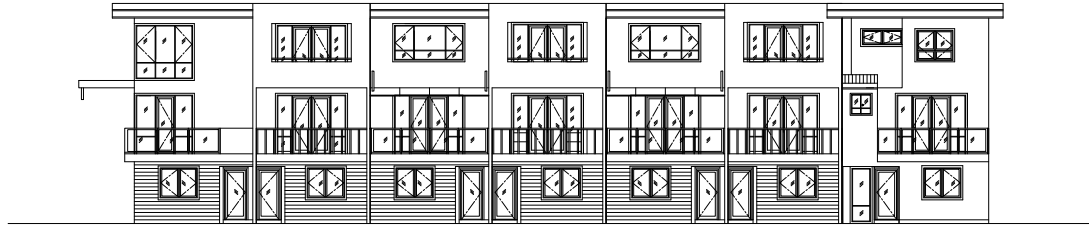


14-UNIT
CONDOMINIUM

717 DONOHUE ST
EAST PALO ALTO, CA
94035

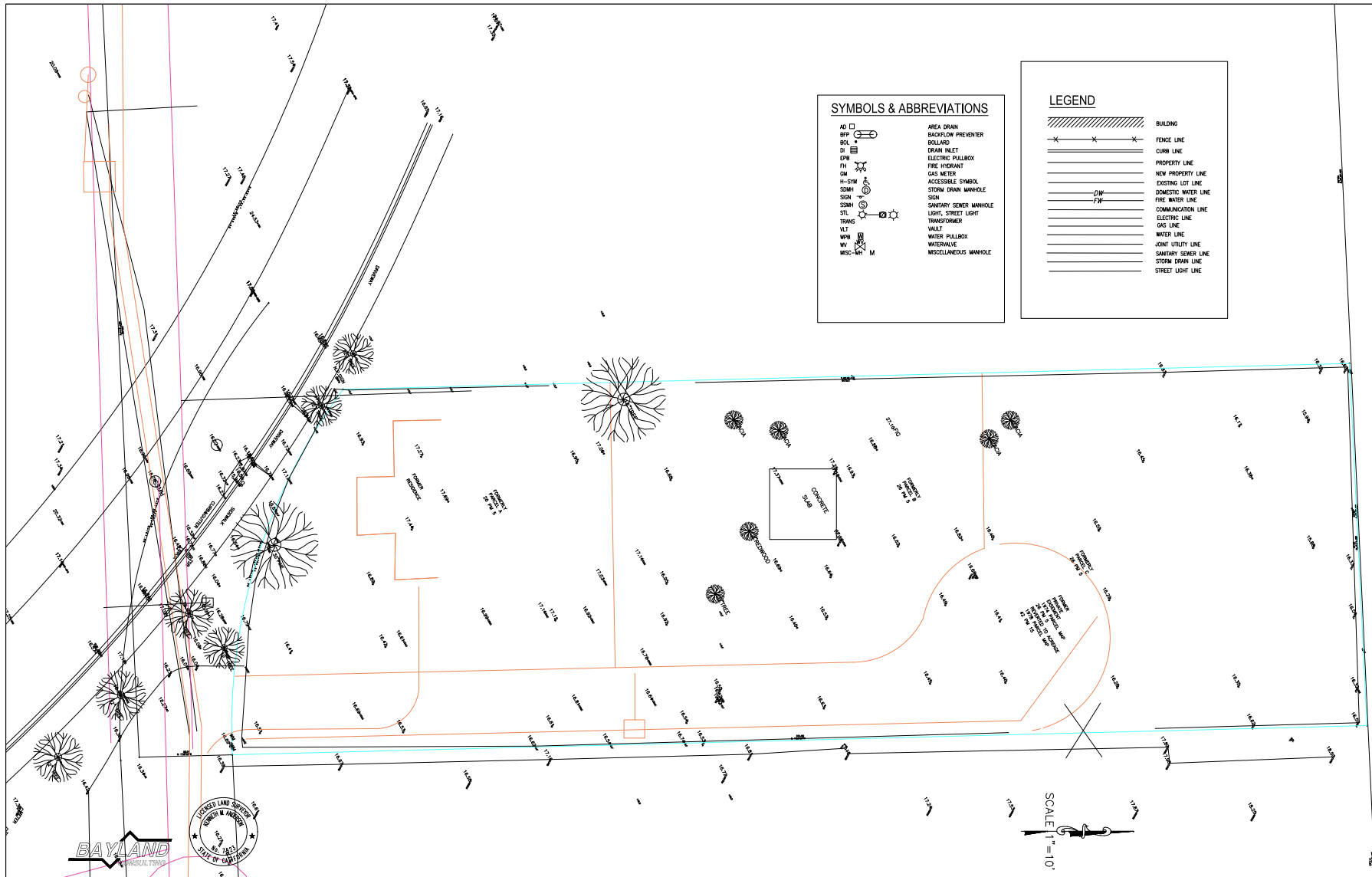


20370 TOWN CENTER LN
SUITE 130
CUPERTINO, CA 95014
408.865.0577



7 1 7 D O N O H O E S T

PROJECT INFORMATION		SHEET INDEX		MISCELLANEOUS NOTES																																																																																																																										
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OCCUPANT OR OWNER ADDRESSING ITEM 1 THRU 10 IN SECTION 4.401.1</p> <p>C- AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED 94.304.1</p> <p>D- DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENT IS SELECTED PER SECTION 4.507.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED & CERTIFIED & SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.</p> <p>E- PROTECT ANNULAR SPACES AROUND PIPES/ELECTRIC CABLES/CONDUITS AT EXTERIOR WALL AGAINST THE PASSAGE OF RODENTS 94.406.1</p> <p>F- COVER DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION 4.504.1</p> <p>G- ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT W/ VOC & OTHER TOXIC COMPOUNDS DURING CONSTRUCTION 4.504.2.1</p> <p>H- PAINT, STAIN & OTHER COATING SHALL BE COMPLIANT W/ VOC LIMITS 4.504.2.2</p> <p>I- AEROSOL PAINTS & COATINGS SHALL BE COMPLIANT W/ PRODUCT WEIGHTED MFR LIMITS FOR VOC & OTHER TOXIC COMPOUNDS 4.504.2.3</p> <p>J- CARPET SYSTEMS SHALL BE COMPLIANT W/ VOC LIMITS 4.504.3</p> <p>K- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY W/ THE VOC-EMISSION LIMITS PER SECTION 4.504.4</p> <p>L- PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) & HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEM SHALL COMPLY W/ LOW FORMALDEHYDE EMISSION STANDARDS 4.504.5</p> <p>M- INSTALL CAPILLARY BREAK & VAPOR RETARDER AT SLAB ON GRADE FOUNDATION 4.505.2</p> <p>N- CHECK MOISTURE CONTENT OF BLDG. MATERIALS USED IN WALL & FLOOR FRAMING BEFORE ENCLOSURE 4.505.3</p> <p>O- THE PROPOSED PROJECT IS A NEW CONSTRUCTION & SHALL COMPLY W/ E PALO ALTO MUNICIPAL CODE CHAPTER 16.5 FLOOD HAZARD REGULATIONS & FEMA'S REQUIREMENTS.</p>		<p>GENERAL NOTES</p> <ol style="list-style-type: none"> WORKING HOURS: No work shall commence on the job site prior to 8:00 a.m. nor continue later than 6:00 p.m., Monday through Friday, 9:00 a.m. nor continue later than 6:00 p.m. Saturday & 9:00 a.m. - 6:00 PM on Sunday & Holidays. General Contractor shall verify all underground utility locations prior to excavation, trenching or grading of any kind. General Contractor shall coordinate w/ applicable utility companies when regrading electrical, telephone, cable TV, gas, water, sanitary sewer services or any other utility. G. C. shall maintain all electrical & communication systems in house at all times. All work is to be performed in accordance w/ all governing codes, ordinances & regulations. G. C. shall become familiar w/ all city of Burlingame aspects of working. general contractor shall be responsible for coordination & execution of the work shown or implied in the construction documents & is responsible for construction means, methods & procedures. General Contractor shall coordinate all facets of his work & all trades involved to avoid conflict in the location, installation & construction of all items of work as indicated on the construction documents. If any work is to be installed by the Owner directly, allowances for the Owner's work must be made. Coordinate with Architect / Owner. General Contractor shall leave the job site "broom clean" at the end of each working day. All materials shall be stored in a neat & safe place to avoid accidents, for construction & for the owner. In case of any discrepancy in the contract documents, consult the Architect before proceeding. No dimensions shall be taken by scaling from the drawings. Delta take precedence over general sections or floor plans. If dimensions must be clarified, consult the Architect. Refer to the Cover Sheet for dimensioning standards. Verify all dimensions on the job site prior to ordering or manufacturing. General Contractor shall review all architectural drawings before framing. Coordinate recessed light fixture locations, shafts & HVAC ductwork prior to framing. It is imperative that framing member locations