

PROPOSED NEW 2-STORY DUPLEX

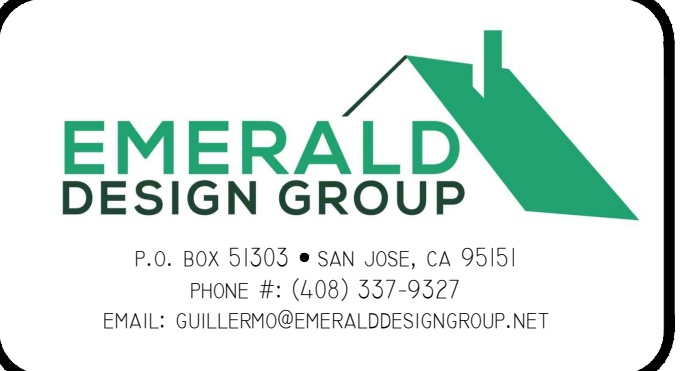
000 RUNNYMEDE STREET EAST PALO ALTO, CA 94303

"THE APPLICANT SHALL HOLD HARMLESS THE CITY, ITS OFFICERS, AGENTS AND EMPLOYEES FROM ANY LIABILITY OR CLAIMS FOR DAMAGES DUE TO THE INJURY OF ANY PERSON, LOSS OF LIFE, OR DAMAGE TO PROPERTY CAUSED BY, OR ARISING OUT OF ACTIVITIES AUTHORIZED BY THESE APPROVALS. THE APPLICANT SHALL EMPLOY LEGAL COUNSEL APPROVED BY THE CITY AND/OR INDEMNIFY THE CITY FOR THE COST OF LEGAL COUNSEL AND LEGAL SERVICES."

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06.19.2020
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Tel: (650) 853-3189
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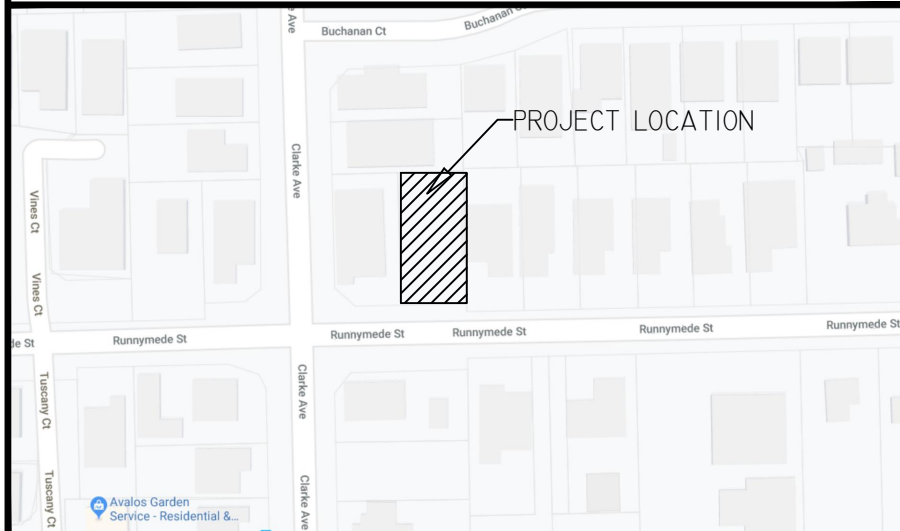
GENERAL NOTES

