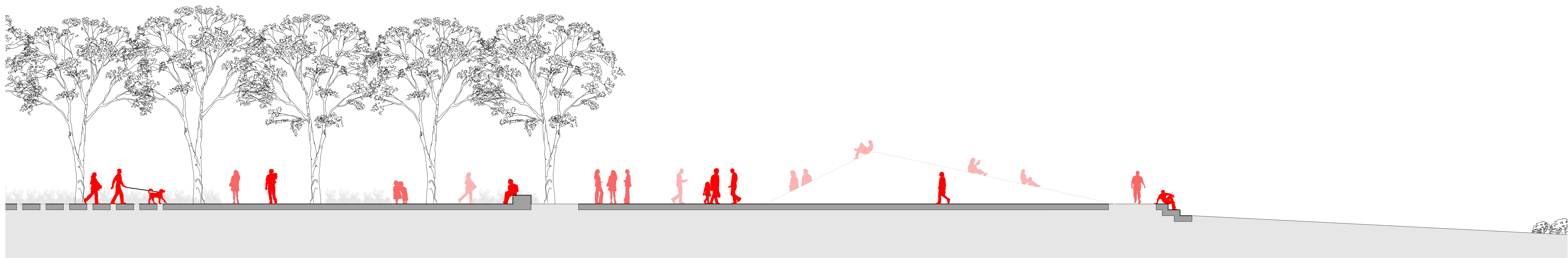
1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

3D VIEW - LAWN AMPHITHEATER AND STAGE
February 20, 2020





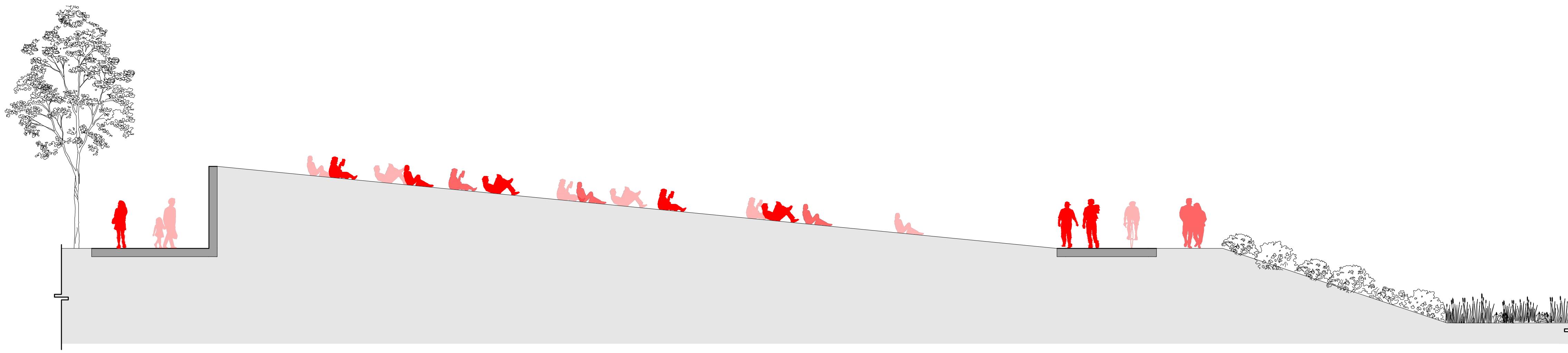
1 PLAZA: EAST-WEST SECTION
SCALE: 1/8" = 1'-0"



2 PLAZA: EAST-WEST SECTION CONT'D
SCALE: 1/8" = 1'-0"



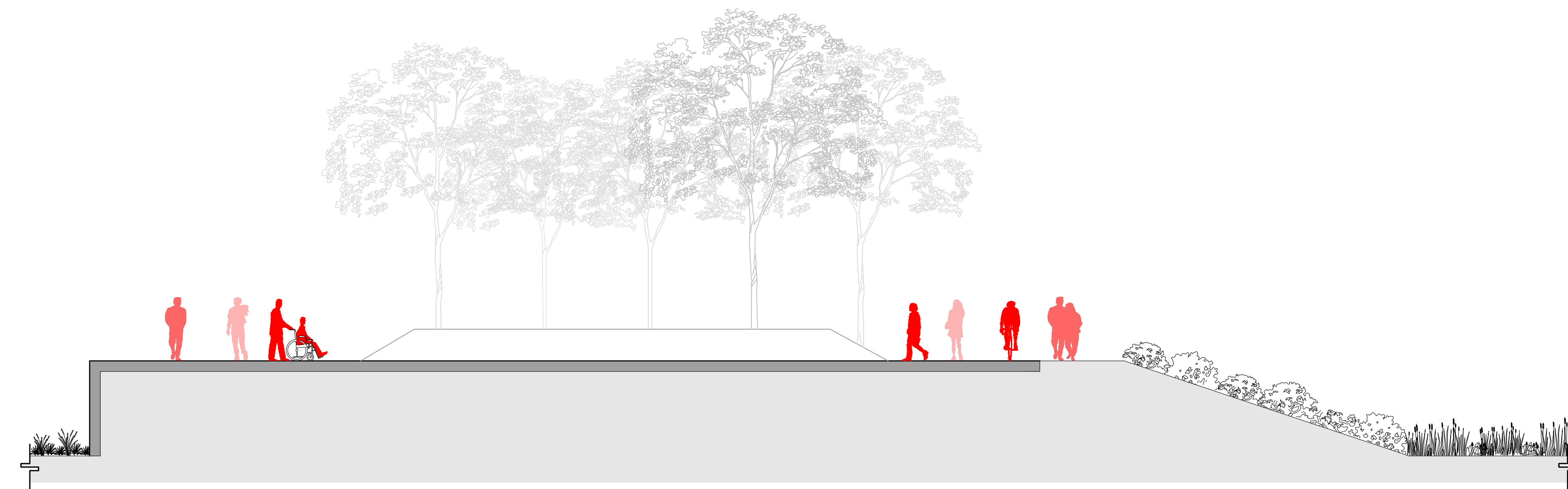
3 PLAZA: NORTH-SOUTH SECTION
SCALE: 3/16" = 1'-0"



1 SLOPED LAWN
SCALE: 1/8" = 1'-0"



2 PLAZA KNOLL
SCALE: 1/8" = 1'-0"



3 PLAZA
SCALE: 1/8" = 1'-0"

Owner:



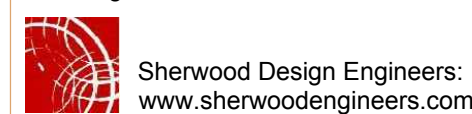
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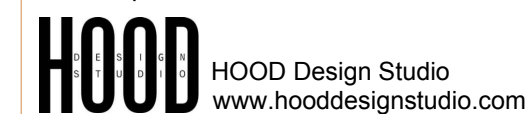
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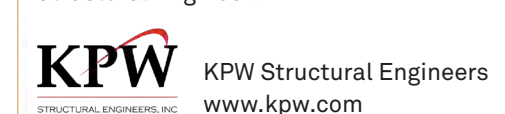
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:

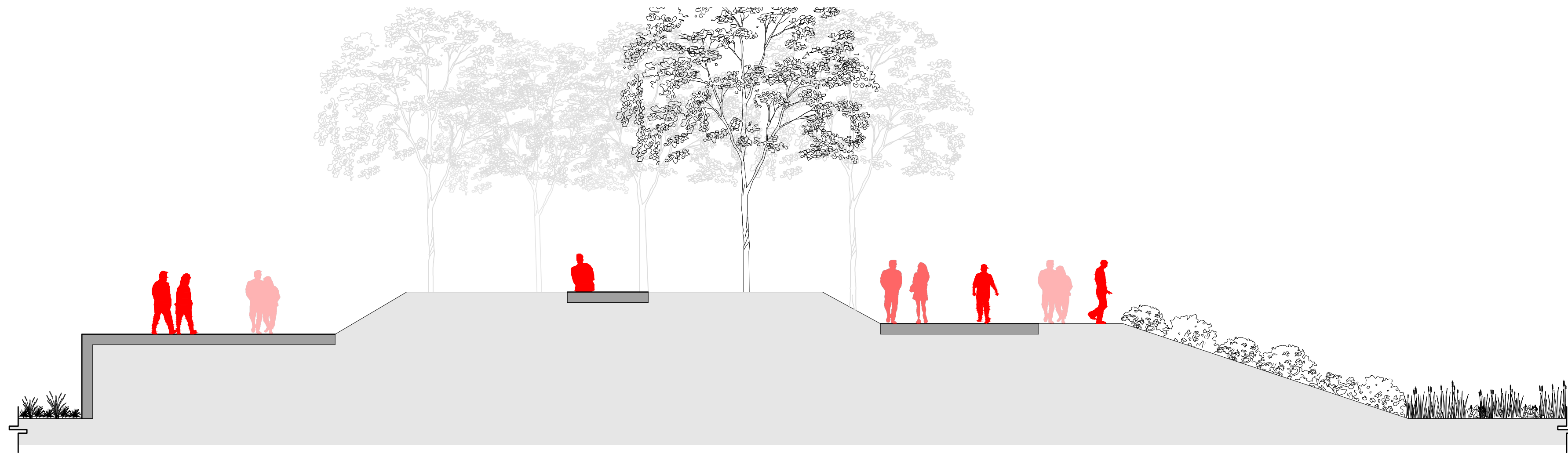


Parking:

