

1990 Bay | 1175 Weeks | 1250 Weeks
EAST PALO ALTO, CA



HARVEST
PROPERTIES

Agenda

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2. Project Timeline
3. Project Overview
4. Community Feedback
5. Benefits of Development
6. Key Considerations:
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 - iii. Infrastructure Improvements
 - iv. Affordable Housing
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7. Design
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Introduction

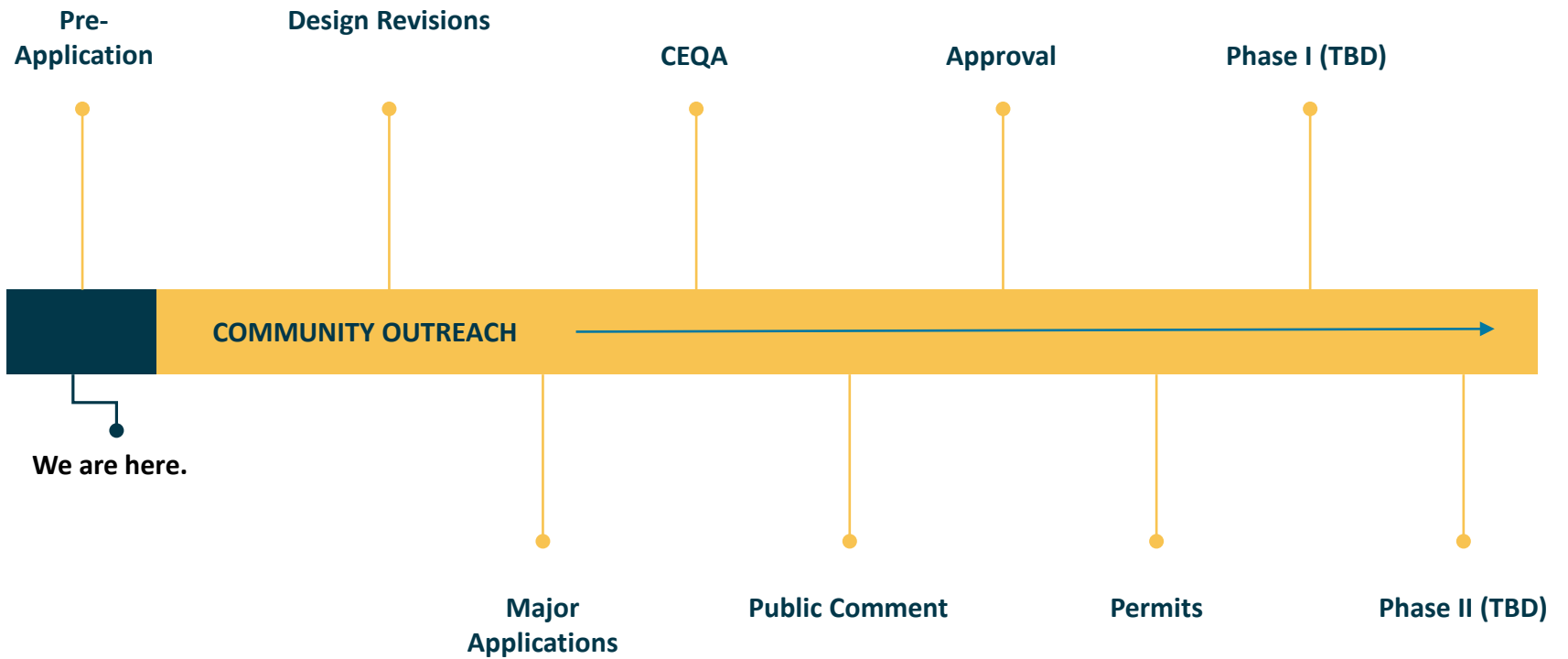
HARVEST PROPERTIES

Local developer with strong community ties and deep commercial experience

- ▶ Founded in 2002
- ▶ Bay Area-Focused (Headquartered in Oakland)
- ▶ Long-Term Approach
- ▶ Employ Thousands of Local Service Providers



Timeline



Project Overview

HARVEST PROPERTIES

- ▶ **Acres:** 17.8
- ▶ **Current Use:** Fenced-in Land
- ▶ **Specific Plan Use:** Mixed Uses
(Office, R&D, Lab, Retail, Civic, Open Space)
- ▶ **Allowed SF per Specific Plan:** 1,510,000 SF
- ▶ **Proposed SF:** 918,000 SF (40% reduction)
- ▶ **Current Green Space:** Less than 10% of site
- ▶ **Proposed Green Space:** Over 40% of site



Community Feedback To-Date

- ▶ Why Develop? Why Support?
- ▶ Desire for Local-Source Hiring & Jobs
- ▶ Strengthen the Social Fabric
- ▶ Overcoming Infrastructure Challenges
- ▶ Environmental & Sea Level Rise Protection
- ▶ Affordable Housing Needs
- ▶ Mitigate Existing Traffic / Minimize New Impacts



Development Benefits

Clean-up and transform an underutilized, blighted site to an active, fee-generating commercial space that facilitates activity, community and sustainability for the community of East Palo Alto.