No.	REVISION	DATE
2	2ND REVIEW PLN'G COMMENTS	3.18.20
1	PLANNING COMMENTS	9.19.19



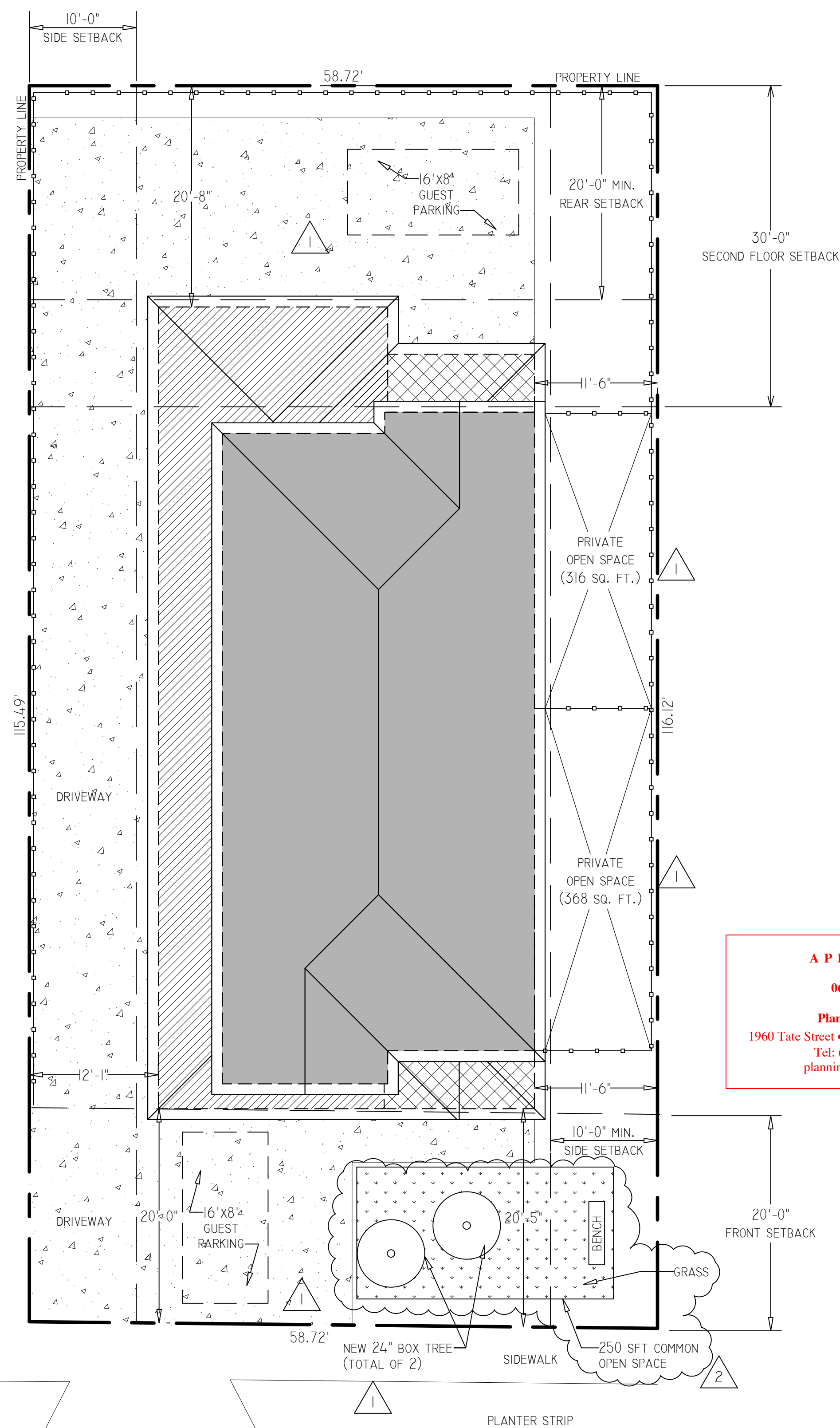
PROJECT NAME & ADDRESS:
**MAJD RESIDENCE
XXX RUNNYMEDE ST.
EAST PALO ALTO, CA 94303**

PROJECT: 19-010 SHEET #:
DATE: JULY 14, 2019
SCALE: AS NOTED
A0

APPLICABLE CODES	SCOPE OF WORK	SITE AREA	PROJECT INFORMATION	DRAWING INDEX
2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA CALGREEN BUILDING CODE 2016 CALIFORNIA ENGERY CODE 2016 CALIFORNIA FIRE CODE	CONSTRUCT NEW DUPLEX ON VACANT LOT VICINITY MAP 	LOT AREA 6,800 SQ. FT. DUPLEX W/ GARAGE 4,080 SQ. FT. 4,080/6,800 = 0.60% LOT COVERAGE UNIT #1: A) FIRST FLOOR 745 SQ. FT. B) SECOND FLOOR 982 SQ. FT. C) GARAGE 392 SQ. FT. D) PORCH 76 SQ. FT. TOTAL LIVING SQ. FT. (A+B) = 1,727 SQ. FT. UNIT #2: A) FIRST FLOOR 780 SQ. FT. B) SECOND FLOOR 776 SQ. FT. C) GARAGE 405 SQ. FT. D) PORCH 74 SQ. FT. TOTAL LIVING SQ. FT. (A+B) = 1,556 SQ. FT.	APN 063-265-300 OCCUPANCY GROUP R-3/U CONSTRUCTION TYPE V-B ZONING R-MD-1	A0 COVER SHEET A1 SITE PLAN A2 FLOOR AREA DIAGRAM A3 PROPOSED FIRST FLOOR PROPOSED SECOND FLOOR A4 NORTH & SOUTH ELEVATION A5 EAST & WEST ELEVATION A6 LANDSCAPE PLAN

LOT AREA: 6,800 SQ. FT.	PROPOSED	ALLOWED
SITE COVERAGE:	60%	60%
FLOOR AREA RATIO:	.60	.65
HABITABLE LIVING AREA:	3,283 SQUARE FEET	
NON-HABITABLE AREA: (INCLUDES GARAGE AREA ONLY)	797 SQUARE FEET	
SETBACKS:		
FRONT	20'-0"	20'-0"
REAR (1ST/2ND)	20'-8"/30'-0"	20'-0"/30'-0"
RIGHT SIDE	11'-6"	10'-0"
LEFT SIDE	12'-1"	10'-0"
HEIGHT:	29'-8"	30'-0"
PRIVATE OPEN SPACE:	UNIT #1: 368 SQUARE FEET UNIT #2: 316 SQUARE FEET	200 SQUARE FEET (EACH UNIT)

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EXISTING DRIVEWAY APPROACH

RUNNYMEDE ST.