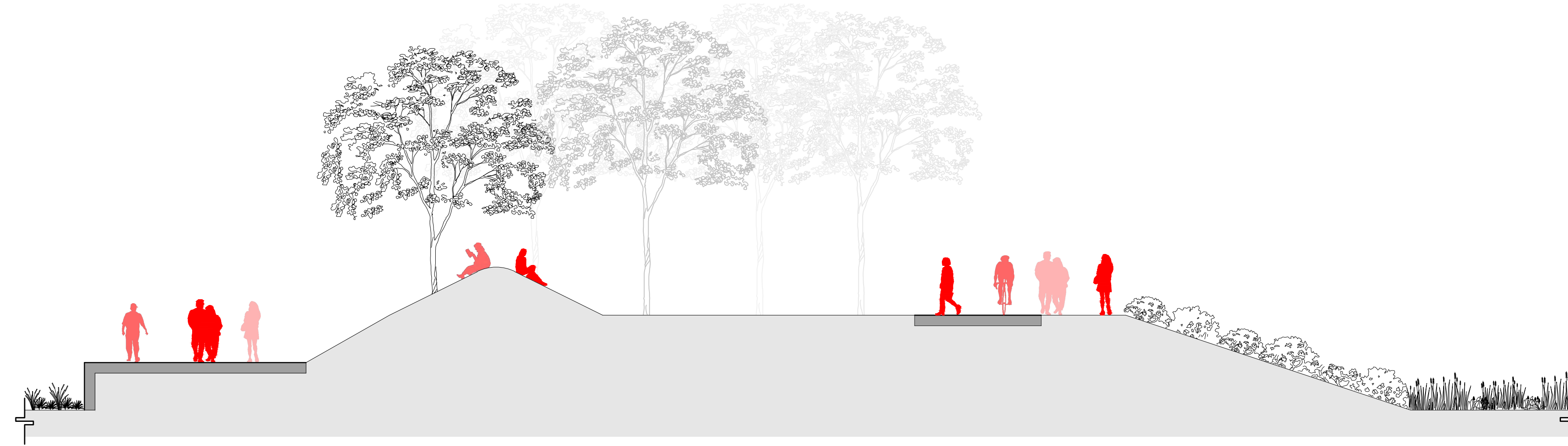


1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

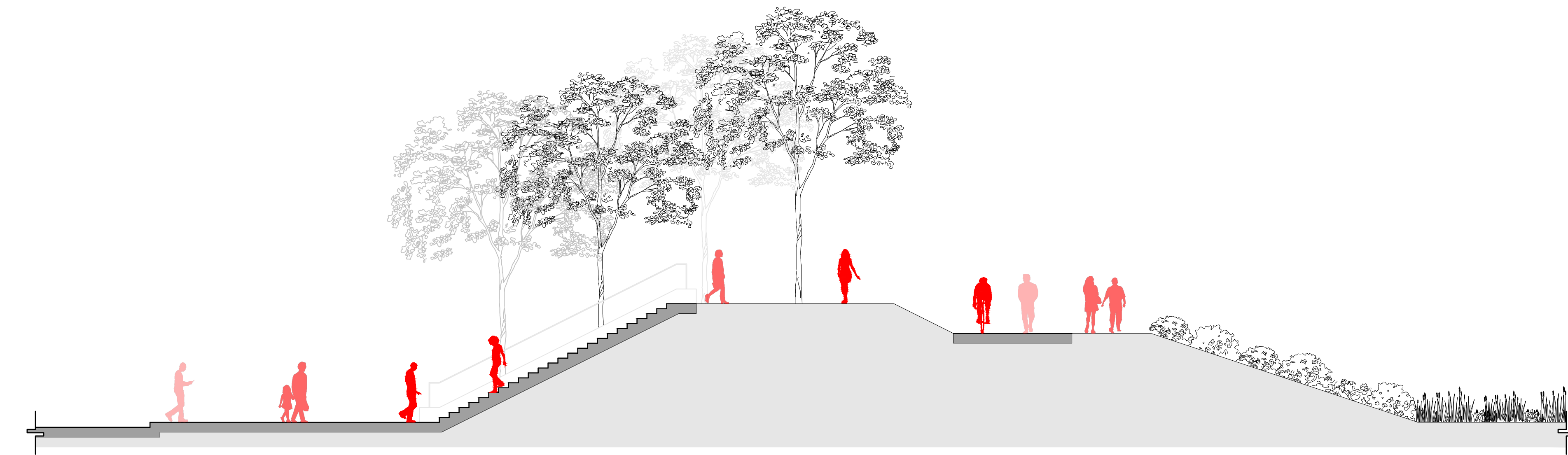
LANDSCAPE SECTIONS
February 20, 2020



1 PROMENTORY
SCALE: 1/8" = 1'-0"



2 FITNESS MOUND
SCALE: 1/8" = 1'-0"



3 PICNIC & GRILLS AREA
SCALE: 1/8" = 1'-0"

Owner:



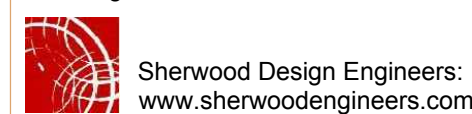
Designer:



Architect of Record:



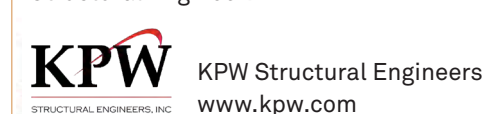
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:

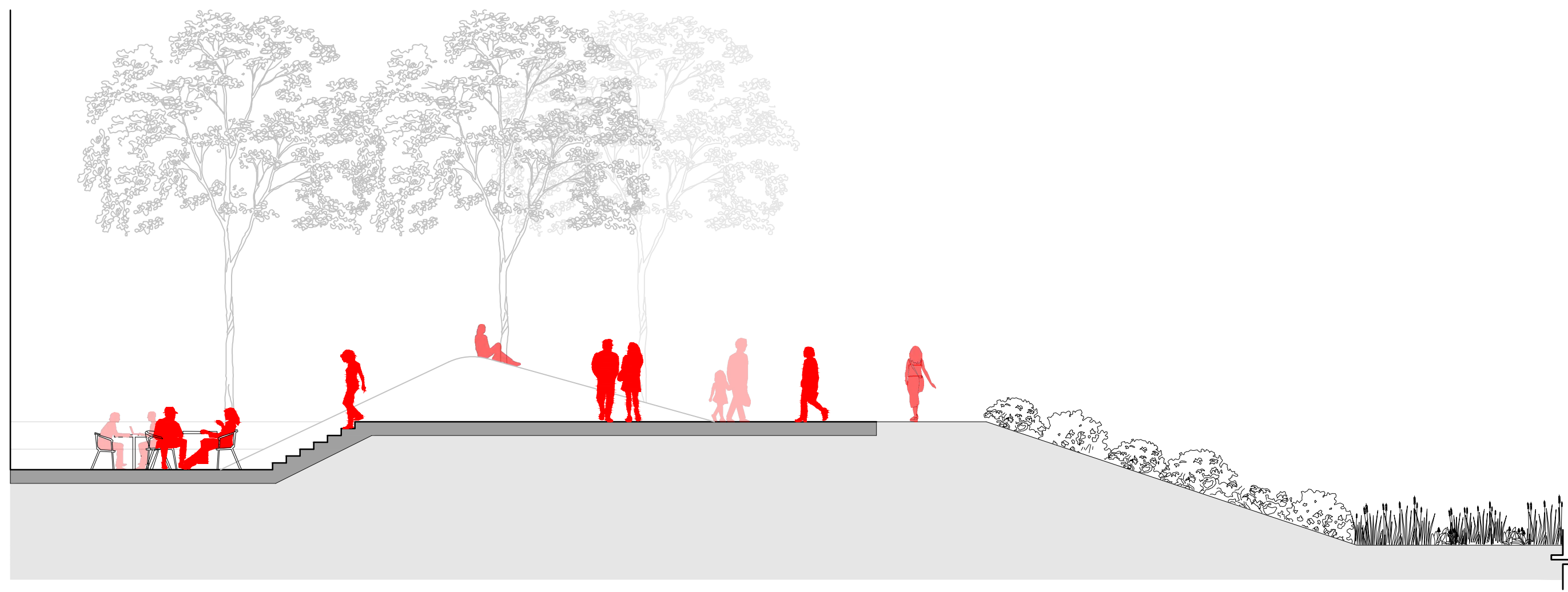


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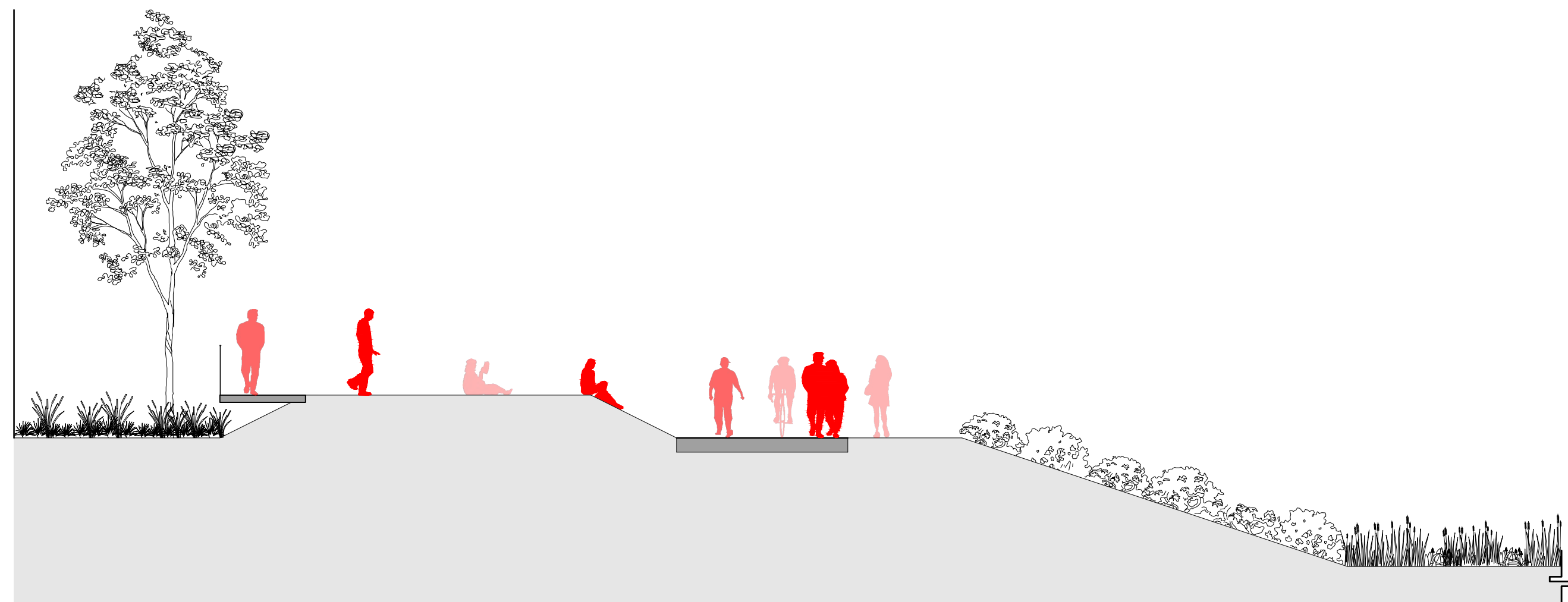


