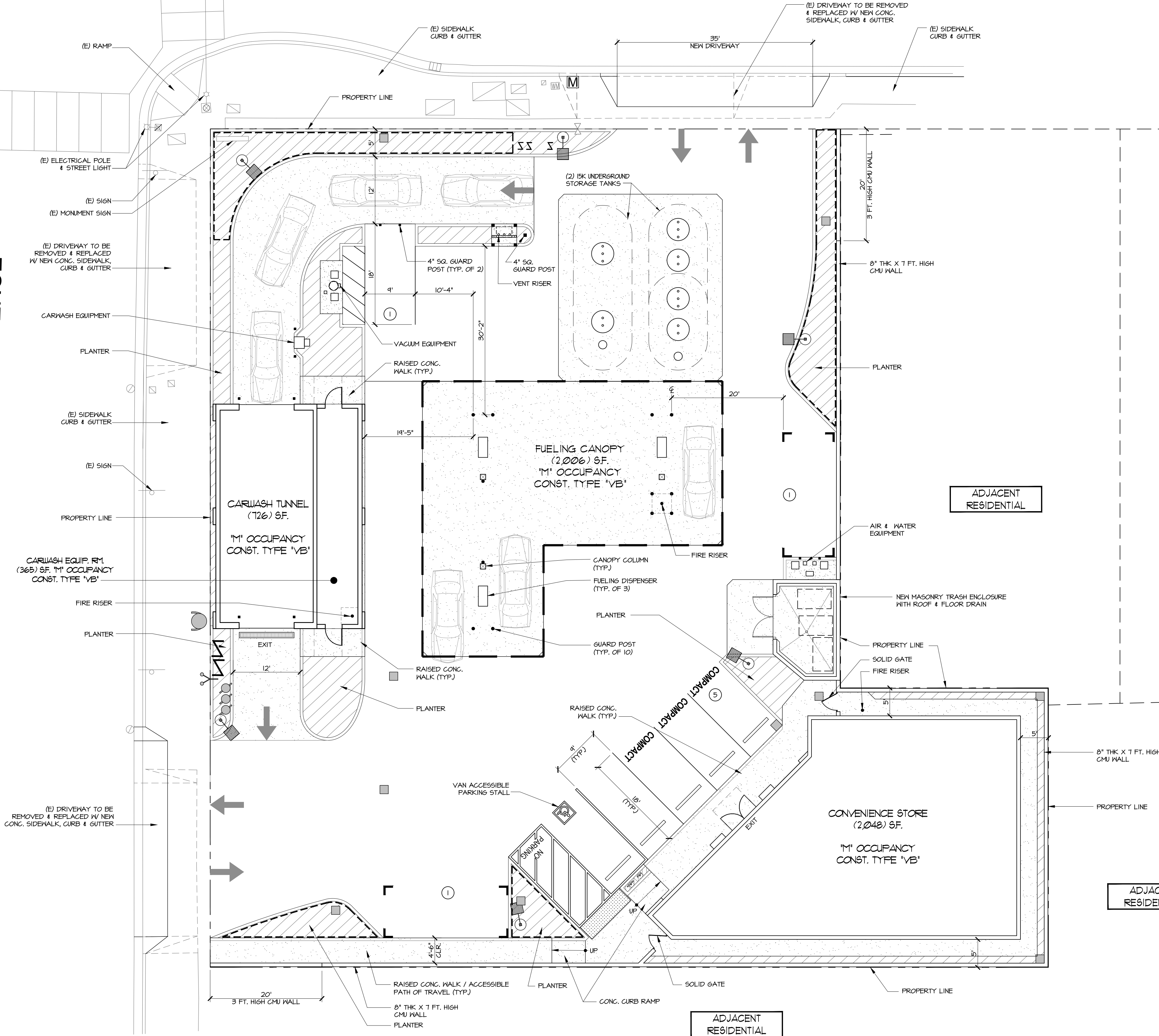


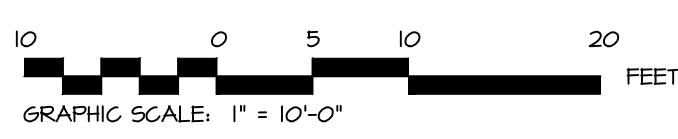
ALL SIGNS ARE UNDER
SEPARATE PERMIT

UNIVERSITY AVENUE

BELL STREET



1 SITE PLAN
SCALE: 1" = 10'-0"



DRAWING INDEX

SDI	SITE PLAN
SDI-FR	SITE PLAN FIRE APPARATUS ACCESS
I OF I	TOPOGRAPHIC SURVEY
G1	PRELIMINARY GRADING AND UTILITY PLAN
G2	PRELIMINARY STORM WATER PLAN
SDI-L	LIGHTING PHOTOMETRIC
LAI	LANDSCAPE PLAN
A1.1	CONVENIENCE STORE AND CARWASH FLOOR PLAN
A2.1	CONVENIENCE STORE BUILDING ELEVATIONS
A2.2	CARWASH BUILDING ELEVATIONS
CAI	CANOPY ELEVATIONS

SITE INFO

APN# 063-321-400
JURISDICTION: CITY OF EAST PALO ALTO, CA
CURRENT ZONING: C-1 WITH A 5-T DISTRICT OVERLAY

SITE COVERAGES:

SITE:	18,774 SF. / 0.43 ACRES (100 %)
BUILDINGS:	5,145 SF. (28 %)
CONVENIENCE STORE:	2,048 SF.
CARWASH TUNNEL & EQUIPMENT ROOM	1,091 SF.
FUELING CANOPY:	2,006 SF.
LANDSCAPE:	1,892 SF. (10.07 %)

PARKING REQUIREMENTS:

CONVENIENCE STORE:	1 SPACE PER 200 SF. OF SALES AREA	6 SPACES
1,010 SF. / 200:		
CARWASH:		1 SPACE
TOTAL PARKING REQUIRED:		7 SPACES
PARKING PROVIDED:		8 SPACES
STANDARD PARKING STALL (9' x 18'):		2 SPACES
COMPACT PARKING STALL (8' x 16'):		3 SPACES
VAN ACCESSIBLE PARKING STALL (9' x 18'):		1 SPACE
PARALLEL PARKING STALL (9' x 22'):		2 SPACES
FUELING POSITIONS (NOT COUNTED)		