SITE PLAN

SCALE: 1/8"=1'-0"

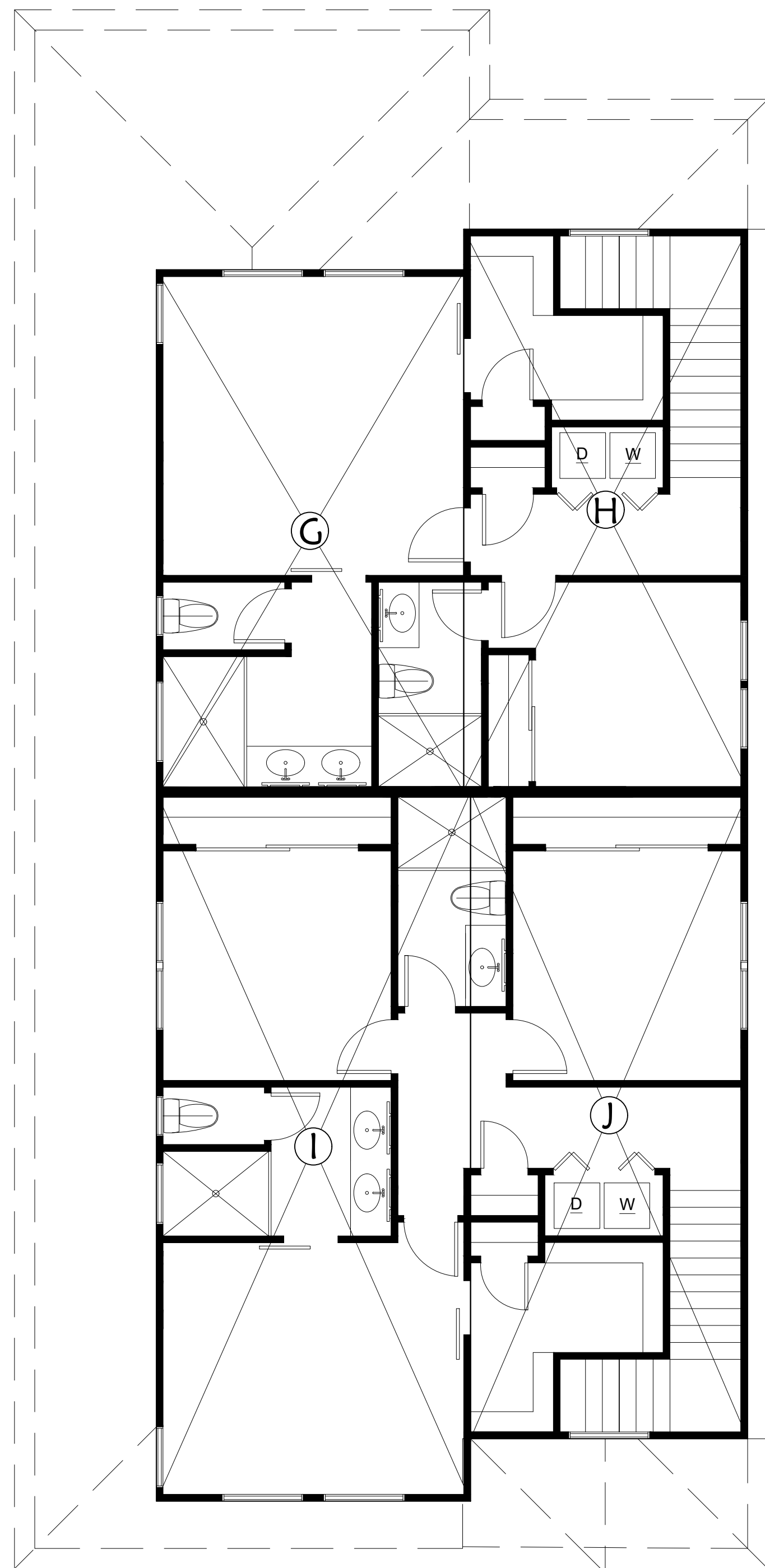
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EMERALD DESIGN GROUP