1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

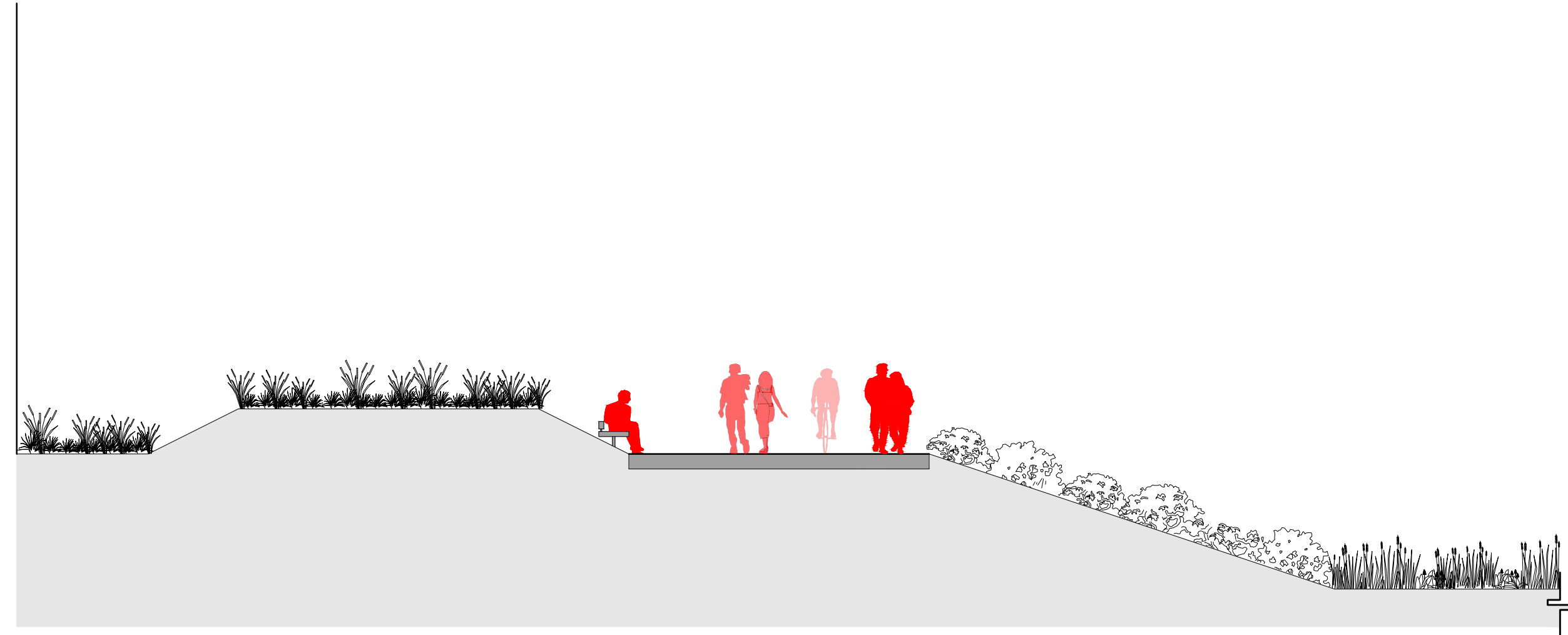
LANDSCAPE SECTIONS
February 20, 2020



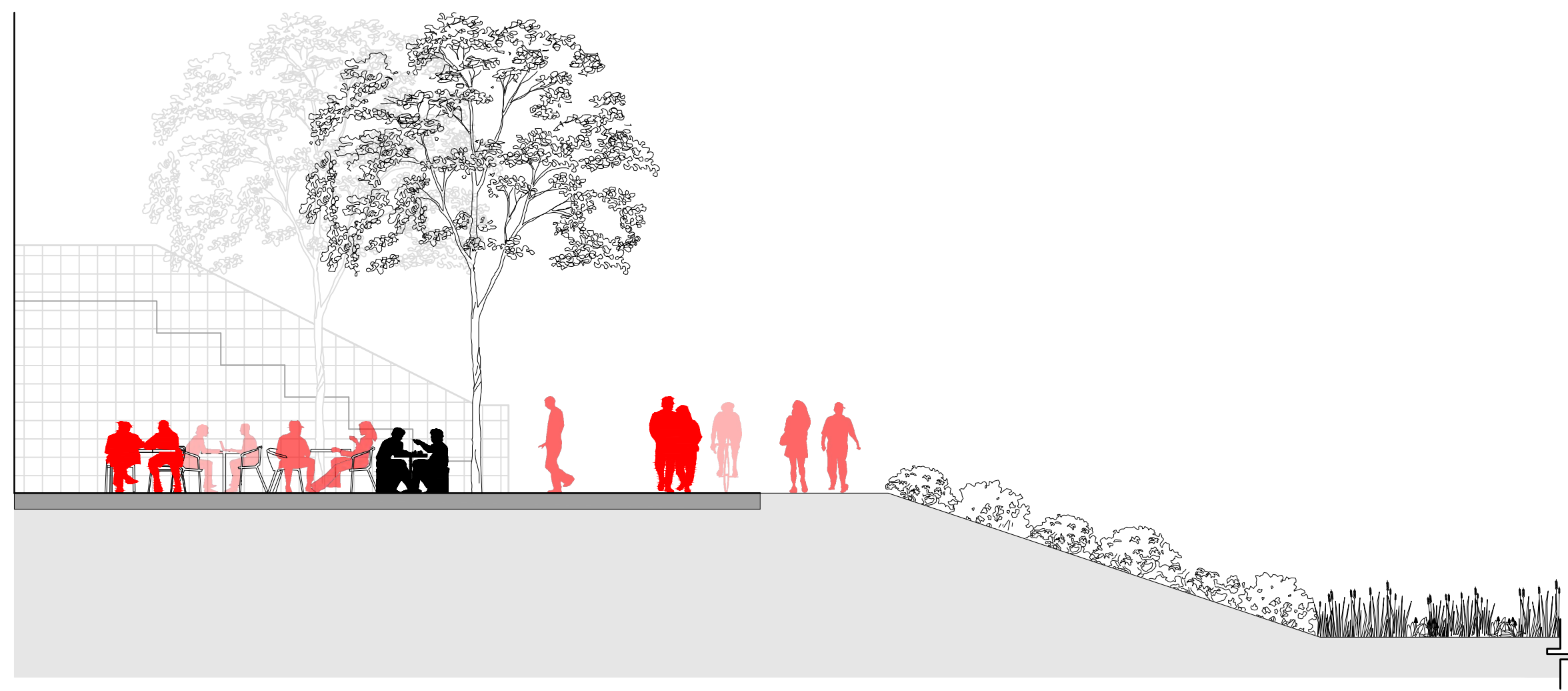
1 MARKET CAFE TERRACE
SCALE: 1/8" = 1'-0"



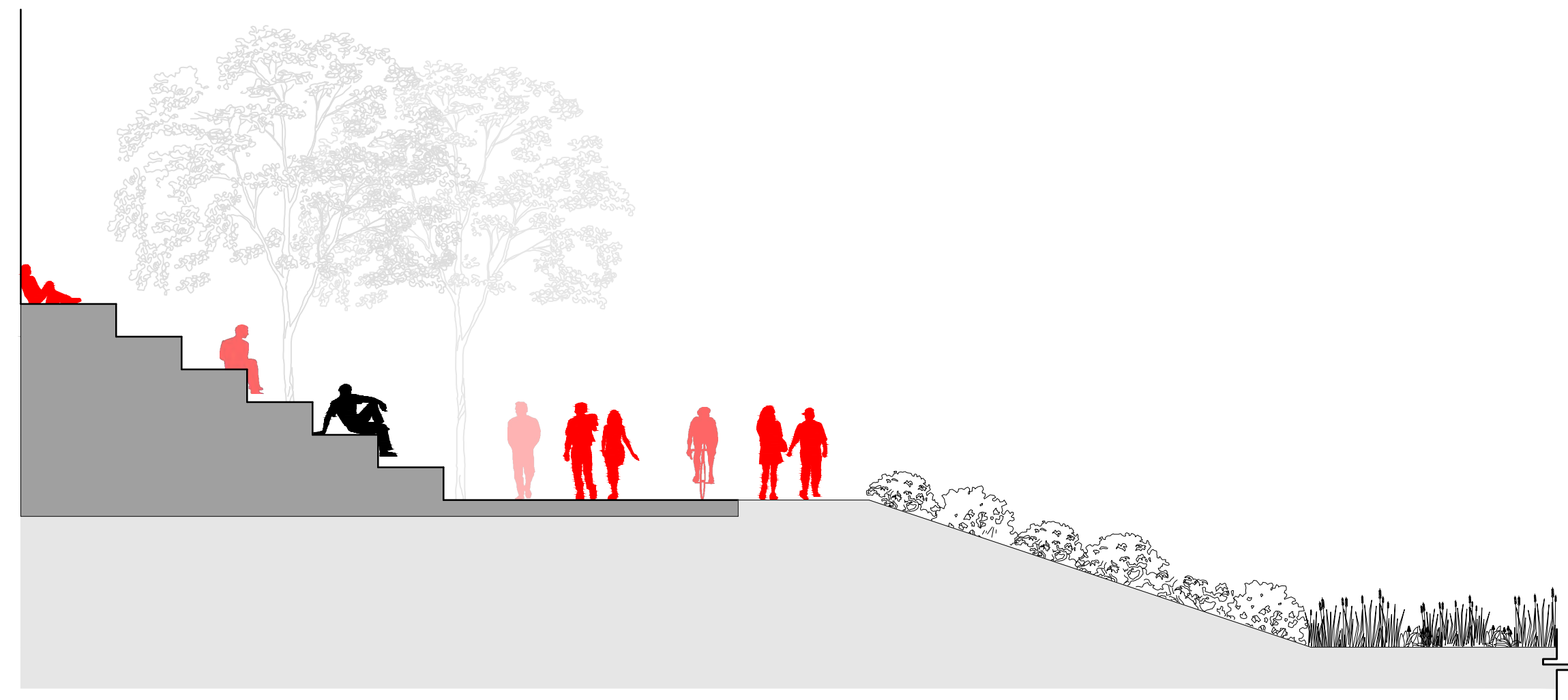
2 OPEN LAWN
SCALE: 1/8" = 1'-0"