- ▶ Improve and activate under-utilized Waterfront Property
- ▶ Enhance ½ mile of bay front open space and trails
- ▶ Real & robust community benefits
- ▶ Generate substantial funding for city

CURRENT



FUTURE



Key Project Benefits

Project Benefits – City Requirements

- ▶ \$\$ for Affordable Housing
- ▶ \$\$ for Job Training
- ▶ \$\$ for Infrastructure
- ▶ \$\$ for Schools
- ▶ \$\$ Ongoing Revenue Generation
- ▶ 525% more Green Space & 325+ new Trees
- ▶ Improved Thoroughfares and Connectivity to Waterfront
- ▶ In-Line with Vision for RBD
- ▶ Levee Development
- ▶ Improved Remediation Remedy

Additional Project Benefits - Voluntary

- ▶ Subsidized Community Civic Space
- ▶ Subsidized Community Retail
- ▶ Subsidized EPA focused Incubator / Co-working
- ▶ Subsidized Small Business Flex Space
- ▶ Grants to Small Businesses within Project
- ▶ Grants to RBD Charitable Organizations
- ▶ Grants for Project & Community Art Installations
- ▶ Development of 1250 Weeks as Community Park
- ▶ 6.5 acre Park/Plaza - Improve ½ mile of Bayfront
- ▶ Net Zero / Carbon-Neutral Sustainability Goals
- ▶ Dedication of CityTrees to Community
- ▶ Free Public Wifi at Project
- ▶ Screen PG&E Substation

Local Hiring

Diversity of Job Opportunities

- ▶ **Industry Professionals:** Office / R&D / Lab Workers
- ▶ **Entrepreneurs:** Co-working / Incubator
- ▶ **Small Business:** Flex Space / Retail
 - ▶ Community Run & Community Serving
(Restaurant, Coffee Shop, Café, Marketplace, Pop-Ups)
- ▶ **Job Training:** Space for Non-Profit Organizations
- ▶ **Trades:** Construction, Building Services, Engineers
- ▶ **Other:**
 - ▶ Coordinate with future tenants on job programs, community programs, career days, internships, and youth training programs
 - ▶ Increased demand for retail and local businesses

Additional Financial Support

- ▶ **\$1,000,000 in Grants** to support Local Businesses *within* the project
- ▶ **\$1,000,000 in Grants** to support Local Businesses *outside* the project in RBD
- ▶ **Impact Fees**
 - ▶ Measure HH Funds for Job-Training Programs
 - ▶ Funds for the City to support Additional Staff

Strengthen the Social Fabric

Create a community gathering point that is inclusive, inviting and fun

- ▶ No Displacement (land)
- ▶ Create a “Main Street” feel by activating the ground floor with community uses:
 - ▶ Local Eateries
 - ▶ Coffee Shop / Café / Bakery
 - ▶ Marketplace / Pop-up Venue
 - ▶ Community Commercial Kitchen
 - ▶ Event Space
 - ▶ Local Co-Working / Incubator
- ▶ Large Public Plaza with ability to host:
 - ▶ Community Events
 - ▶ Farmers Market / Food Trucks
 - ▶ Arts and Crafts Market
- ▶ Curated Community Art Program celebrating EPA
- ▶ Support for Local Philanthropic Organizations
- ▶ Over ½ a mile of Activated Waterfront:
 - ▶ Amphitheater (movie nights / performing arts)
 - ▶ Playground
 - ▶ Community Garden
 - ▶ Picnic Areas
 - ▶ Fitness Stations
 - ▶ Dog Park
 - ▶ Retail Kiosks (Ice Cream, Tacos, Bike Repair)

Infrastructure Improvements

\$255m+ is needed for failing infrastructure and City improvements

CITY BENEFITS

- ▶ Pedestrian accessibility & safety improvements
- ▶ Improved air quality
- ▶ Protection against sea level rise
- ▶ Elimination of requirement for flood insurance
- ▶ Enhanced water pressure
- ▶ Fire Safety
- ▶ Reduction in street flooding
- ▶ CERT-ready site
- ▶ Reliable, long-term city funding to address other pressing city & community needs