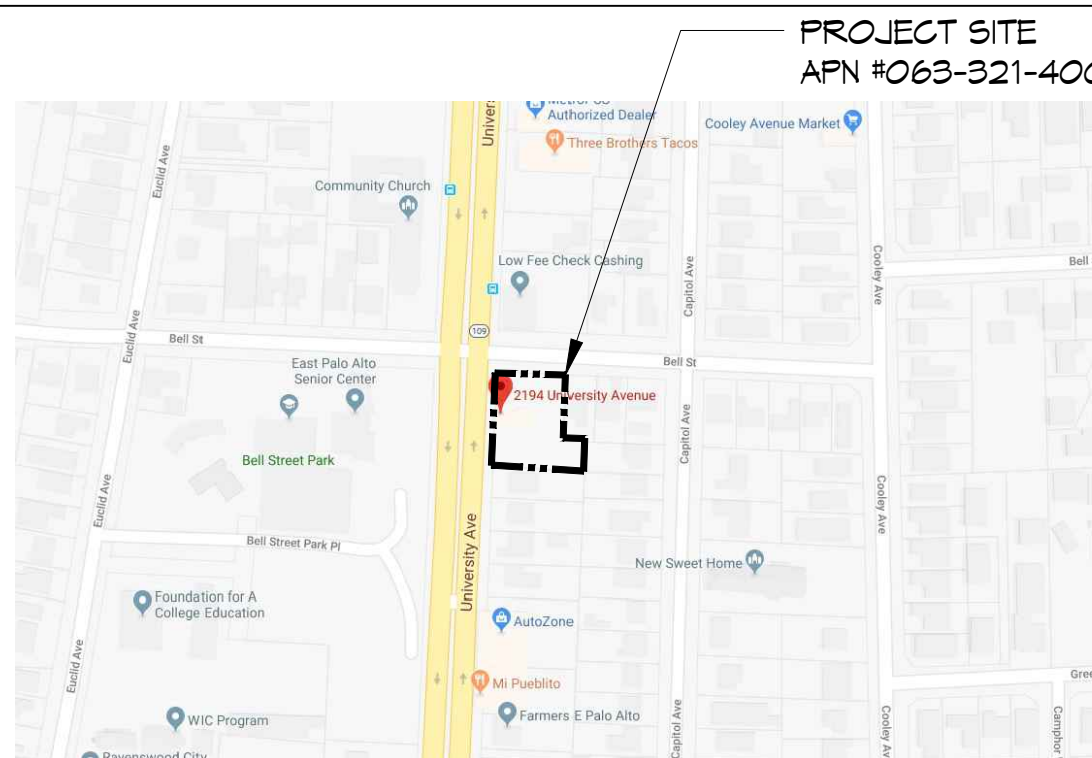
SITE PLAN LEGEND

	NEW LANDSCAPING
	NEW CONCRETE PAVING
	EXISTING TO REMAIN
	EXISTING CURB TO REMAIN
	NEW CONCRETE CURB
	BIO-RETENTION PLANTER, SEE CIVIL DWGS.

PROJECT DIRECTORY

ARCHITECT M I ARCHITECTS, INC. 2221 OLYMPIC BLVD, SUITE 100 WALNUT CREEK, CA 94595 TEL: (425) 287-1174 x1 FAX: (425) 443-1581 CELL: (425) 878-4875 MR. MUTHANA IBRAHIM, ARCHITECT	DEVELOPER BANSAL, INC. 804 E. STANLEY BLVD. LIVERMORE, CA 94550 TEL: (425) 876-9984 FAX: - MR. VIKASH BANSAL