3 MEADOW
SCALE: 1/8" = 1'-0"



1 KIOSKS
SCALE: 1/8" = 1'-0"



2 THEATER STEPS
SCALE: 1/8" = 1'-0"

Owner:



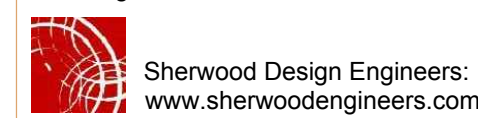
Designer:



Architect of Record:



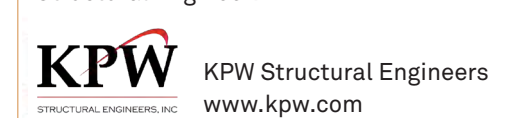
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:

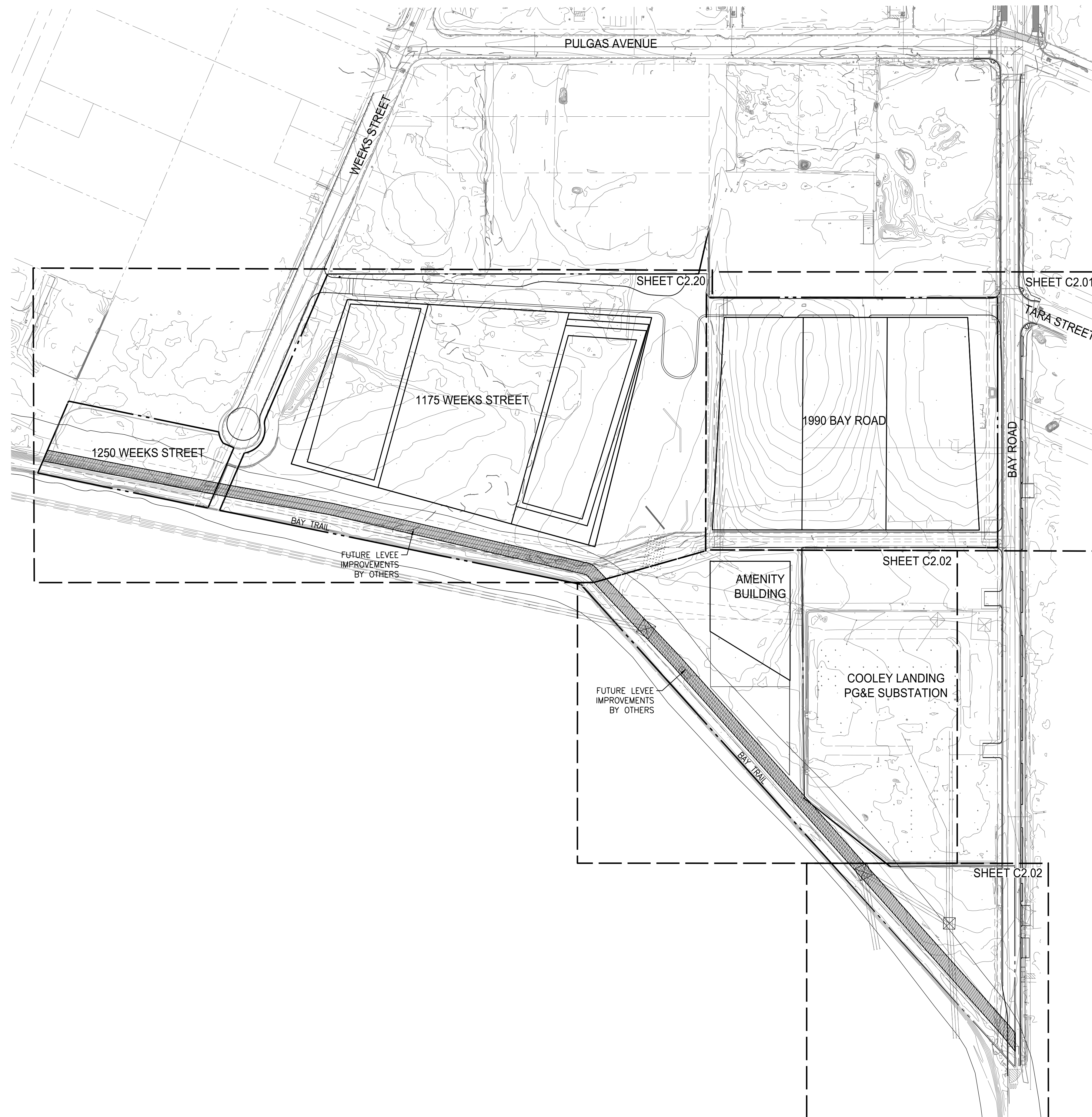


1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

LANDSCAPE SECTIONS
February 20, 2020

GRADING, DRAINAGE & UTILITIES SHEET INDEX

- C2.00 CONCEPT GRADING, DRAINAGE & UTILITIES - KEYMAP
- C2.01 CONCEPT GRADING, DRAINAGE & UTILITIES - 1990 BAY ROAD
- C2.02 CONCEPT GRADING, DRAINAGE & UTILITIES - AMENITY
- C2.20 CONCEPT GRADING, DRAINAGE & UTILITIES - 1175 WEEKS STREET



P:\2019\19-153_EPA_Harvest\03_Design\00_Preliminary Phase\01_CAD\C2.0 Grading, Drainage, and Utilities.dwg (2/20/20 1:47:51 PM) - 1/1

UTILITY - KEYNOTES

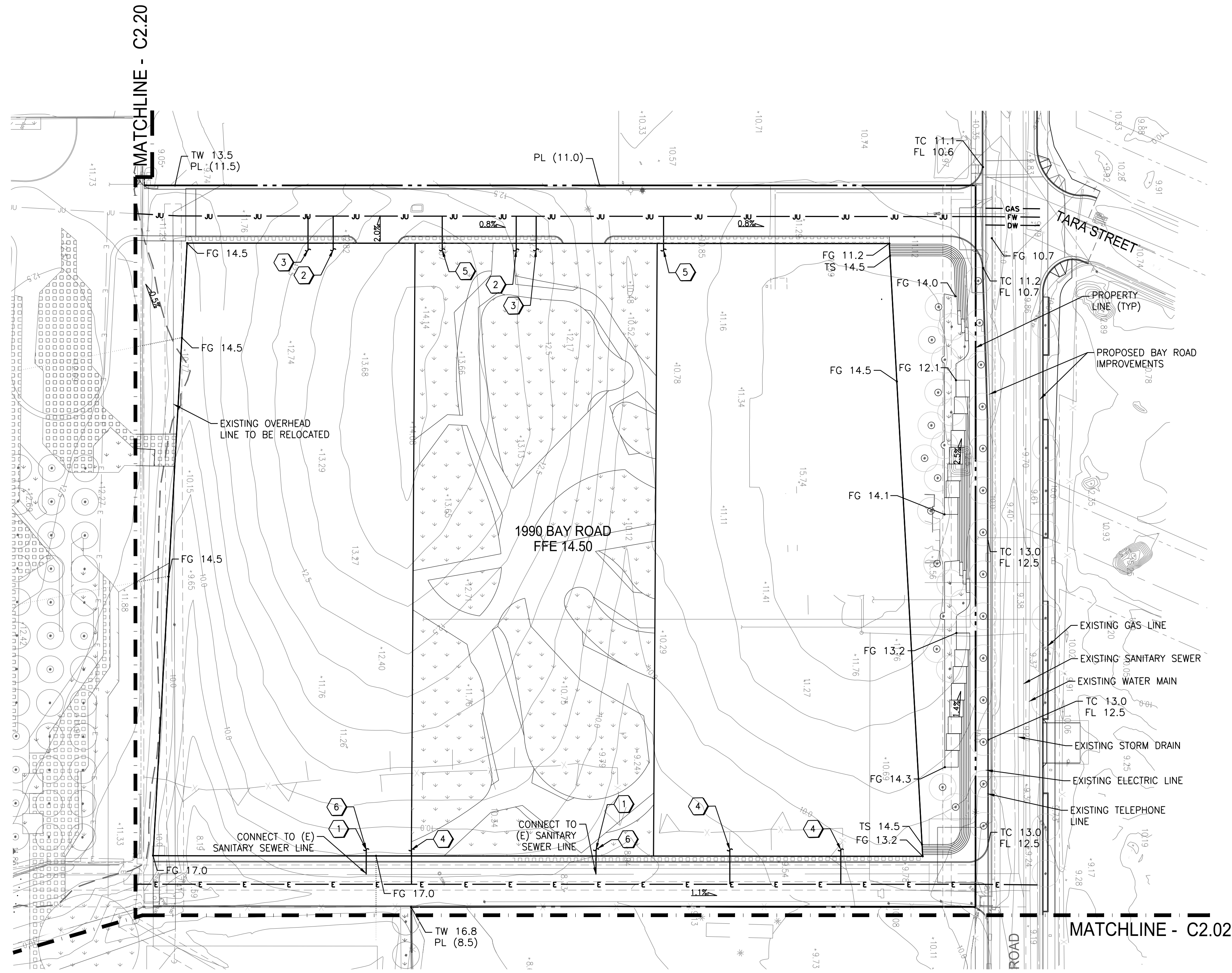
- 1 SANITARY SEWER CONNECTION
- 2 DOMESTIC WATER CONNECTION
- 3 FIRE SERVICE CONNECTION
- 4 ELECTRIC/TELECOMMUNICATION CONNECTION
- 5 GAS CONNECTION
- 6 STORM DRAIN CONNECTION