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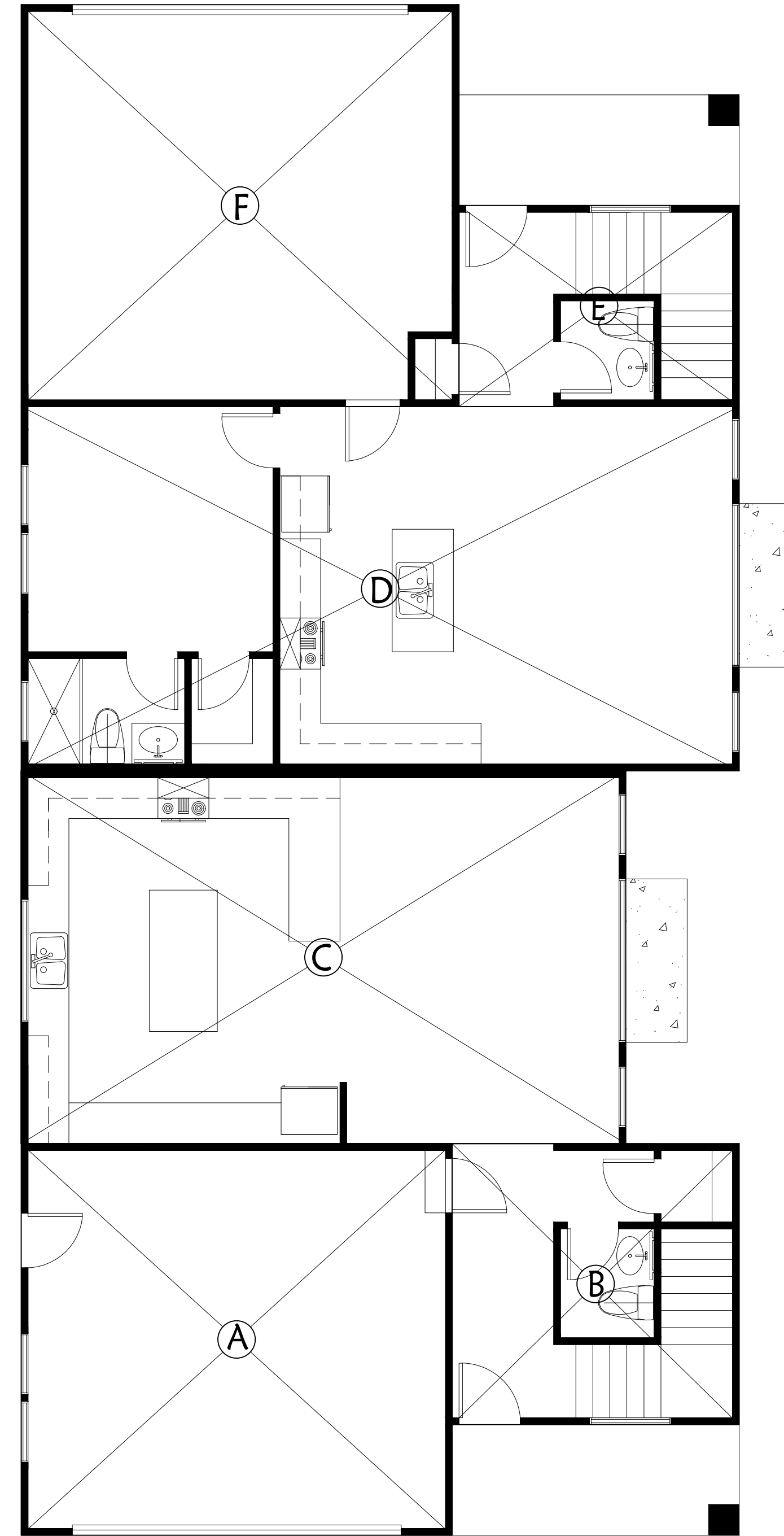
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SECOND FLOOR