CIVIL ENGINEER STUKAM CONSULTING ENGINEERS, INC. 11344 COLOMA ROAD, SUITE 235C GOLD RIVER, CA 95610 TEL: (916) 835-5791 FAX: (916) 488-6316 MR. FAREED T. SIDDIQUI, P.E.	LANDSCAPE GIARDELLA ASSOCIATES 640 MENLO AVE, SUITE 10 MENLO PARK, CA 94025 TEL: (650) 328-6100 FAX: (650) 323-6106 MR. RICHARD GIARDELLA

VICINITY MAP



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NOT FOR
CONSTRUCTION

GAS STATION, CONVENIENCE
STORE & CARWASH
2194 UNIVERSITY AVE.,
EAST PALO ALTO, CA 94549

-	ISSUED FOR CONSTRUCTION
-	ISSUED FOR PLAN CHECK
-	ISSUED FOR PLANNING

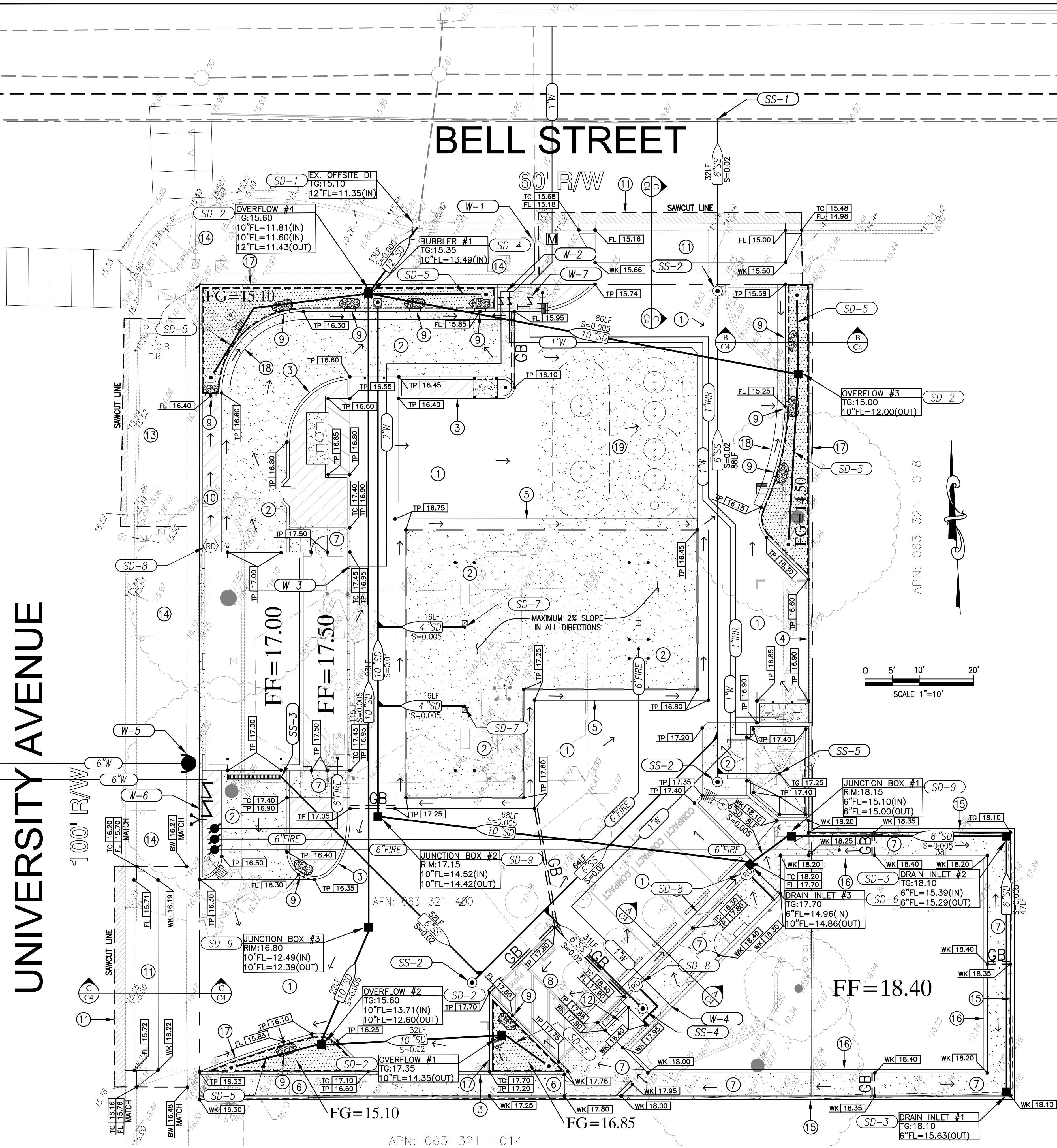
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SITE PLAN