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
GRADE BREAK	---	---
MINOR CONTOUR	---	---
MAJOR CONTOUR	---	---
SWALE	---	---
SLOPE	---	1.8%
EXISTING FLOW LINE	---	FL (12.0)
EXISTING PROPERTY LINE	---	PL (11.0)
PROPOSED BACK OF SIDEWALK	---	BW 12.1
PROPOSED FINISHED GRADE	---	FG 12.0
STORM DRAIN LINE	SD	SD
SANITARY SEWER LINE	SS	SS
SANITARY SEWER LATERAL	---	---
FIRE WATER LINE	FW	FW
DOMESTIC WATER LINE	DW	DW
JOINT UTILITY TRENCH	JU	JU
ELECTRICAL/TELECOMMUNICATION	E	E
GAS LINE	GAS	GAS
LANDSCAPING, SLP	---	---
PERMEABLE PAVEMENT, SLP	---	---
FUTURE LEVEE CREST	---	---

NOTES

- PROPOSED GRADES AND UTILITIES SHOWN ARE CONCEPTUAL. FINAL GRADES TO BE DEVELOPED DURING THE DESIGN PHASE.
- FUTURE GRADING WILL CONFORM TO EXISTING CONDITIONS AT THE PROJECT PERIMETER.
- ALL GRADING SHALL COMPLY WITH APPLICABLE PERMITS, LOCAL ORDINANCES AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- PROJECT TO CONFORM WITH FUTURE BAY ROAD IMPROVEMENT PROJECT BY OTHERS.
- PROPOSED EXTENTS OF LEVEE IMPROVEMENTS ARE SHOWN FOR REFERENCE ONLY. FINAL LEVEE DESIGN BY OTHERS.



1 1990 BAY ROAD

SCALE: 1" = 40'

Owner:



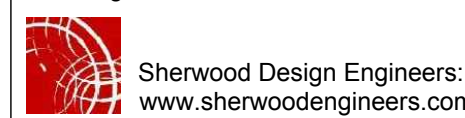
Designer:



Architect of Record:



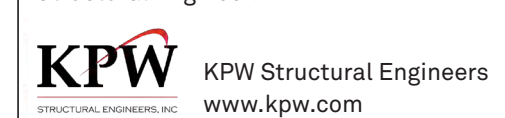
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:

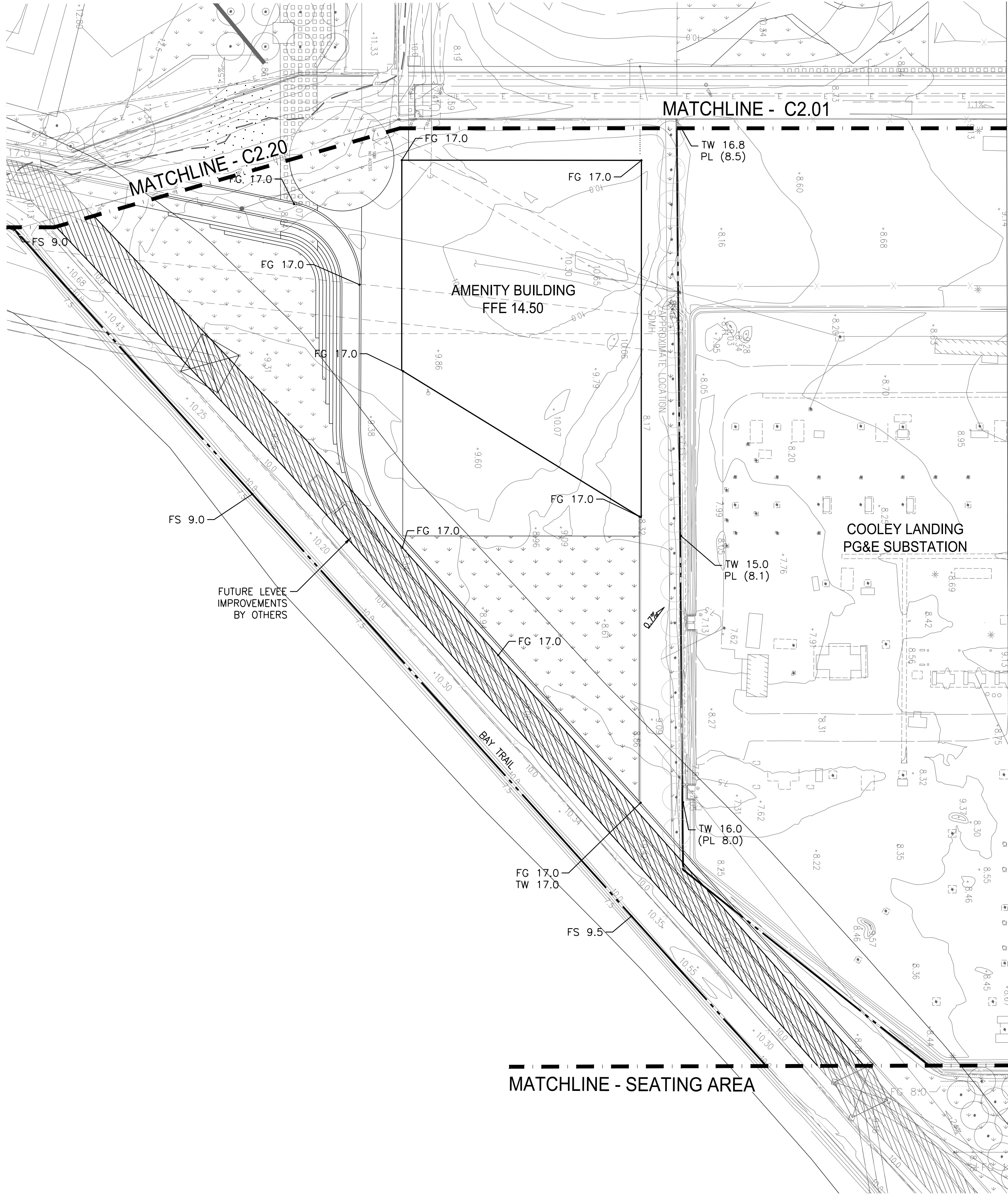


1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

CONCEPT GRADING, DRAINAGE & UTILITIES -
1990 BAY ROAD
February 20, 2020

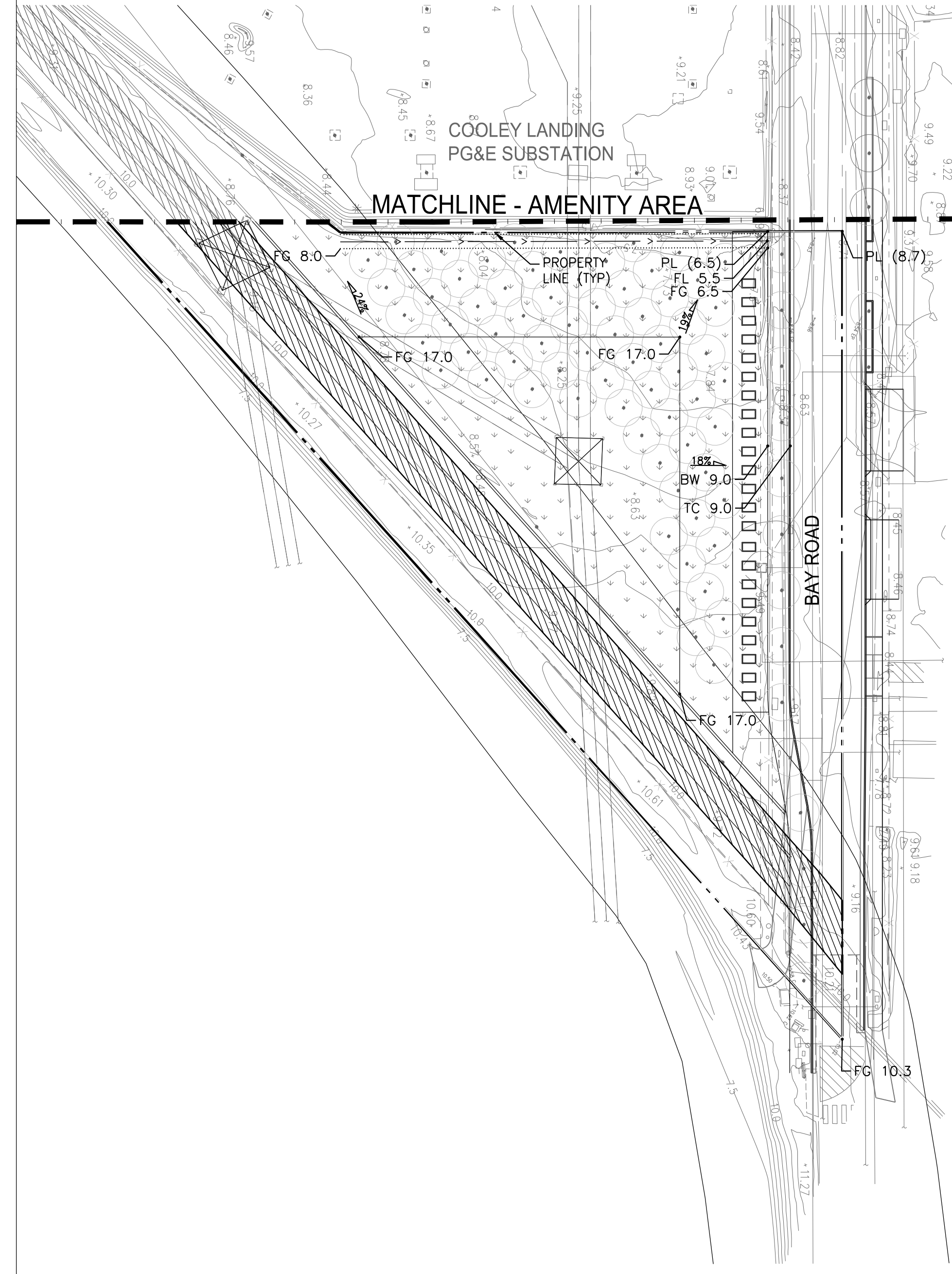


C2.01



2 AMENITY AREA

SCALE: 1" = 40'