do not conflict w/ locations of recessed light fixtures. If conflict exists, notify architect. General Contractor shall install all appliances specified & all new equipment according to manufacturer's instructions. All guarantees, instruction booklets & information regarding new equipment shall be handed directly to the Owner in one manila envelope at the time of substantial completion. Contractor shall verify that every piece of equipment & every appliance is in perfect working order & that information about all warranties & guarantees is made known to the Owner. The installer of each major unit of work is required to inspect the subcontracted conditions to receive work & shall report all unsatisfactory conditions to the General Contractor & not proceed until satisfactory conditions are attained. For mounting heights not clearly outlined in the plans or schedules, coordinate w/ the Architect. Architect shall confirm all electrical device & light fixture locations before Contractor pull wire. Provide saddle blocking as necessary for wall mounted shelves, fixtures & fittings, even when work is to be done by Owner directly. Review scope of work & locations from interior elevations & coordinate w/ Owner/Architect. All fastening devices to be concealed unless otherwise shown. Weather-strip all exterior doors & windows. Caulk or otherwise seal around all openings to limit infiltration, including but not limited to: Exterior joints around windows & door frames, between side joists, floors & between exterior wall panels. General Contractor shall verify that all work on the exterior of the project is watertight. All joints exposed to the elements shall be tested for water tightness prior to substantial completion. A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN THE SINGLE FAMILY RESIDENCE STRUCTURE. 	
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<p>GENERAL INFORMATION</p> <p>PROPERTY ADDRESS: 717 DONOHUE ST, E PALO ALTO CA 94033</p> <p>A.P.N.: 063374350</p> <p>DESCRIPTION OF WORK: NEW 14 UNIT CONDOMINIUM</p> <p>ARCHITECT: SUSAN CHEN</p> <p>ZONING: R-MD-2 (MEDIUM RESIDENTIAL)</p> <p>OCCUPANCY GROUP: TYPE V-B</p> <p>TYPE OF CONSTRUCTION: TYPE V-B</p>		<p>FIRE DEPARTMENT NOTES</p> <ol style="list-style-type: none"> A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN THE SINGLE FAMILY RESIDENCE STRUCTURE; SHALL BE IN ACCORDANCE WITH NFPA 130 AND STATE AND LOCAL REQUIREMENTS. CONTACT CITY OF E PALO ALTO UTILITIES (NOW) AND SUBMIT A UTILITY APPLICATION WHICH INCLUDES 40 GPM FOR FIRE SPRINKLER DEMAND. WATER METER SIZE NEEDS TO BE DETERMINED BY NOW PRIOR TO FIRE DEPARTMENT APPROVAL PROJECT. FOR PLACEMENT OF SMOKE ALARMS & CARBON MONOXIDE ALARMS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT(SLOPED, PITCHED ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT. FIRE SPRINKLER SYSTEM TO BE APPROVED UNDER A SEPARATE PERMIT. 		<p>9/2020 PLANNING REVIEW</p> <p>PROJECT NO. DATE 02/2019</p> <p>COVER SHEET</p> <p>A-0.0</p>																																																																																																																										
<p>SITE CONTEXT</p> <p>THE LOT IS 97' WIDE BY APPROXIMATELY 304' DEEP AND LOCATED MID-BLOCK ON DONOHUE ST</p>																																																																																																																														
<p>CODES AND REGULATIONS</p> <p>ALL WORK TO COMPLY WITH THE 2016 C.R.C., C.B.C., C.M.C. & C.P.C., CALIFORNIA TITLE 24 AMENDMENTS AND CITY OF E PALO ALTO MUNICIPAL CODE.</p> <p>BUILDING CODE USED TO PERFORM THE WORK ACCORDING TO THE BUILDING CODES, ORDINANCES & LAWS OF THE AUTHORITY HAVING JURISDICTION TO THE PROJECT WHICH INCLUDE BUT BE NOT LIMITED TO:</p> <p>A. 2019 CALIFORNIA BUILDING CODE</p> <p>B. 2019 CALIFORNIA RESIDENTIAL CODE</p> <p>C. 2019 CALIFORNIA MECHANICAL CODE</p> <p>D. 2019 CALIFORNIA PLUMBING CODE</p> <p>E. 2019 CALIFORNIA ELECTRICAL CODE</p> <p>F. 2019 CALIFORNIA FIRE CODE</p> <p>G. 2019 CALIFORNIA GREEN BUILDING STANDARD CODE</p> <p>H. 2019 CALIFORNIA ENERGY CODE</p> <p>I. CITY OF EAST PALO ALTO MUNICIPAL CODE</p> <p>J. EAST PALO ALTO GREEN BUILDING ORDINANCE</p>																																																																																																																														