PROJECT #: 17-13001
DRAWN: EQ CHECKED: MI
SCALE: AS NOTED DATE: 07-30-18

SD1

UNIVERSITY AVENUE



PROPOSED IMPROVEMENT NOTES:

- (1) PLACE 4" AC OVER 10" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- (2) PLACE 6" PCC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- (3) CONSTRUCT 6" VERTICAL CURB.
- (4) CONSTRUCT 6" CURB AND 1.5' GUTTER.
- (5) CONSTRUCT 2' VALLEY-GUTTER WITH $\frac{1}{4}$ " LIP SURROUNDING FUELING CANOPY.
- (6) PLACE SIDEWALK, 4" PCC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION. SLOPE SIDEWALK WITH 4.8% (MAX) SLOPE IN DIRECTION OF TRAVEL AND 1.9% (MAX) CROSS-SLOPE
- (7) PLACE SIDEWALK, 4" PCC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION. SLOPE WITH 1.9% (MAX) IN ALL DIRECTIONS.
- (8) FOR ADA PARKING STALL PLACE 6" PCC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION. SLOPE PCC PAVING WITH 1.9% (MAX) IN ALL DIRECTIONS.
- (9) CONSTRUCT 2' CURB CUT ADJACENT TO BIO-RETENTION PLANTER. PLACE 4" COBBLES SURROUND CURB CUT WITHIN BIO-RETENTION PLANTER EXTENDING 2' RADIALLY.
- (10) CONSTRUCT SWALE SLOPED AT 2% TO CARRY STORMWATER FROM ROOF DRAIN TO BIO-RETENTION PLANTER.
- (11) REMOVE AND REPLACE EXISTING DRIVEWAY, SIDEWALK AND STREET PAVING TO SAWCUT LINE. DRIVEWAY TO BE REPLACED WITH TYPE A DRIVEWAY WITH ADJACENT SIDEWALK PER CITY STANDARD DETAIL 122.
- (12) CONSTRUCT CURB RAMP WITH SLOPE IN DIRECTION OF TRAVEL NOT TO EXCEED 8.33% AND CROSS SLOPE OF 2%.
- (13) REMOVE EXISTING DRIVEWAY AND PLACE TYPE A VERTICAL CURB AND GUTTER PER CITY STANDARD DETAIL 133, AND ATTACHED SIDEWALK PER CITY STANDARD DETAIL 141.
- (14) REMOVE AND REPLACE DAMAGED PORTIONS OF SIDEWALK PER CITY STANDARD DETAIL 141. PROTECT AND ADJUST TO GRADE ANY AFFECTED UTILITIES.
- (15) 6' HIGH CMU WALL BY OTHERS. APPLY WATERPROOFING BETWEEN CMU WALL AND ADJACENT WALKWAY.
- (16) APPLY WATERPROOFING BETWEEN BUILDING AND ADJACENT WALKWAY.
- (17) CONSTRUCT BIORETENTION WALLS, BY OTHERS.
- (18) CONSTRUCT BIORETENTION WALLS WITH ATTACHED 1.5' GUTTER.
- (19) PLACE PCC AND PEA GRAVEL FOR FUELING TANKS PER ARCHITECT PLANS.