3 SEATING AREA

SCALE: 1" = 40'

UTILITY - KEYNOTES

- 1 SANITARY SEWER CONNECTION
- 2 DOMESTIC WATER CONNECTION
- 3 FIRE SERVICE CONNECTION
- 4 ELECTRIC/TELECOMMUNICATION CONNECTION
- 5 GAS CONNECTION
- 6 STORM DRAIN CONNECTION

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
GRADE BREAK	---	---
MINOR CONTOUR	---	---
MAJOR CONTOUR	---	---
SWALE	---	---
SLOPE	---	1.8%
EXISTING FLOW LINE	---	FL (12.0)
EXISTING PROPERTY LINE	---	PL (11.0)
PROPOSED BACK OF SIDEWALK	---	BW 12.1
PROPOSED FINISHED GRADE	---	FG 12.0
STORM DRAIN LINE	SD	SD
SANITARY SEWER LINE	SS	SS
SANITARY SEWER LATERAL	---	---
FIRE WATER LINE	FW	FW
DOMESTIC WATER LINE	DW	DW
JOINT UTILITY TRENCH	JU	JU
ELECTRICAL/TELECOMMUNICATION LINE	E	E
GAS LINE	---	---
LANDSCAPING, SLP	---	---
PERMEABLE PAVEMENT, SLP	---	---
FUTURE LEVEE CREST	---	---

NOTES

1. PROPOSED GRADES AND UTILITIES SHOWN ARE CONCEPTUAL. FINAL GRADES TO BE DEVELOPED DURING THE DESIGN PHASE.
2. FUTURE GRADING WILL CONFORM TO EXISTING CONDITIONS AT THE PROJECT PERIMETER.
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4. PROJECT TO CONFORM WITH FUTURE BAY ROAD IMPROVEMENT PROJECT (BY OTHERS).
5. PROPOSED EXTENTS OF LEVEE IMPROVEMENTS ARE SHOWN FOR REFERENCE ONLY. FINAL LEVEE DESIGN BY OTHERS.

P:\2019\19-153_EDA_Harvest\03_Design\00_Preliminary Phase\01_CAD\C2.0 Grading, Drainage, and Utilities.dwg, C2.02, Kovach, Loo, 2/18/2020 1:50:05 PM, -1-11

NOTES

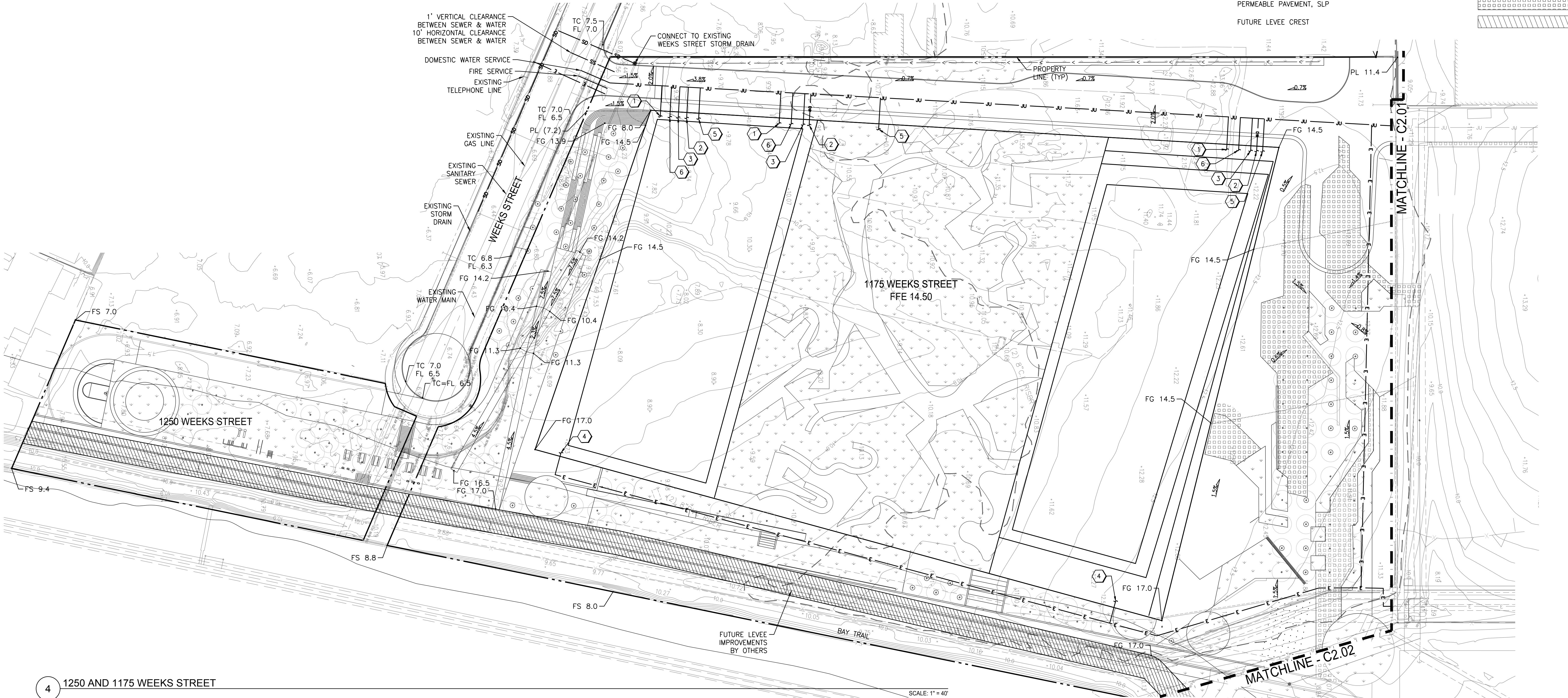
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5. PROPOSED EXTENTS OF LEVEE IMPROVEMENTS ARE SHOWN FOR REFERENCE ONLY. FINAL LEVEE DESIGN BY OTHERS.

UTILITY - KEYNOTES

- 1 SANITARY SEWER CONNECTION
- 2 DOMESTIC WATER CONNECTION
- 3 FIRE SERVICE CONNECTION
- 4 ELECTRIC/TELECOMMUNICATION CONNECTION
- 5 GAS CONNECTION
- 6 STORM DRAIN CONNECTION

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
GRADE BREAK	---	---
MINOR CONTOUR	---	---
MAJOR CONTOUR	---	---
SWALE	---	---
SLOPE	---	1.8%
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PROPOSED BACK OF SIDEWALK	---	BW 12.1
PROPOSED FINISHED GRADE	---	FG 12.0
STORM DRAIN LINE	SD --- SD	SD --- SD
SANITARY SEWER LINE	SS --- SS	SS --- SS
SANITARY SEWER LATERAL	---	FW --- FW
FIRE WATER LINE	---	DW --- DW
DOMESTIC WATER LINE	---	DW --- DW
JOINT UTILITY TRENCH	JU --- JU	JU --- JU
ELECTRICAL/TELECOMMUNICATION	E --- E	E --- E
LANDSCAPING, SLP	---	---
PERMEABLE PAVEMENT, SLP	---	---
FUTURE LEVEE CREST	---	---