PROPOSED IMPROVEMENTS

- ▶ New roads, walkways and bike paths
- ▶ Funding for “bicycle boulevards” through EPA
- ▶ 525% more green space & 325 new trees
- ▶ Dedication of 6 CityTrees
- ▶ Dedication of land for the levee
- ▶ Improvements to the water infrastructure
- ▶ Improvements to the stormwater infrastructure
- ▶ Improvements to the sewer infrastructure



Affordable Housing

- ▶ \$10,225,000 through immediate impact fees = 41 new units
- ▶ \$2,250,000 annual funding for measure HH = 270 new units over 30 years
- ▶ Harvest is looking at additional sites within EPA that can provide this important benefit
 - ▶ Housing not allowed on our site due to deed restrictions

Environmental

- ▶ Over \$40,000,000 spent on environmental investigation & cleanup
- ▶ Concludes 40 years of environmental cleanup of site



Traffic

ON-SITE

- ▶ TDM Measures
(40% reduction likely required)
- ▶ Traffic-Sensitive Design
(queuing, drop-off areas, traffic distribution)
- ▶ Provide Bike Sharing
and Bike Parking
- ▶ Improved Pedestrian
Connectivity between
Neighborhoods

RAVENSWOOD BUSINESS DISTRICT

- ▶ Explore widening Bay Road
- ▶ Explore the addition of a Dumbarton Rail stop in EPA
- ▶ Explore addition of Loop Road around neighborhood, connecting to University
- ▶ Explore the addition of Cooley Landing ferry service

EAST PALO ALTO

- ▶ Form EPA TMA or join regional TMA
- ▶ Explore Public/Private Shuttles
- ▶ Explore Bicycle Boulevards / Green Streets
(dedicated safe bike streets)
- ▶ Explore prevention of cut through traffic
- ▶ Support improvements that allow for better flow across University for residents
- ▶ Support traffic calming measures through neighborhoods