SCALE: 3/16"=1'-0"



FIRST FLOOR

SCALE: 3/16"=1'-0"

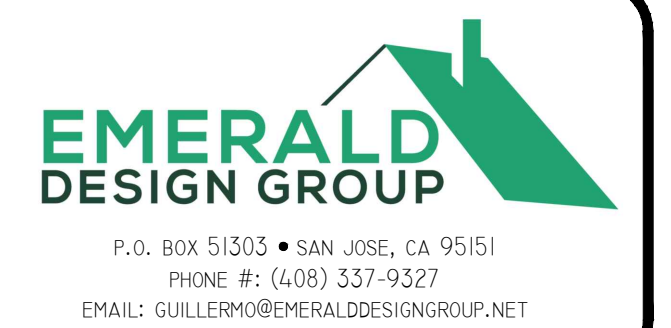
SECTION	DIMENSIONS	AREA
A	19'-1" X 21'-1"	402 SQ. FT.
B	13'-9" X 14'-1"	193 SQ. FT.
C	18'-3" X 29'-7"	539 SQ. FT.
D	17'-10" X 35'-2"	627 SQ. FT.
E	9'-10" X 13'-9"	135 SQ. FT.
F	19'-8" X 21'-5"	421 SQ. FT.
G	15'-2" X 25'-9"	390 SQ. FT.
H	14'-0" X 27'-9"	388 SQ. FT.
I	15'-6" X 35'-0"	542 SQ. FT.
J	13'-10" X 32'-0"	442 SQ. FT.