WATER NOTES:

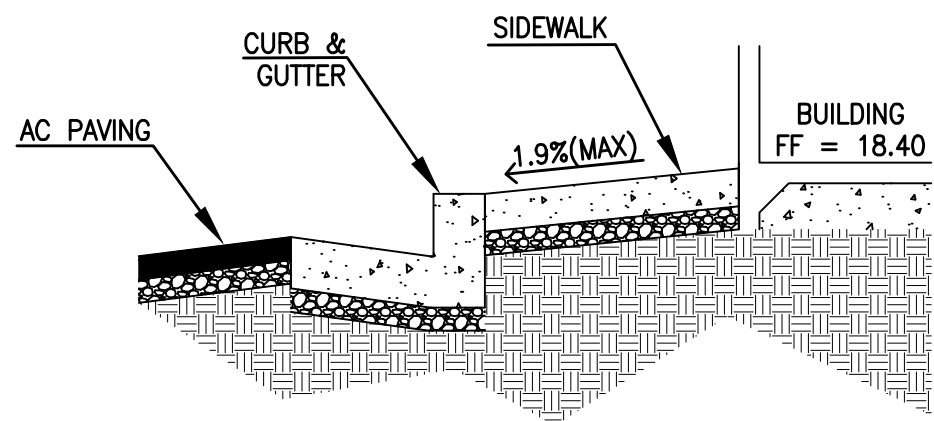
- W-1** CONNECT WATER SERVICE TO EXISTING WATER METER.
- W-2** INSTALL 1" BACK FLOW PREVENTER FOR CONVENIENCE STORE AND 2" BACK FLOW PREVENTER FOR CARWASH.
- W-3** EXTEND 2" WATER SERVICE TO CARWASH.
- W-4** EXTEND 1" WATER SERVICE TO CONVENIENCE STORE.
- W-5** INSTALL FIRE HYDRANT.
- W-6** INSTALL 6" FIRE SERVICE, DDC, FDC AND TWO PIVs. EXTEND FIRE SERVICE TO CARWASH AND FUELING CANOPY.
- W-7** INSTALL 1" WATER SERVICE, 1" WATER METER AND 1" BFP. EXTEND 1" WATER SERVICE TO IRR POC, AIR/WATER STATION AND TRASH ENCLOSURE.

SEWER NOTES:

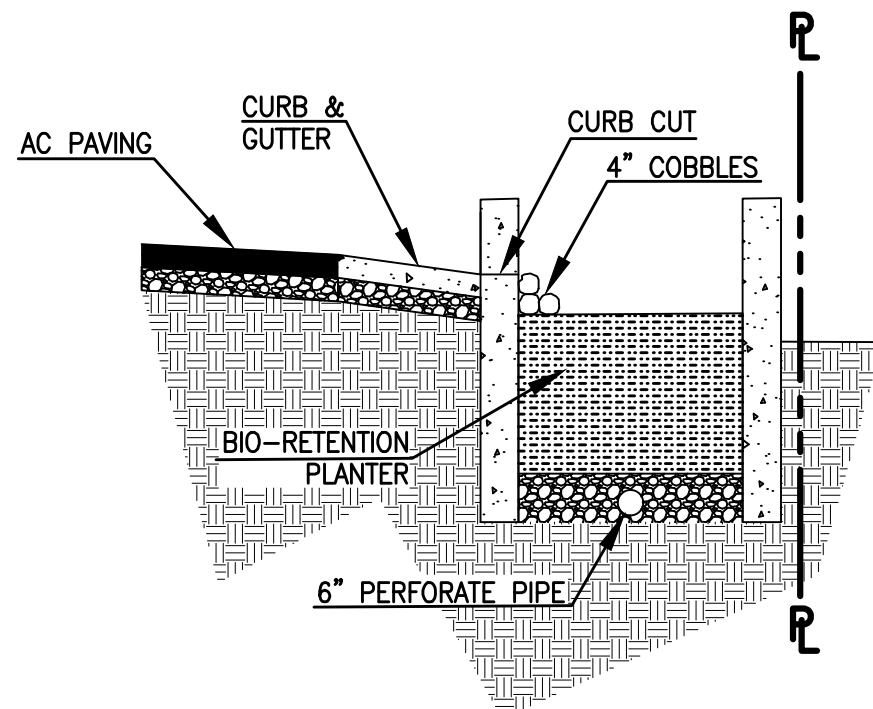
- SS-1 CONNECT SEWER SERVICE TO CITY SEWER MAIN.
- SS-2 INSTALL CLEANOUT TO GRADE.
- SS-3 EXTEND 6" SEWER SERVICE TO CARWASH AND TRENCH DRAIN AT CARWASH EXIT.
- SS-4 EXTEND 6" SEWER SERVICE TO CONVENIENCE STORE.
- SS-5 EXTEND 4" SEWER SERVICE TO FLOOR DRAIN IN TRASH ENCLOSURE.