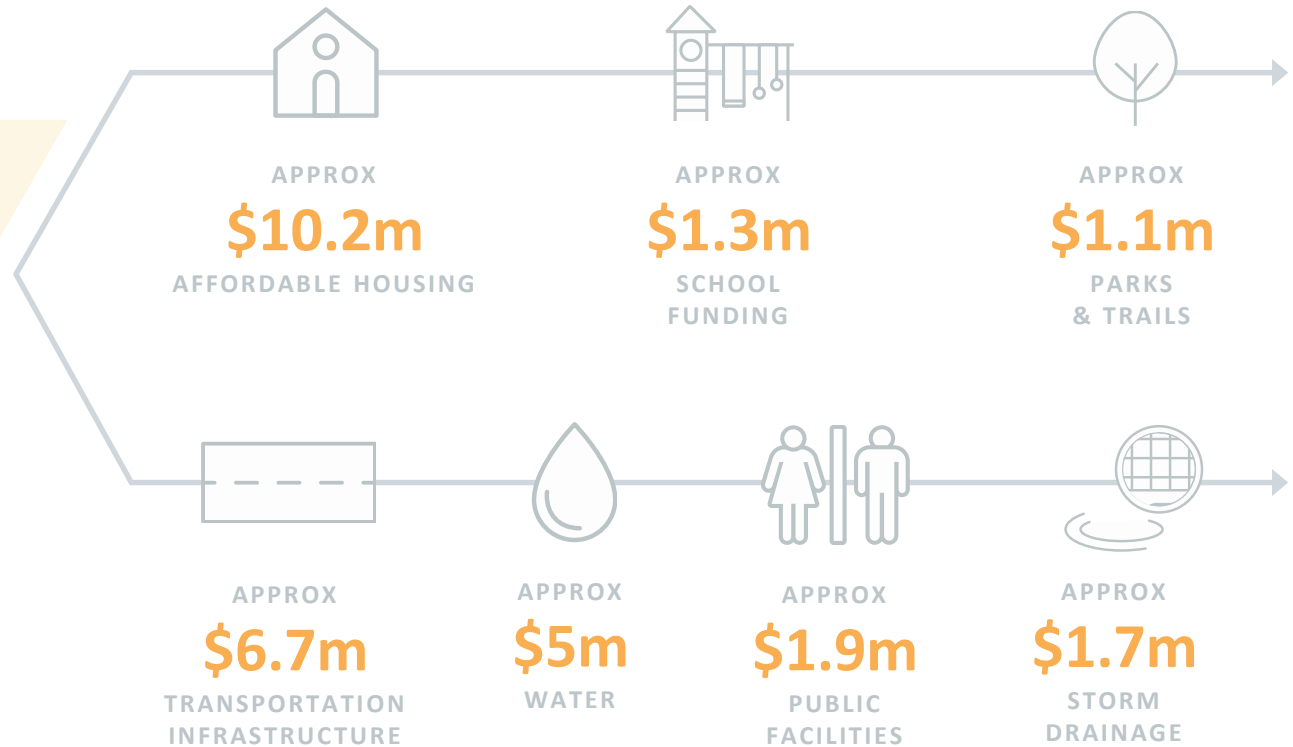
REGIONAL

- ▶ Regional TMA
- ▶ Commute.Org

Total Financial Impact - Initial

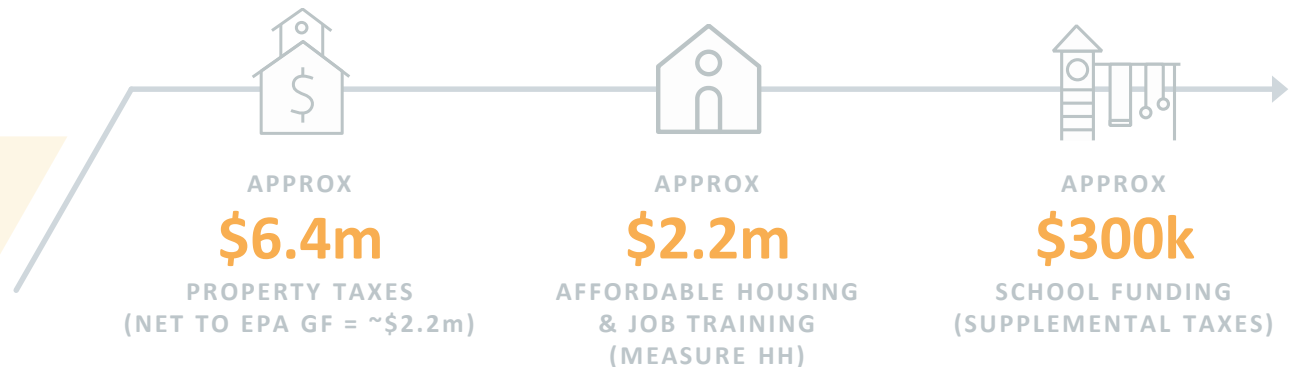
INITIAL

APPROX
\$28m
FROM IMPACT FEES



ONGOING

APPROX
\$8.5m
FROM ANNUAL FEES & TAXES



Potential Impact on Housing

Creation of 310 Units of Affordable Housing

INITIAL

APPROX
\$10.25m
FROM IMPACT FEES



\$500k

COST PER HOUSING
UNIT



41

TOTAL HOUSING
UNITS

ONGOING

APPROX
\$2.25m
FROM ANNUAL
IMPACT FEES



9

UNITS PER
YEAR



270

TOTAL HOUSING
UNITS OVER
30 YEARS

Design




- ▶ Designed to Encourage the Community to Use the Site
- ▶ Activated Ground Floor with Retail / Civic Space
- ▶ Activated Waterfront versus Single Trail
- ▶ Masked Parking Structure through Podium Design
- ▶ Focused density along Bay Road and the center of the site
- ▶ Lower Density along Weeks to Respect Neighboring Residences
- ▶ Added greenspace to the exterior to soften structure
- ▶ Leader in sustainable design
- ▶ Eco Friendly Measures

Sustainability

Measures Currently Being Explored:

- ▶ Net-Zero-Ready or Carbon-Neutral Core and Shell Design
 - ▶ Onsite black/brown water reuse and treatment
 - ▶ Installation of purple pipe system
 - ▶ Onsite renewable energy (large-scale solar)
 - ▶ Battery storage for carbon reductions and back-up resiliency
- ▶ All-electric building design (no fossil fuel use)
- ▶ Efficient energy (MEP) systems alongside passive design strategies
- ▶ Designing for resiliency (against sea level rise, power outages, earthquakes, major weather events, etc.)
- ▶ Use of healthy building materials where possible (in order to address embodied carbon in building materials and construction)
- ▶ Biophilic design elements
- ▶ Heat island reductions
- ▶ Eco Friendly / Bird Safe Measures



Create a site where nature and technology work together to improve resiliency of the city, project, and our collective health and well-being