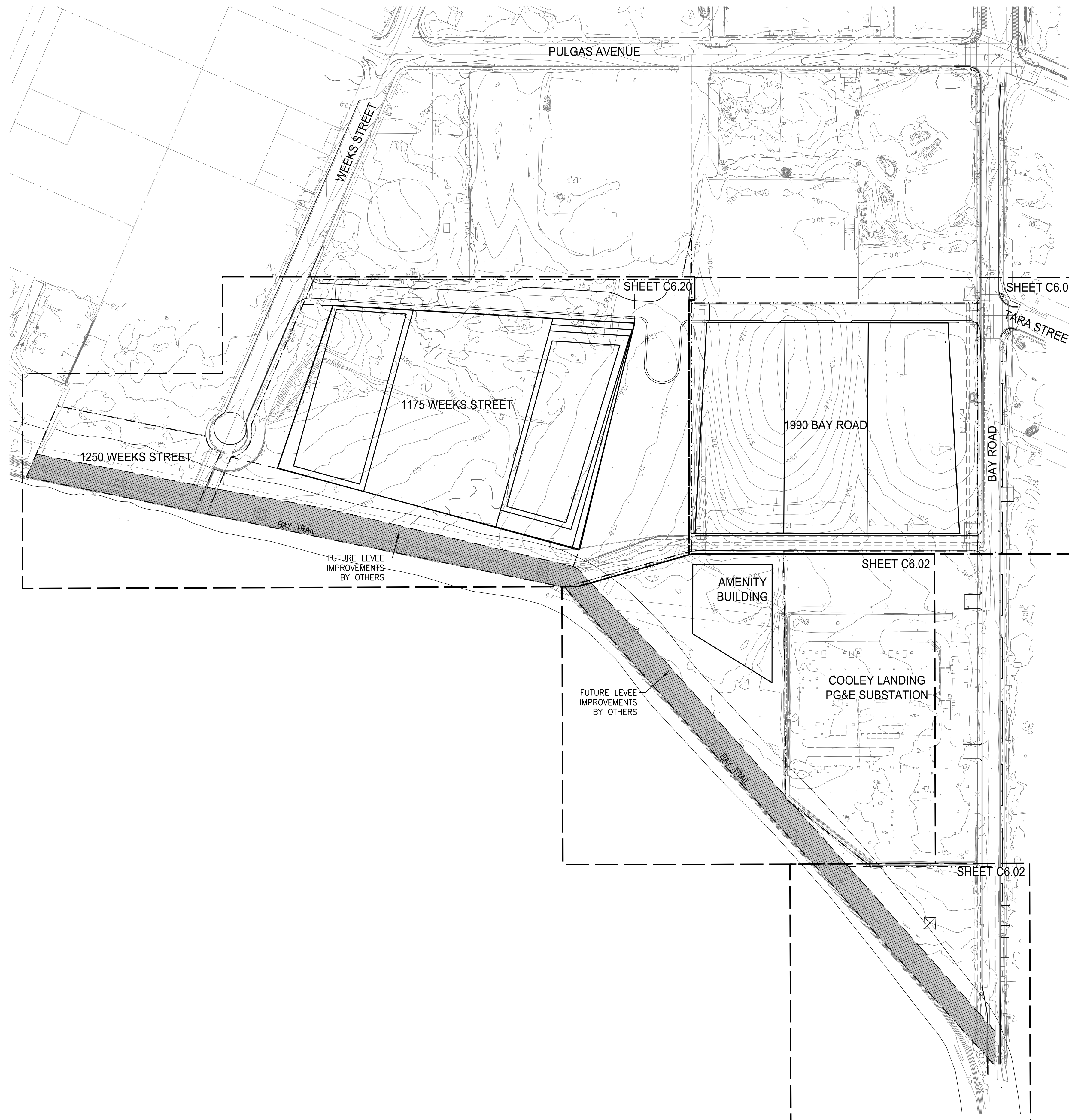


4 1250 AND 1175 WEEKS STREET

SCALE: 1" = 40'

STORMWATER MANAGEMENT PLAN SHEET INDEX

C6.00	CONCEPT STORMWATER MANAGEMENT PLAN - KEYMAP
C6.01	CONCEPT STORMWATER MANAGEMENT PLAN - 1990 BAY ROAD
C6.02	CONCEPT STORMWATER MANAGEMENT PLAN - AMENITY
C6.20	CONCEPT STORMWATER MANAGEMENT PLAN - 1175 WEEKS STREET



Owner:



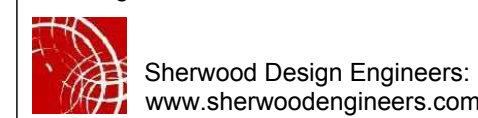
Designer:



Architect of Record:



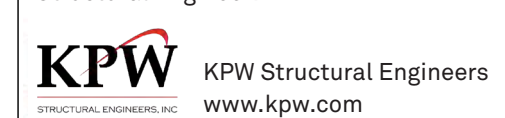
Civil Engineer:



Landscape Architect:



Structural Engineer:



MEP Engineer:



Parking:

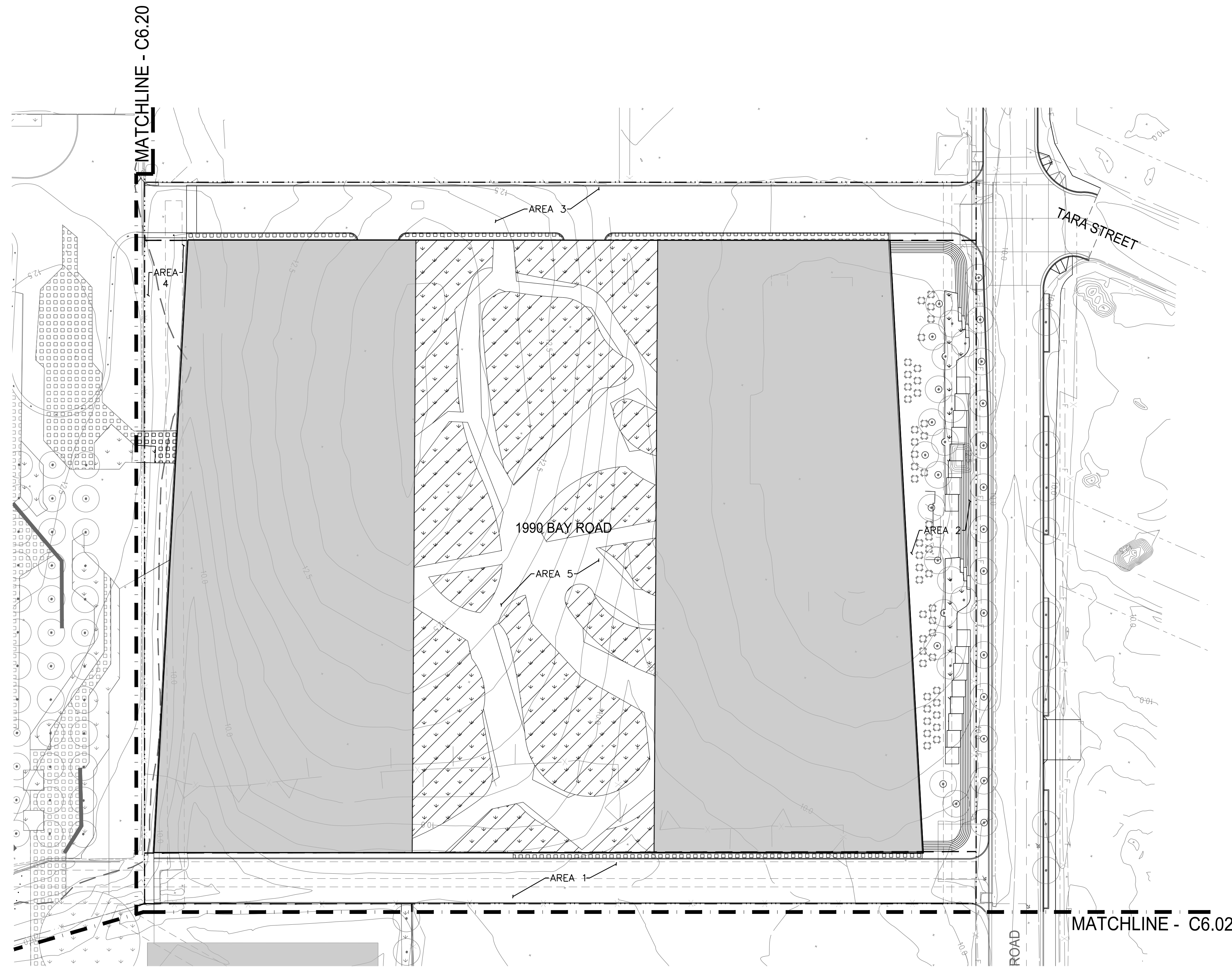


1990 Bay Rd.
1175 Weeks St &
1250 Weeks St

CONCEPT STORMWATER MANAGEMENT PLAN -
KEYMAP
February 20, 2020



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LEGEND

LANDSCAPE	
LANDSCAPE ON STRUCTURE	
PERMEABLE PAVEMENT	
ROOF	
HARDSCAPE	
FUTURE LEVEE, NOT PART OF THIS PLAN SET	
PROPERTY LINE	
DRAINAGE AREA BOUNDARY	