TOTAL FLOOR AREA = 4,080 SQ. FT.

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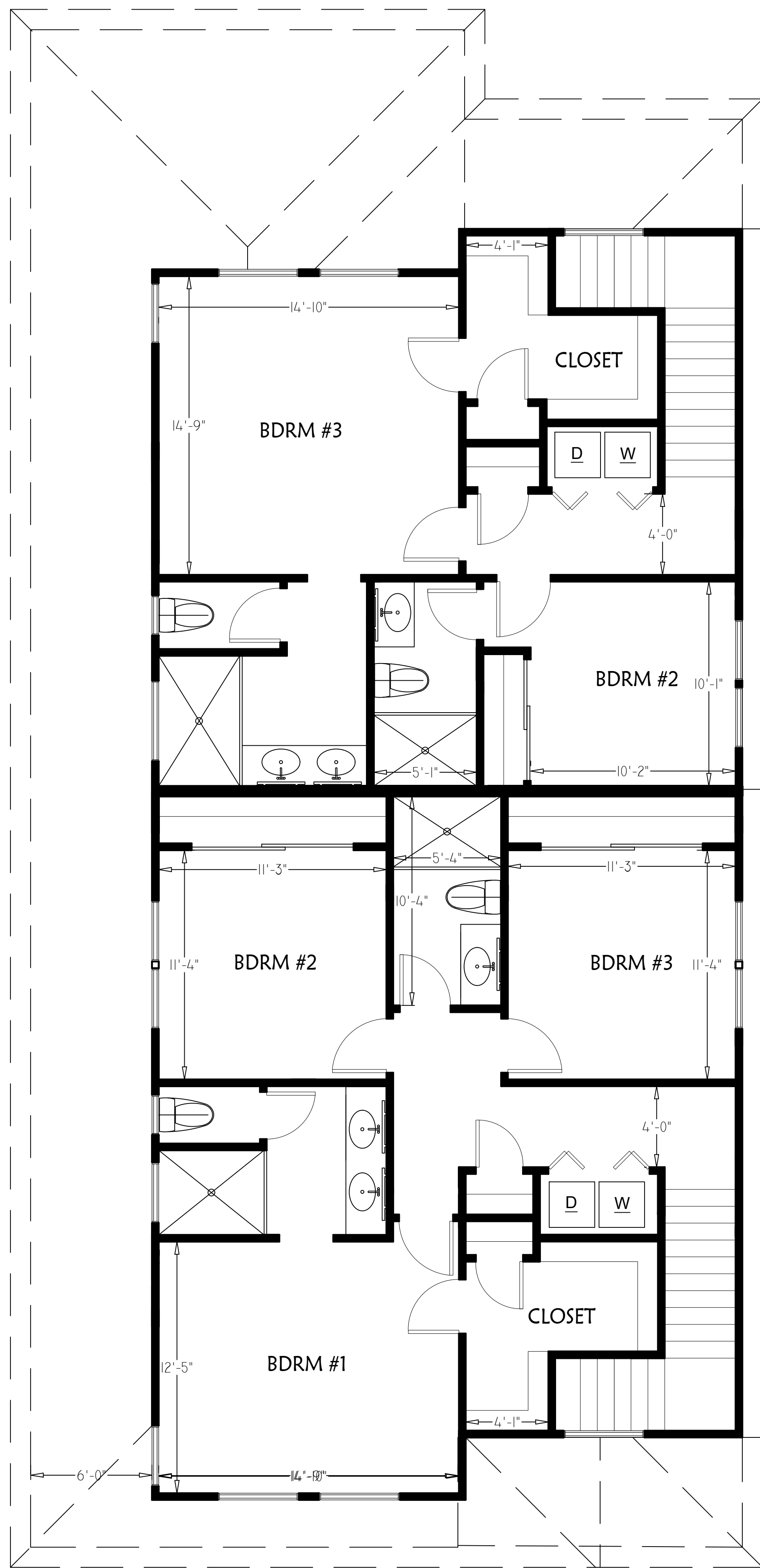
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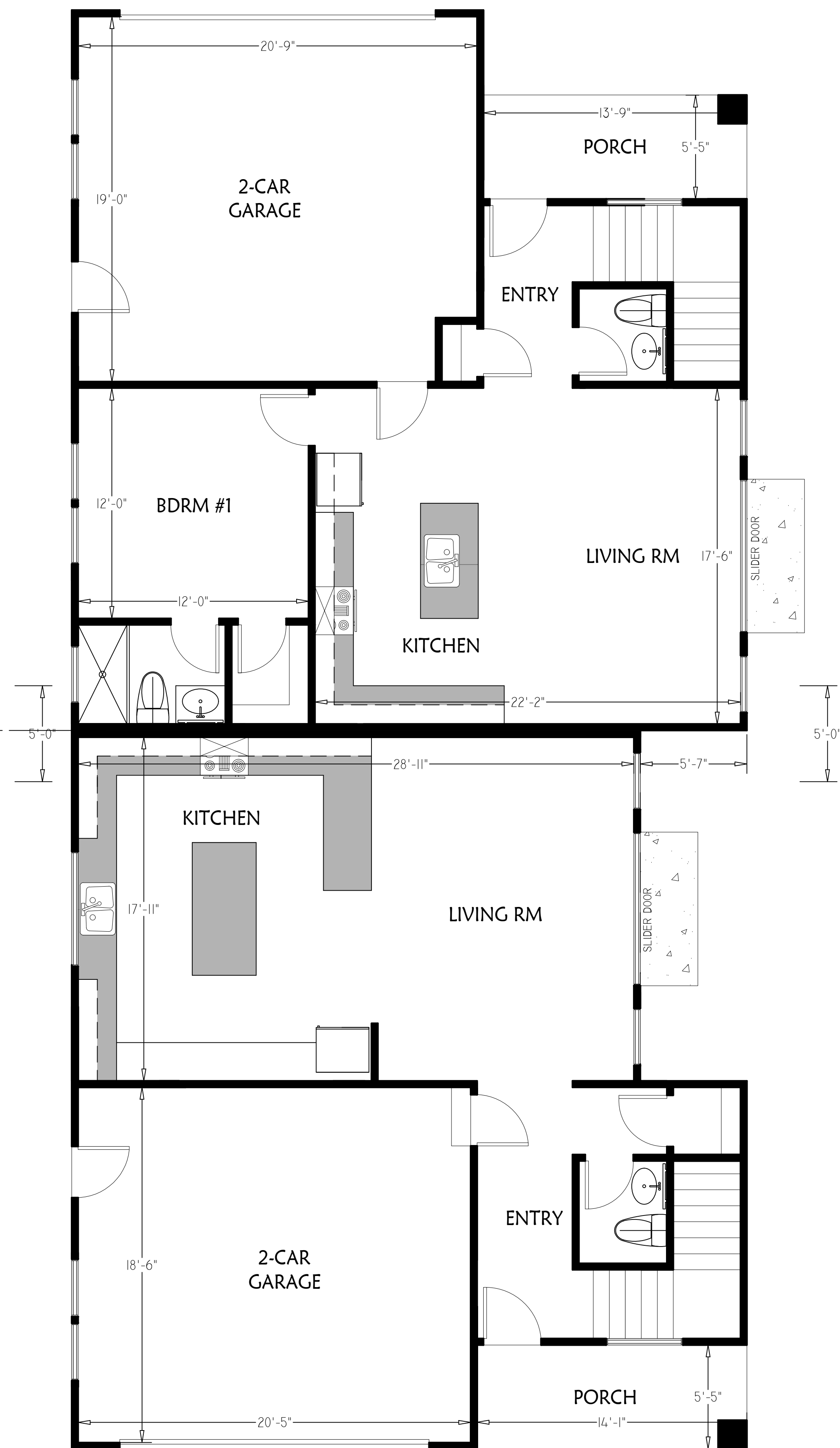