SYMBOLS & ABBREVIATIONS

AD	AREA DRAIN
BFP	BACKFLOW PREVENTER
BL	BOLLARD
DI	DRAIN INLET
EPB	ELECTRIC PULLBOX
FH	FIRE HYDRANT
GM	GAS METERS
H-SYM	ACCESSIBLE SYMBOL
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
STL	LIGHT, STREET LIGHT
TRANS	TRANSFORMER
VLT	VULT
WPB	WATER PULLBOX
WV	WATERVALVE
MISC-MH	MISCELLANEOUS MANHOLE

LEGEND

[Hatched Box]	BUILDING
[Line with X's]	FENCE LINE
[Line with Dots]	CURB LINE
[Solid Line]	PROPERTY LINE
[Dashed Line]	NEW PROPERTY LINE
[Line with Dots]	EXISTING LOT LINE
[Line with Dots]	DOMESTIC WATER LINE
[Line with Dots]	FIRE WATER LINE
[Line with Dots]	COMMUNICATION LINE
[Line with Dots]	ELECTRIC LINE
[Line with Dots]	GAS LINE
[Line with Dots]	WATER LINE
[Line with Dots]	JOINT UTILITY LINE
[Line with Dots]	SANITARY SEWER LINE
[Line with Dots]	STORM DRAIN LINE
[Line with Dots]	STREET LIGHT LINE

PRELIMINARY PARCEL MAP
 8M PROPERTY-4, LLC
 717 DONOHUE STREET, EAST PALO ALTO, CA, 94303
 APN 063-374-350
 SAN MATEO COUNTY, CALIFORNIA

JOB NO.	17-107	SHEET	1
SCALE:	1"=10'	OF 1 SHEET	
PROJECT:	KA		
DATE:	4-15-19		
DRAWING:	KA		

BASIS OF BEARINGS
 MONUMENT LINE OF DONOHUE AVENUE
 BENCHMARK
 S.C.V.W.D. "BM455"

14-UNIT
CONDOMINIUM

717 DONGHDE ST
EAST PALO ALTO, CA
94303



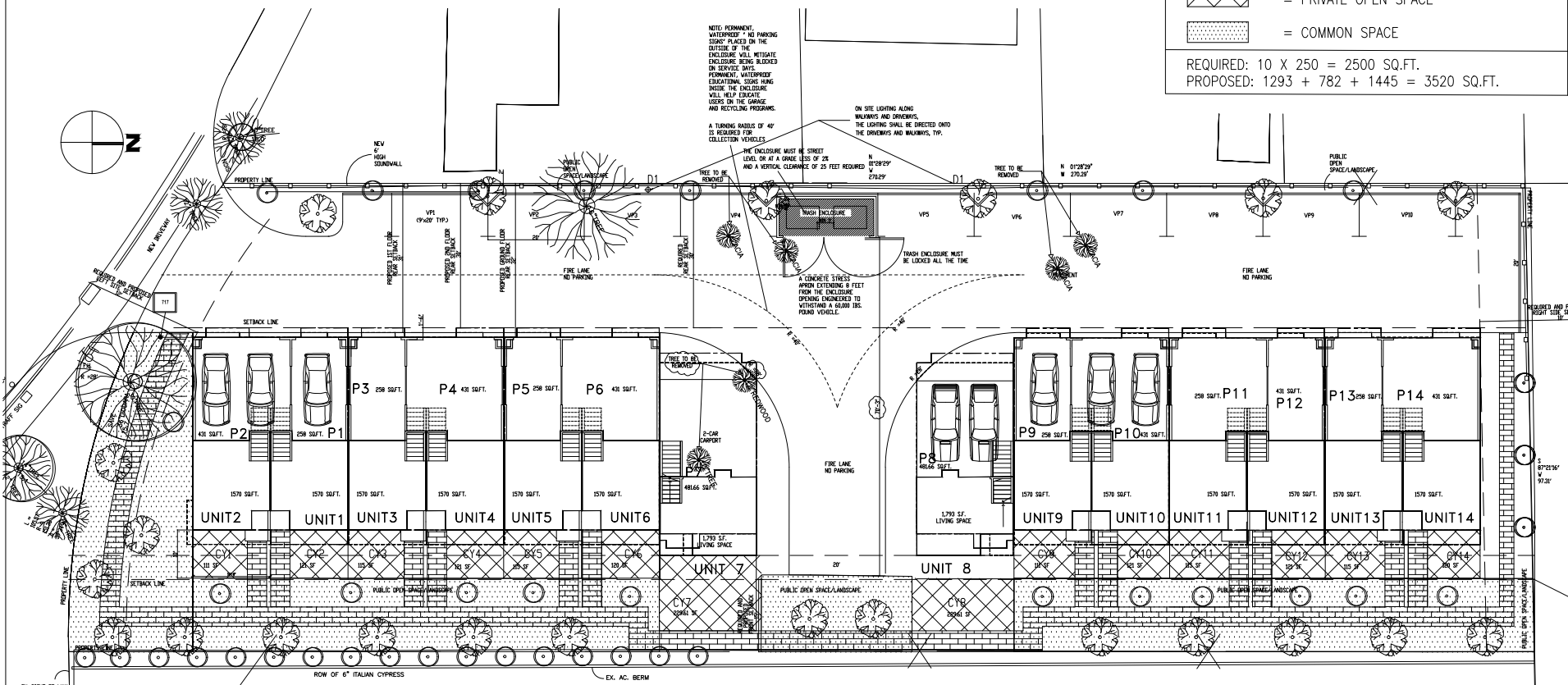
20370 TOWN CENTER LN
SUITE 125
CUPERTINO, CA 95014
408.855.0577



LEGEND:

- = PROPERTY LINE
- - - = ADJACENT PROPERTY LINE
- - - = SETBACK LINE
- = BUILDING ENVELOPE
- = FENCE
- = CURB, GUTTER & SIDEWALK
- VP1 = VISITOR PARKING FOR UNIT 1
- CY1 = COURTYARD FOR UNIT 1
- (Tree symbol) = NEW TREE (15 GALLONS MINIMUM)
CHINESE PISTACHE (PISTACIA CHINENSIS)
OR CRAPE MYRTLE (LAGERSTROEMIA)
- (Fire hydrant symbol) F.H. = New Fire Hydrant
- (Diagonal lines) = DRIEWAY
- (Cross-hatch) = PRIVATE OPEN SPACE
- (Dotted) = COMMON SPACE

REQUIRED: 10 X 250 = 2500 SQ.FT.
PROPOSED: 1293 + 782 + 1445 = 3520 SQ.FT.