C.3 STORMWATER TREATMENT MEASURES

EXISTING CONDITIONS		
PERMEABLE AREA (SF)	IMPERMEABLE AREA (SF)	TOTAL AREA (SF)
--	213,293	213,293

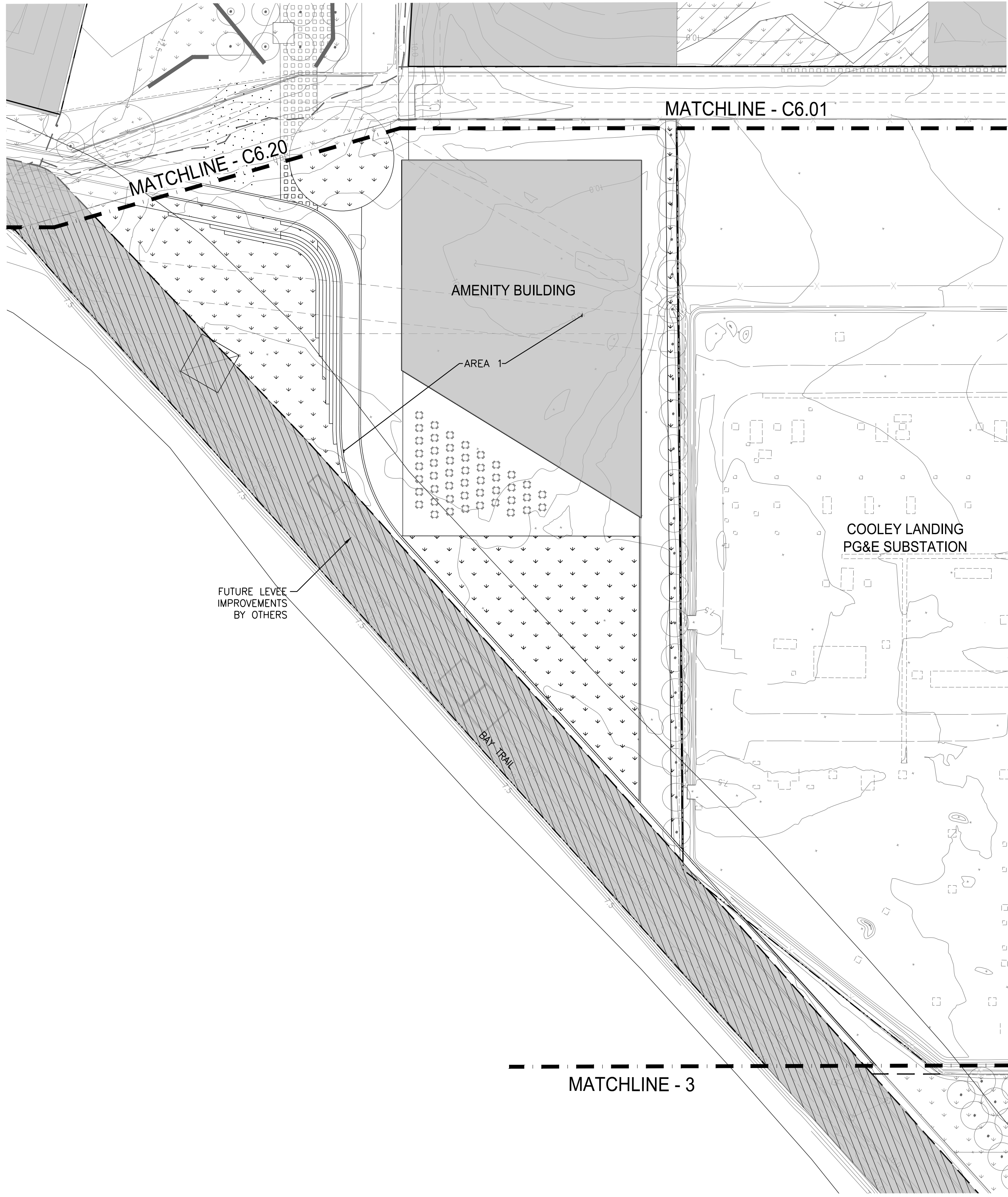
BAY ROAD LOT							
AREA	ROOF	HARDSCAPE	LANDSCAPE	PERMEABLE PAVERS	TOTAL AREA (SF)	BIO-RETENTION TREATMENT AREA REQUIRED (SF) 4% OF IMPERVIOUS	TREATMENT AREA PROVIDED (SF)
1	--	15,144	--	903	16,047	606	903
2	--	14,619	1,531	--	16,150	585	1,531
3	--	16,466	--	1,654	18,120	659	1,654
4	--	2,368	62	297	2,727	95	359
5	126,776	--	33,473	--	160,249	5,071	33,473
TOTAL	126,776	48,597	35,066	2,854	213,293	7,015	37,920

NOTES

1. THIS PLAN REPRESENTS METHODS FOR FULFILLING THE REQUIREMENTS FOR THE SAN MATEO WATER POLLUTION PREVENTION PROGRAM.
2. THE INTENT OF THE PROJECT IS TO TREAT STORMWATER RUNOFF USING LID AND BMPS. STORMWATER COMPLIANCE STRATEGY SHOWN IS CONCEPTUAL. AS THE PROJECT DESIGN IS FURTHER REFINED, THESE BMPS WILL BE REVISED ACCORDINGLY.

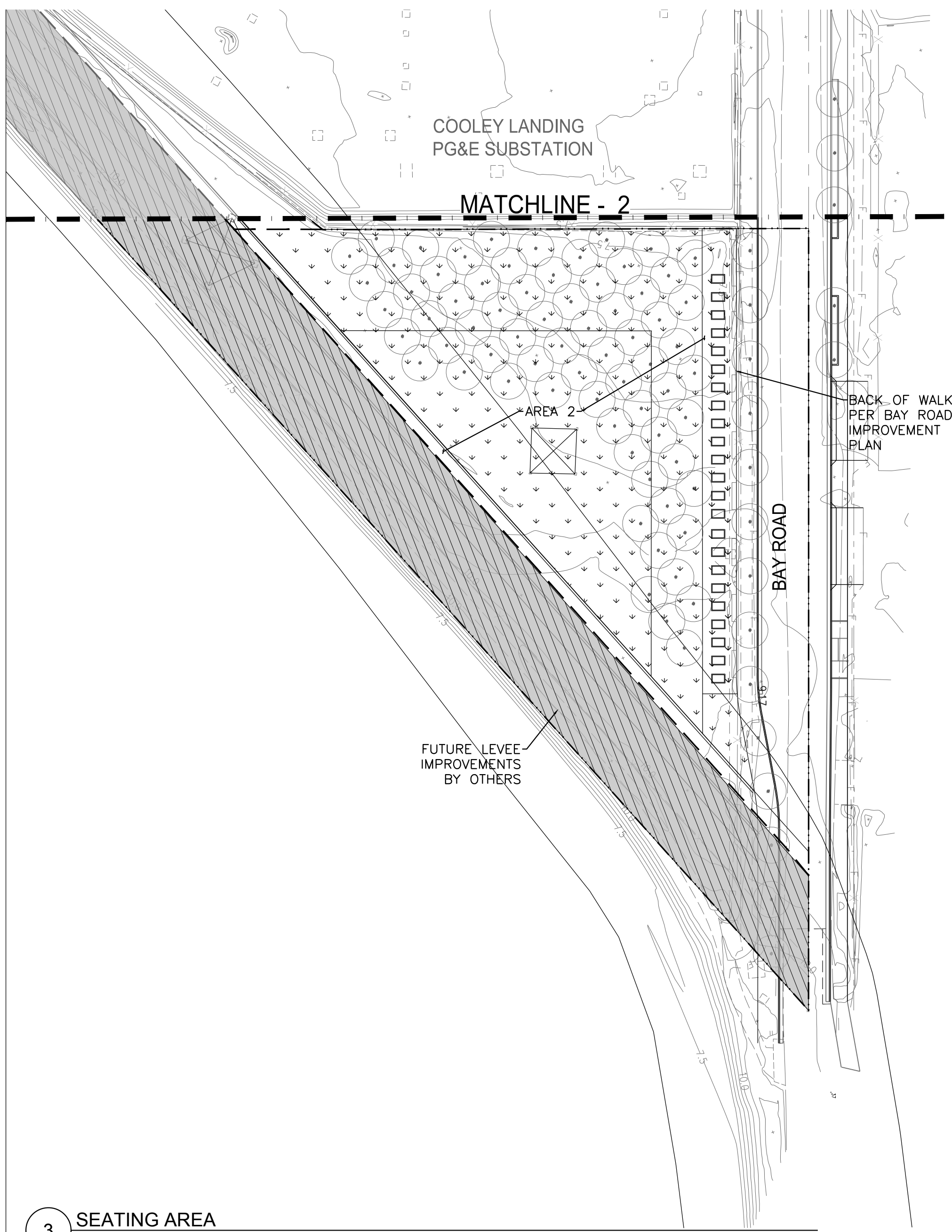
1 1990 BAY ROAD

SCALE: 1" = 40'



2 AMENITY AREA

SCALE: 1" = 40'



3 SEATING AREA

SCALE: 1" = 40'

LEGEND

LANDSCAPE	
LANDSCAPE ON STRUCTURE	
PERMEABLE PAVEMENT	
ROOF	
HARDSCAPE	
FUTURE LEVEE, NOT PART OF THIS PLAN SET	
PROPERTY LINE	
DRAINAGE AREA BOUNDARY	

NOTES

1. THIS PLAN REPRESENTS METHODS FOR FULFILLING THE REQUIREMENTS FOR THE SAN MATEO WATER POLLUTION PREVENTION PROGRAM.
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C.3 STORMWATER TREATMENT MEASURES

EXISTING CONDITIONS		
PERMEABLE AREA (SF)	IMPERMEABLE AREA (SF)	TOTAL AREA (SF)
159,444	--	159,444

AMENITY LOT							
AREA	GREEN ROOF	HARDSCAPE	LANDSCAPE	PERMEABLE PAVERS	TOTAL AREA (SF)	BIO-RETENTION TREATMENT AREA REQUIRED (SF) 4% OF IMPERVIOUS	TREATMENT AREA PROVIDED (SF)
1	33,020	19,369	26,536	--	78,925	775	59,556
2	--	10,293	24,997	--	35,290	412	24,997
LEVEE	--	--	45229	--	--	--	--
TOTAL	33,020	29,662	96,762	--	159,444	1,186	84,553

NOTES

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3. AREA 7 IS NOT PART OF THE SITE PARCEL BOUNDARIES BUT IT IS INCLUDED IN THE COMPUTATION AS PART OF THE FUTURE IMPROVEMENTS.

C.3 STORMWATER TREATMENT MEASURES

EXISTING CONDITIONS		
PERMEABLE AREA (SF)	IMPERMEABLE AREA (SF)	TOTAL AREA (SF)
111,973	292,681	404,654

WEEKS STREET LOT							
AREA	ROOF	HARDSCAPE	LANDSCAPE	PERMEABLE PAVERS	TOTAL AREA (SF)	BIO-RETENTION TREATMENT AREA REQUIRED (SF) 4% OF IMPERVIOUS	TREATMENT AREA PROVIDED (SF)
1	--	23,304	8,453	--	31,757	932	8,453
2	--	47,948	7,300	15,760	71,008	1,918	23,060
3	--	7,161	16,023	--	23,184	286	16,023
4	--	11,247	4,500	--	15,747	450	4,500
5	128,875	--	55,907	--	184,782	5155	55,907
6	--	10,694	21,812	--	32,506	428	21,812
7*	--	--	2,241	--	--	--	--
LEVEE	--	--	43,429	--	43,429	--	--
TOTAL	128,875	100,354	159,665	15,760	404,654	8,741	107,943

* SEE NOTE 3

LEGEND

- LANDSCAPE
- LANDSCAPE ON STRUCTURE
- PERMEABLE PAVEMENT
- ROOF
- HARDSCAPE
- FUTURE LEVEE, NOT PART OF THIS PLAN SET
- PROPERTY LINE
- DRAINAGE AREA BOUNDARY



4 1250 AND 1175 WEEKS STREET

SCALE: 1" = 40'