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PROJECT:	SHEET #:
19-010	A2
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PROPOSED SECOND FLOOR
SCALE: 1/4"=1'-0"

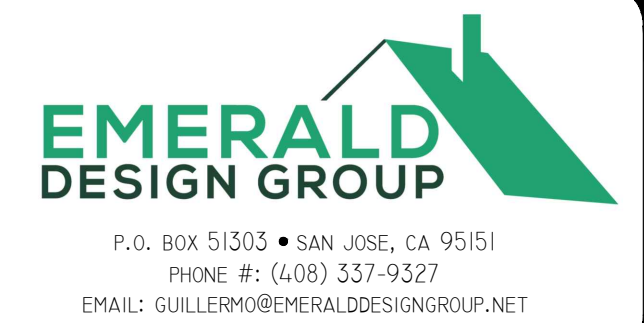


PROPOSED FIRST FLOOR
SCALE: 1/4"=1'-0"

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PROJECT: 19-010	SHEET #: A3
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NORTH ELEVATION

SCALE: 1/4"=1'-0"




SOUTH ELEVATION

SCALE: 1/4"=1'-0"

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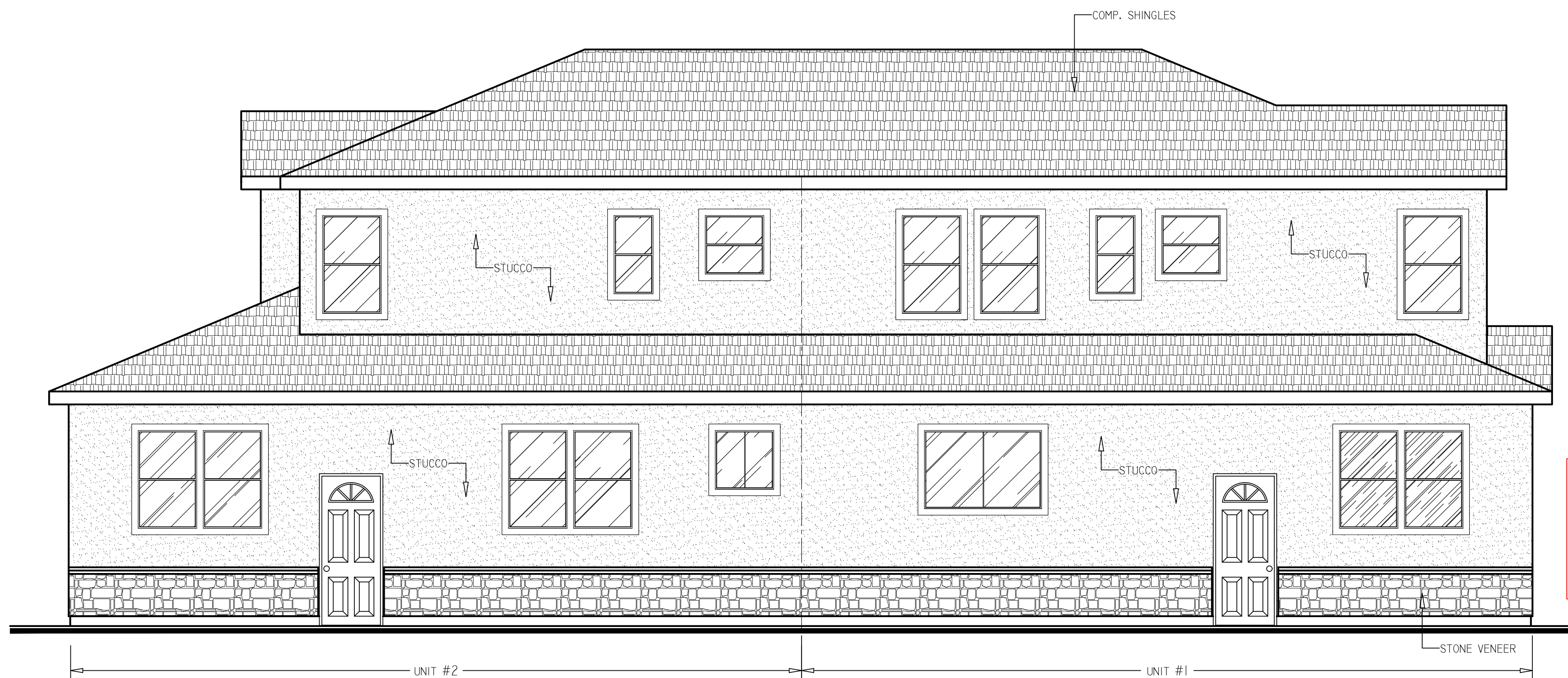
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EAST ELEVATION

SCALE: 1/4"=1'-0"




WEST ELEVATION

SCALE: 1/4"=1'-0"