PROPOSED SITE PLAN

1/10" = 1'

09.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

SITE PLAN

A-1.0

14-UNIT
CONDOMINIUM

717 DONDHOE ST
EAST PALO ALTO, CA
94303

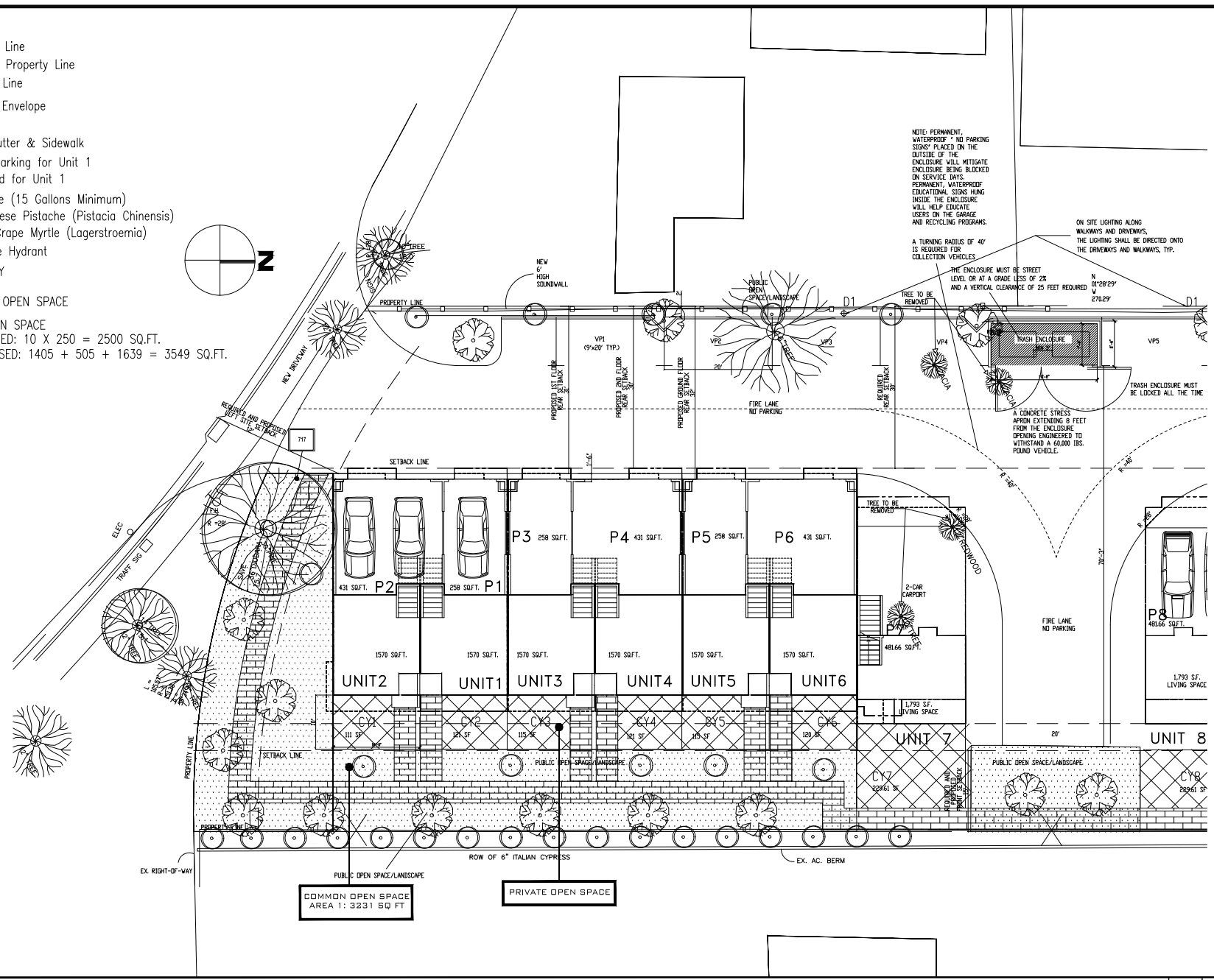


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SUITE 129
CUPERTINO, CA 95014
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LEGEND

- = Property Line
- = Adjacent Property Line
- = Setback Line
- = Building Envelope
- = Fence
- = Curb, Gutter & Sidewalk
- = Visitor Parking for Unit 1
- = Courtyard for Unit 1
- = New Tree (15 Gallons Minimum)
Chinese Pistache (*Pistacia Chinensis*)
or Crape Myrtle (*Lagerstroemia*)
- = New Fire Hydrant
- = DRIVEWAY
- = PRIVATE OPEN SPACE
- = COMMON SPACE
REQUIRED: 10 X 250 = 2500 SQ.FT.
PROPOSED: 1405 + 505 + 1639 = 3549 SQ.FT.



NOTE: PERMANENT, WATERPROOF * NO PARKING SIGNS* PLACED ON THE OUTSIDE OF THE ENCLOSURE WILL MITIGATE ENCLOSURE BEING BLOCKED ON SERVICE DAYS. PERMANENT, WATERPROOF EDUCATIONAL SIGNS HUNG INSIDE THE ENCLOSURE WILL HELP EDUCATE USERS ON THE GARAGE AND RECYCLING PROGRAMS.

A TURNING RADIUS OF 40' IS REQUIRED FOR COLLECTION VEHICLES.

THE ENCLOSURE MUST BE STREET LEVEL OR AT A GRADE LESS OF 2% AND A VERTICAL CLEARANCE OF 25 FEET REQUIRED.

ON SITE LIGHTING ALONG WALKWAYS AND DRIVEWAYS, THE LIGHTING SHALL BE DIRECTED ONTO THE DRIVEWAYS AND WALKWAYS, TYP.

WASH ENCLOSURE

TRASH ENCLOSURE MUST BE LOCKED ALL THE TIME

A CONCRETE STRESS APRON EXTENDING 8 FEET FROM THE ENCLOSURE OPENING ENGINEERED TO WITHSTAND A 66,000 LBS. FORD VEHICLE.

COMMON OPEN SPACE
AREA 1: 3231 SQ FT

PRIVATE OPEN SPACE

PROPOSED SITE PLAN (1/2)

09.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

SITE PLAN 1/2

A-1.1

1/8" 1

14-UNIT
CONDOMINIUM

717 DONOHUE ST
EAST PALO ALTO, CA
94303



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SUITE 129
CUPERTINO, CA 95014
408.855.0577