Thank You

Contact us at: EPA@harvestproperties.com



HARVEST
PROPERTIES

Appendix

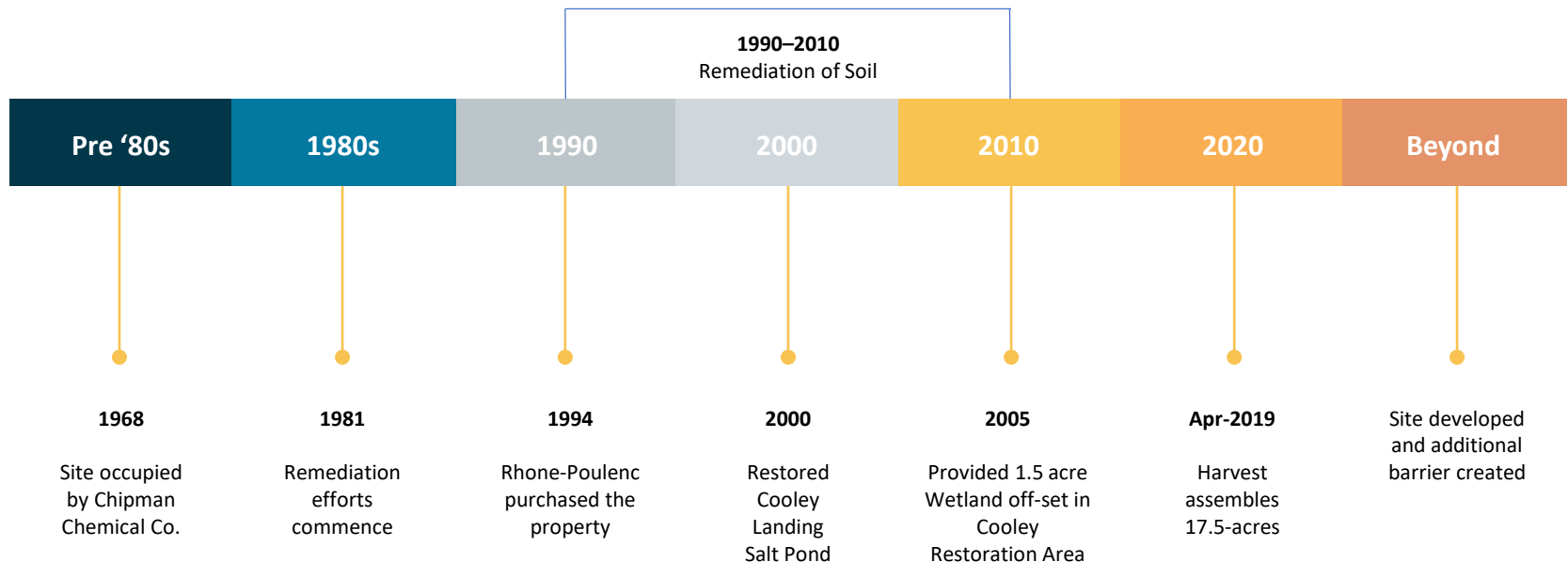
For Reference as Needed

Potential Traffic Management & Mitigation

- ▶ School shuttle / last mile shuttle open to public
- ▶ Transit passes for low income residents
- ▶ Funding for public infrastructure (bike paths, bicycle boulevards, bike share, improvements to transit centers)
- ▶ Funding to promote TDM services and incentivize tenants
- ▶ Tenant facility for TDM support
- ▶ Public transit subsidy
- ▶ Discounts for shared rides
- ▶ Bus / ride share drop off & queuing areas
- ▶ Carpool/vanpool loading & priority parking
- ▶ On-site bikeshare program
- ▶ E-bike to loan program
- ▶ Mobile amenities on-site (dry cleaning, mail service, food trucks, etc.) so that cars are less needed
- ▶ Zipcar membership (discounted rates and monthly credit) / Carshare partnerships for errands during the day
- ▶ Via – ridesharing partnership
- ▶ Commuter Points Rewards Programs
- ▶ Partner with commute.org, Manzanita Works and other regional support networks

Remediation History of the Site

- ▶ Site was operated by Rhone Poulenc to produce pesticides and was contaminated with arsenic
- ▶ Remediation began in 1981 (overseen by USEPA, DTSC, Regional Water Board)
- ▶ Approximately \$40,000,000 spent to date on investigation and remediation
- ▶ All components of the on-site remediation have been successfully implemented and no further active remediation is required other than phytoremediation
- ▶ Development of site will act as an additional barrier to previously contaminated soil



1990 Bay Road



Bay Road Frontage



Public Plaza



1175 Weeks Street



1175 Weeks - Public Marketplace



1250 Weeks – Public Park



1250 Weeks – Basketball & Fitness



1250 Weeks – Playground



1250 Weeks – Picnic Area



1175 Weeks – Bay Front Park



Bay Front Park – Retail Kiosks



Public Plaza



Public Plaza / Market



Natural Amphitheater & Cafe



Natural Amphitheater & Stage



Dog Park