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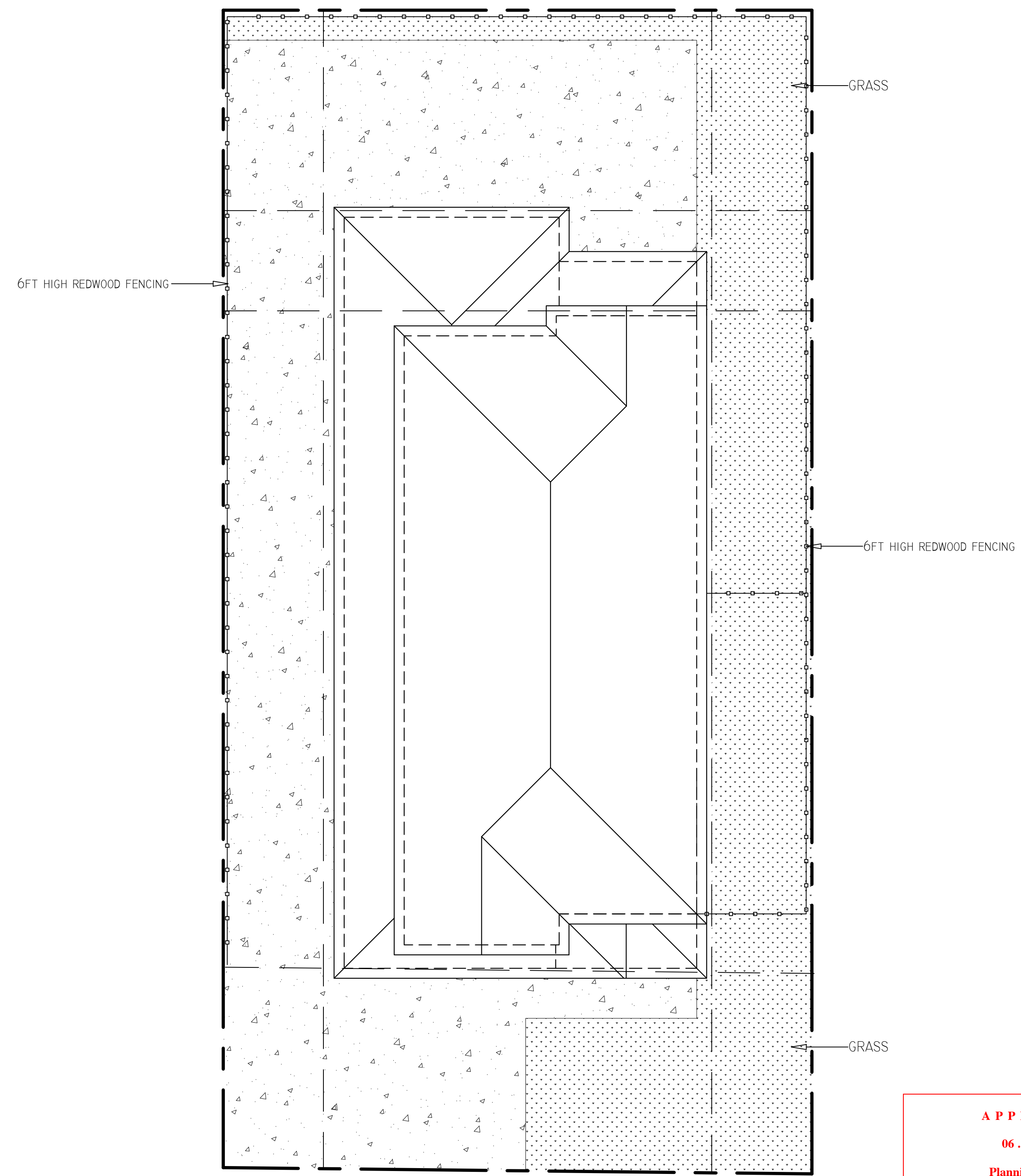
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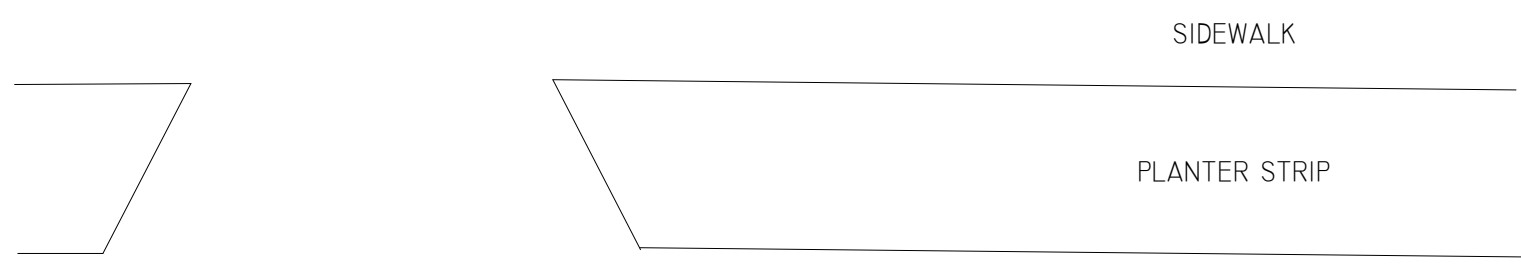
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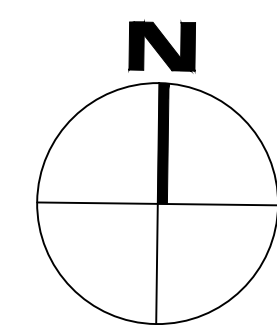
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◀ RUNNYMEDE ST. ▶



LANDSCAPE PLAN
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<small>PROJECT:</small> 19-010	<small>SHEET #:</small> A6
<small>DATE:</small> JULY 14, 2019	
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