03/2020 PLANNING REVIEW

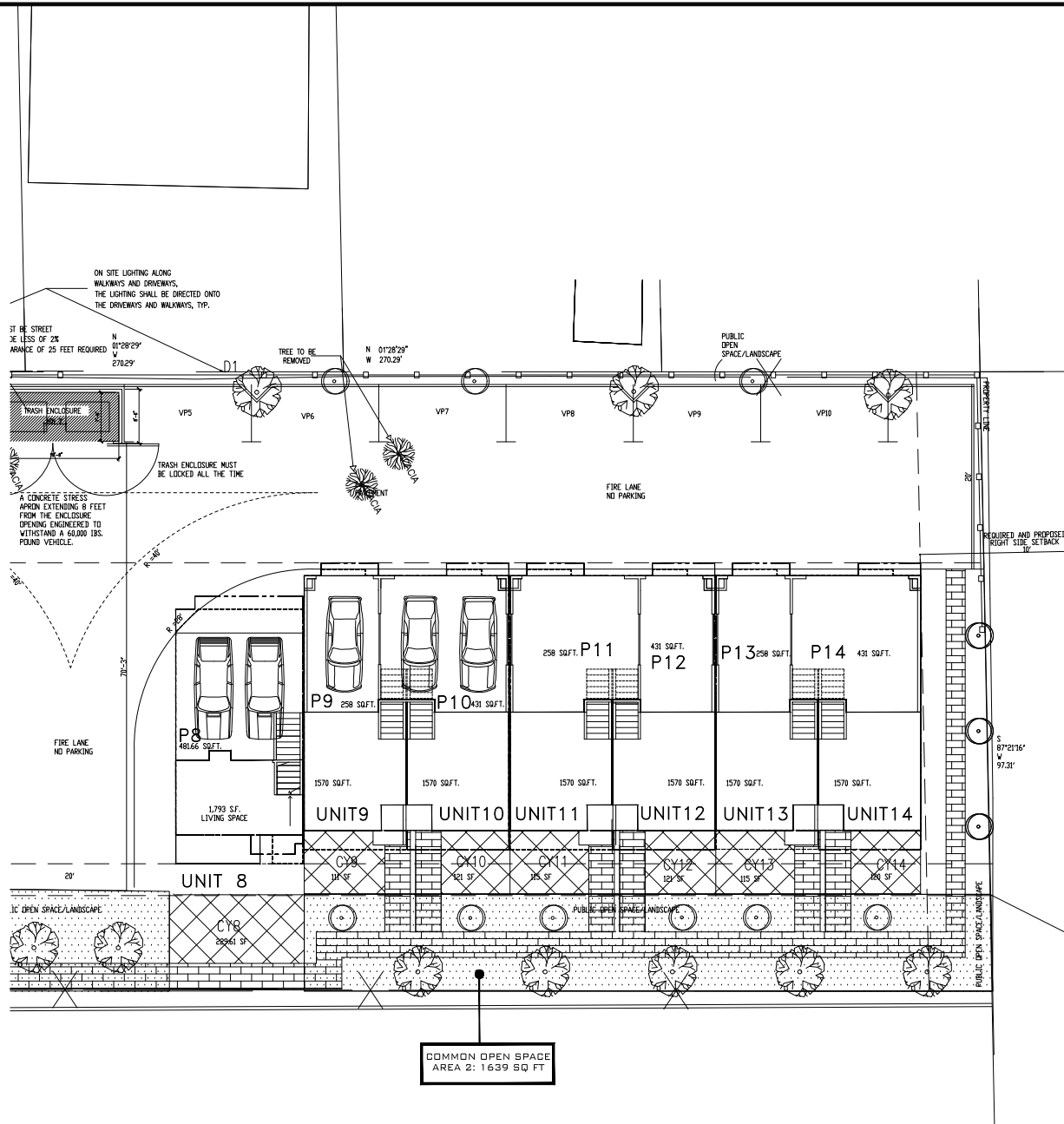
PROJECT NO. DATE 02/2019

SITE PLAN 1/2

A-1.2

LEGEND

- = Property Line
- = Adjacent Property Line
- = Setback Line
- = Building Envelope
- = Fence
- = Curb, Gutter & Sidewalk
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- = Courtyard for Unit 1
- = New Tree (15 Gallons Minimum)
Chinese Pistache (*Pistacia Chinensis*)
or Crape Myrtle (*Lagerstroemia*)
- = New Fire Hydrant
- = DRIEYWAY
- = PRIVATE OPEN SPACE
- = COMMON SPACE
REQUIRED: 10 X 250 = 2500 SQ.FT.
PROPOSED: 1405 + 505 + 1639 = 3549 SQ.FT.



PROPOSED SITE PLAN (1/2)

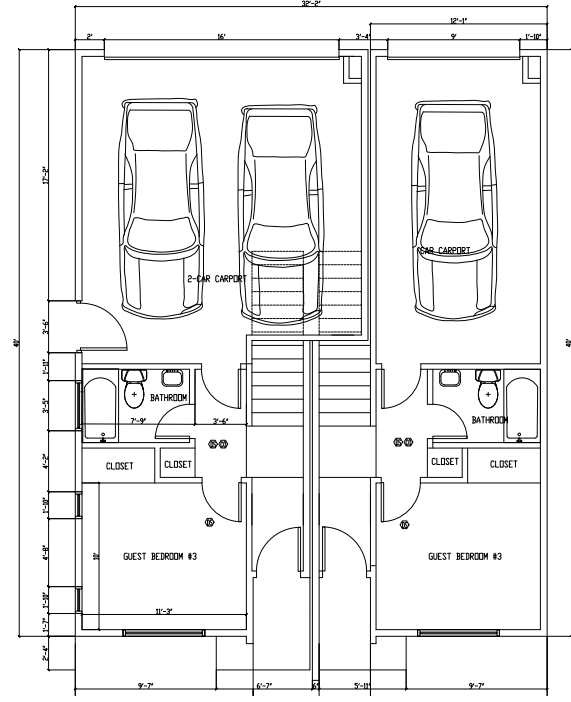
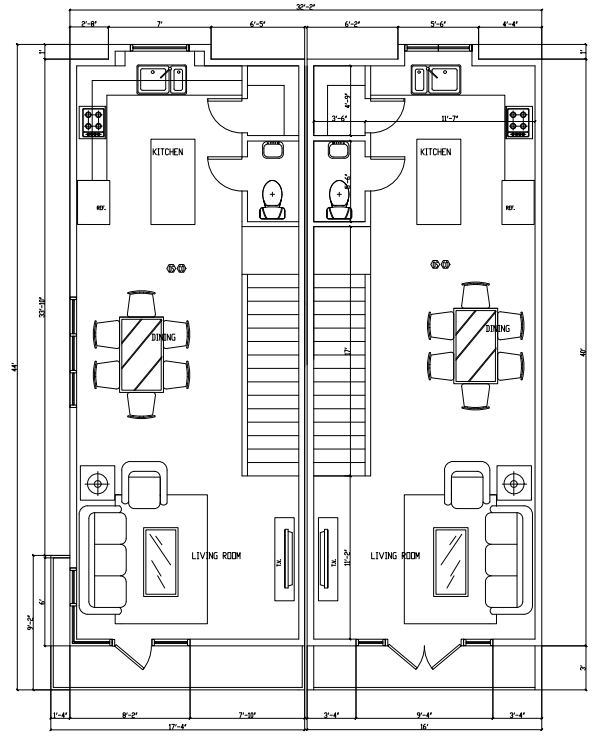
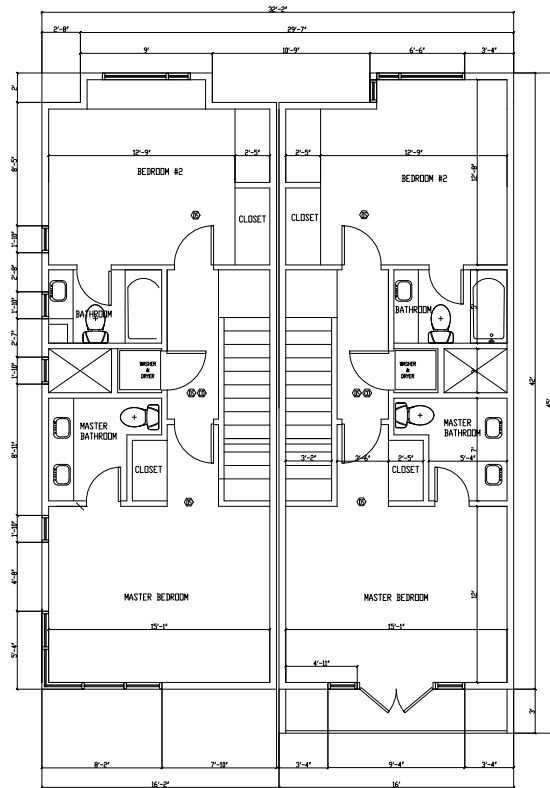
1/8" = 1'

14-UNIT
CONDOMINIUM

717 DONOHUE ST
EAST PALO ALTO, GA
94303



30370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
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SECOND LEVEL

1/4" 3

FIRST LEVEL

1/4" 2

GROUND LEVEL

1/4" 1

BUILDING TYPE (A) PROPOSED FLOOR PLANS

NOTE: THE CITY OF EAST PALO ALTO MUNICIPAL CODE SECTION 15.04.125 LIMITS CONSTRUCTION ACTIVITY TO THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY : 7:00 AM TO 6:00 PM
SATURDAY : 8:00 AM TO 5:00 PM
SUNDAYS AND NATIONAL HOLIDAYS : NO ACTIVITY ALLOWED.

08.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

BUILDING TYPE (A)
PROPOSED FLOOR PLANS

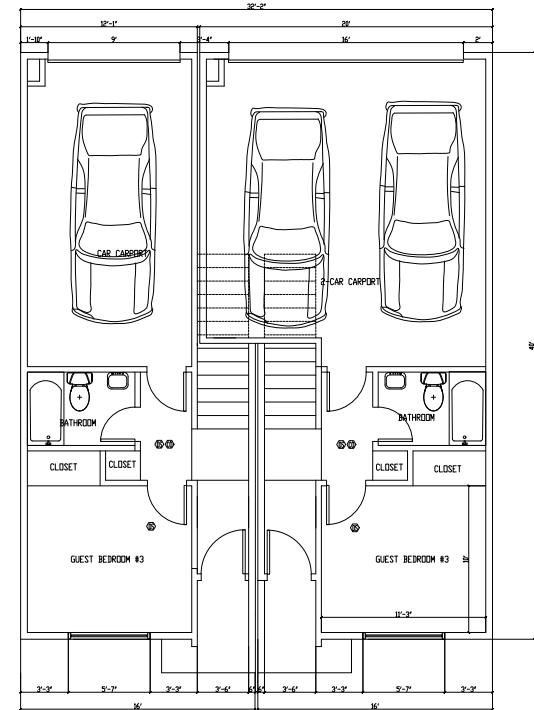
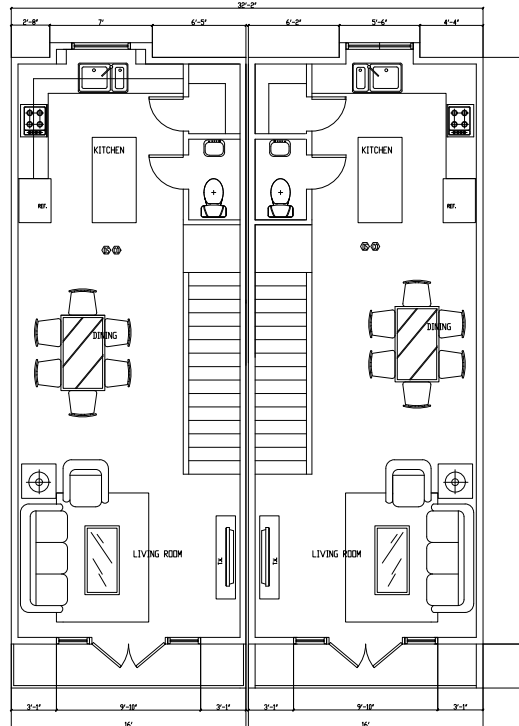
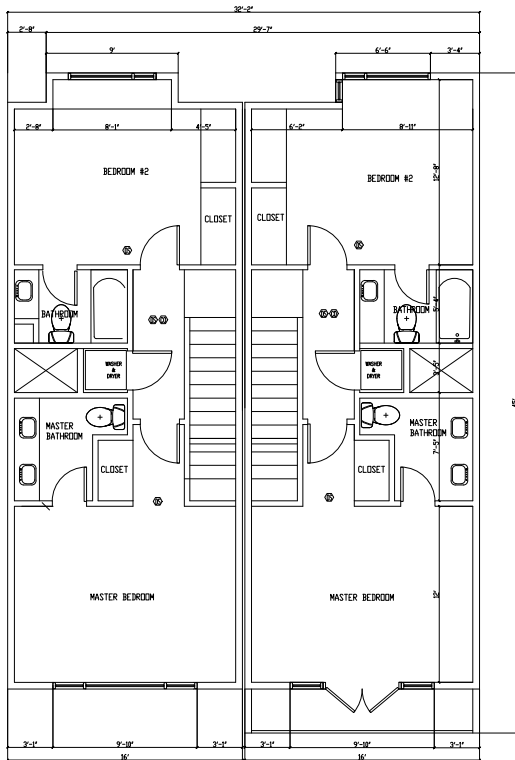
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14-UNIT
CONDOMINIUM

717 DONOHUE ST.
EAST PALO ALTO, CA
94303



20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.855.5577



SECOND LEVEL

1/4" 3

FIRST LEVEL

1/4" 2

GROUND LEVEL

1/4" 1

BUILDING TYPE (B) PROPOSED FLOOR PLANS

08.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

BUILDING
TYPE B
PROPOSED
FLOOR PLANS

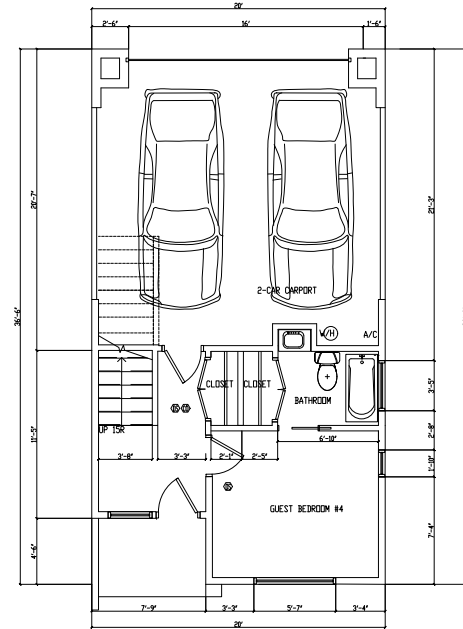
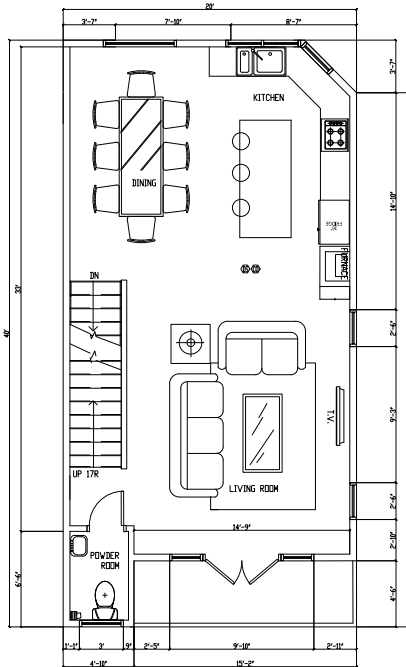
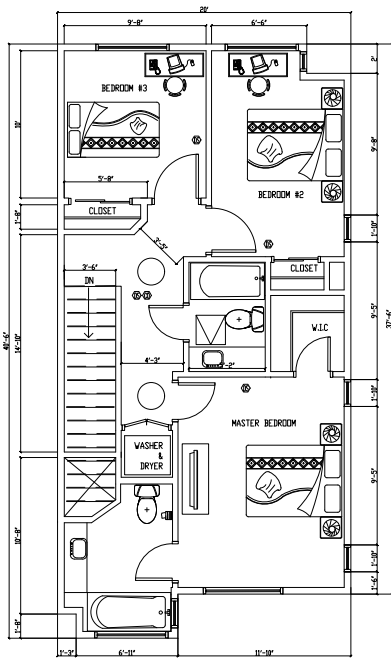
A-2.1

14-UNIT
CONDOMINIUM

717 DONDHOE ST
EAST PALO ALTO, CA
94303



20370 TOWN CENTER LN
SUITE 135
CUPERTINO, CA 95014
408.865.0577



SECOND LEVEL

1/4" 3

FIRST LEVEL

1/4" 2

GROUND LEVEL

1/4" 1

BUILDING TYPE (C) PROPOSED FLOOR PLANS

09.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

BUILDING
TYPE C
PROPOSED
FLOOR PLANS

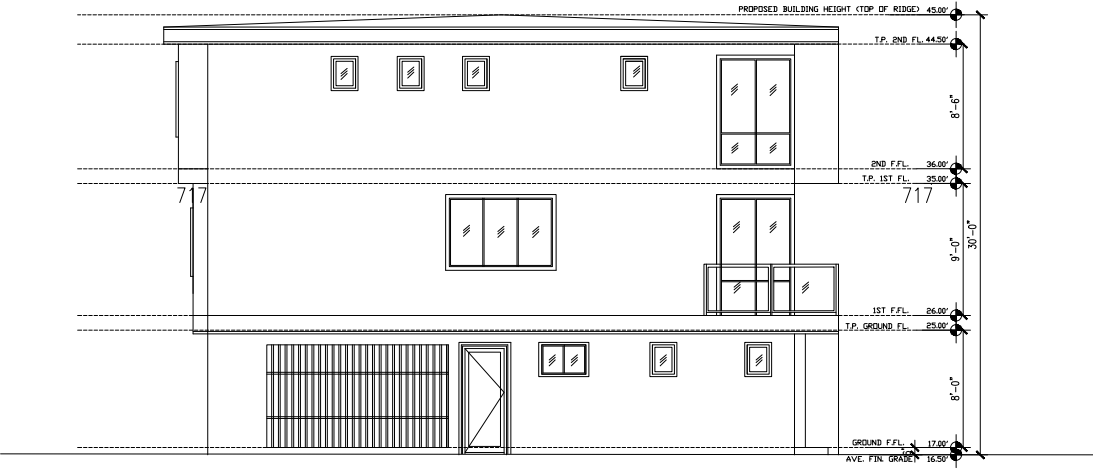
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14-UNIT
CONDOMINIUM

717 DONDHOE ST
EAST PALM ALTO, GA
94303

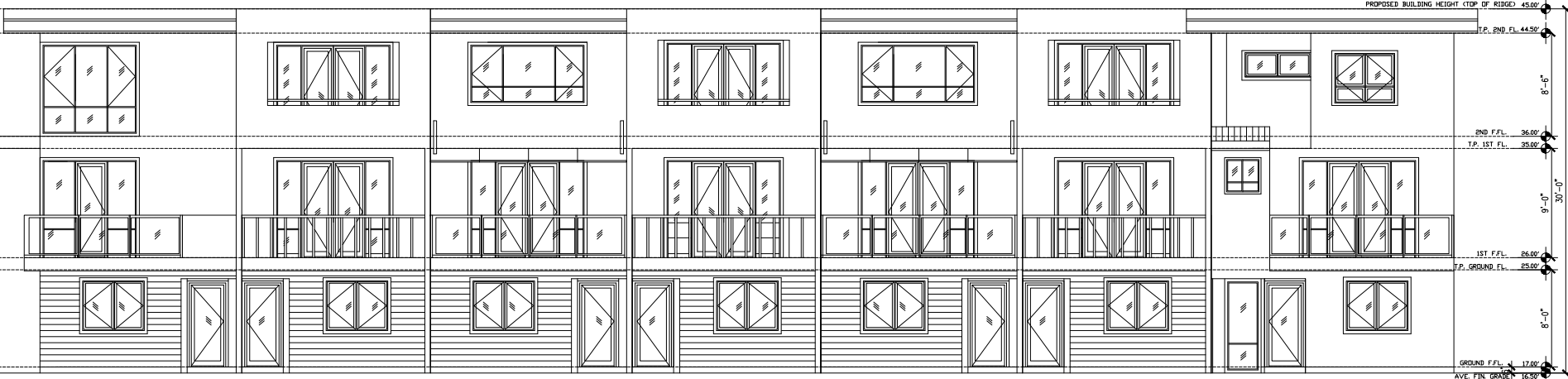


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SUITE 139
CLIPPERING, GA 95014
408.865.0577



PROPOSED RIGHT ELEVATION

1/4" 2



PROPOSED FRONT ELEVATION

1/4" 1

08.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

PROPOSED FRONT AND RIGHT ELEVATIONS

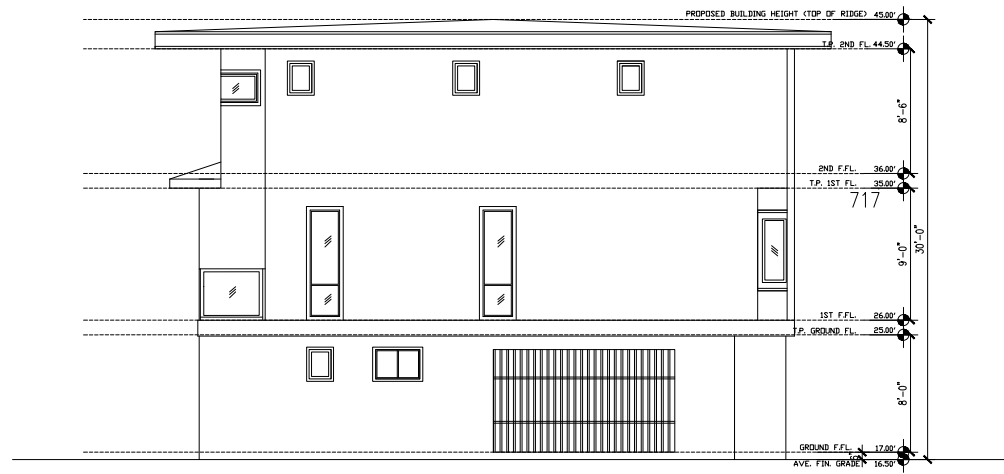
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14-UNIT
CONDOMINIUM

717 DONOHUE ST
EAST PALO ALTO, CA
94303

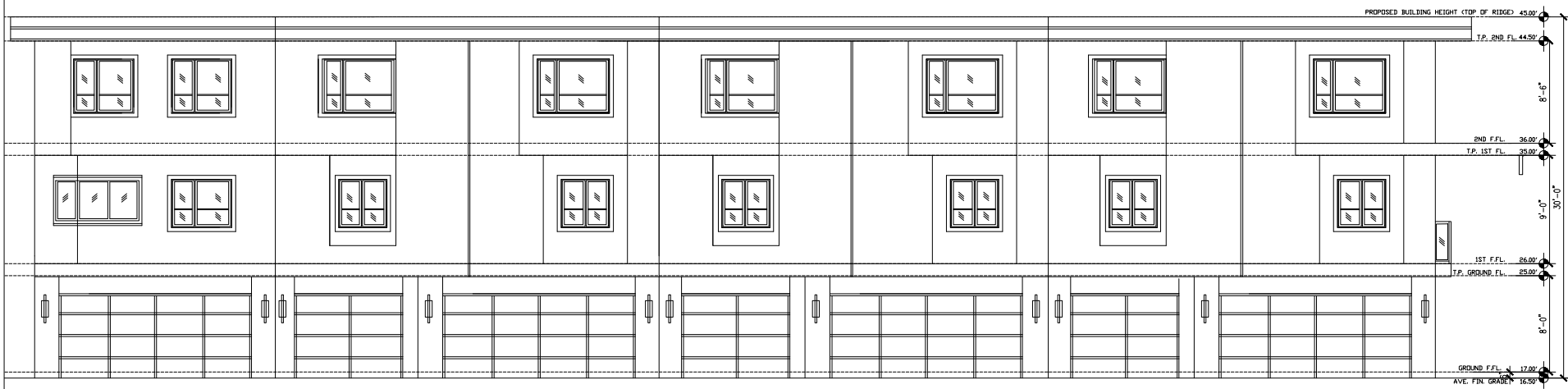


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PROPOSED LEFT ELEVATION

1/4" 2



PROPOSED REAR ELEVATION

1/4" 1

09.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

PROPOSED REAR AND LEFT ELEVATIONS

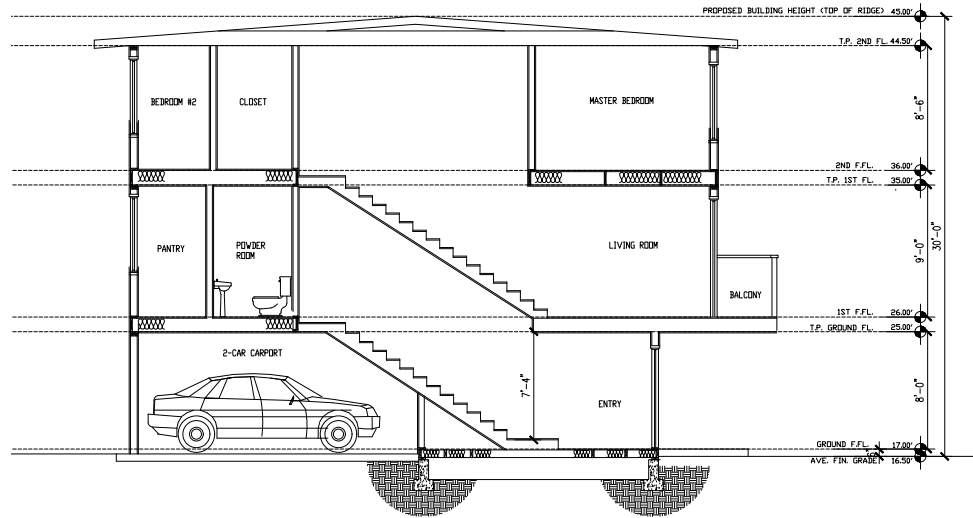
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14-UNIT
CONDOMINIUM

717 DONDHOE ST
EAST PALM ALTO, CA
94303

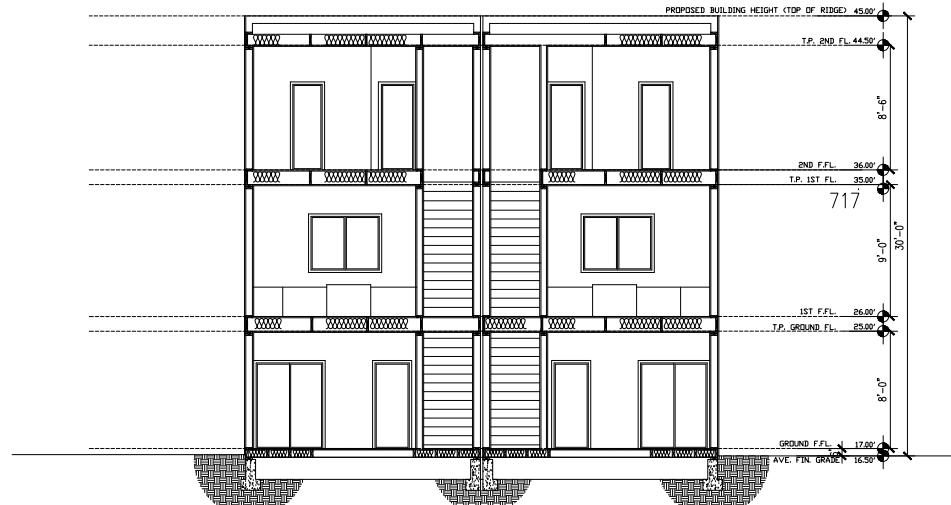


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SUITE 129
CUPERTINO, CA 95014
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SECTION B - B

1/4" 2



SECTION A - A

1/4" 1

BUILDING TYPE (A) PROPOSED SECTIONS

09.2020 PLANNING REVIEW

PROJECT NO. DATE 02.2019

PROPOSED SECTIONS

A-4.0