STORM DRAIN NOTES:

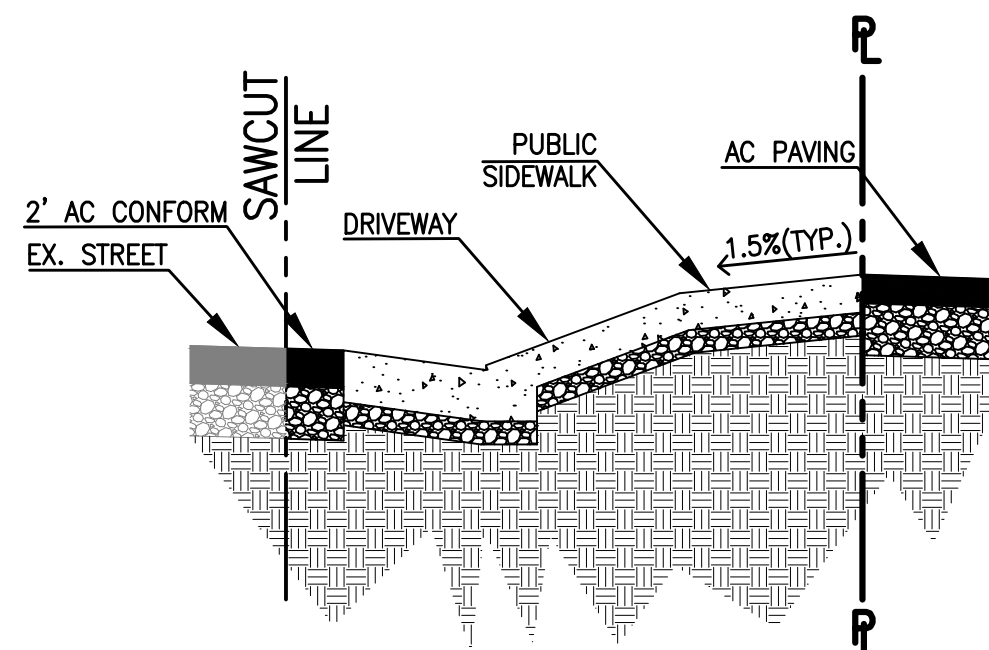
- SD-1** CONNECT ONSITE STORM DRAIN SYSTEM TO CITY STORM DRAIN SYSTEM.
- SD-2** PLACE DRAIN INLET AND USE AS OVERFLOW WITH TOP OF GRATE 6" ABOVE AND INVERT 2.5' BELOW FINISHED GRADE OF BIO-RETENTION PLANTER.
- SD-3** PLACE DRAIN INLET WITH PEDESTRIAN RATED, HEEL PROOF GRATE. MARK INLET WITH "NO DUMPING! FLOWS TO BAY".
- SD-4** PLACE DRAIN INLET AND USE AS BUBBLE-UP IN BIO-RETENTION PLANTER WITH TOP OF GRATE 3" ABOVE FINISH GRADE OF BIO-RETENTION PLANTER.
- SD-5** INSTALL 6" PVC SDR-35 PERFORATED PIPE IN GRAVEL LAYER OF BIO-RETENTION PLANTER. TERMINATE PIPE WITH CLEANOUT TO GRADE.
- SD-6** PLACE DRAIN INLET WITH TRAFFIC RATED, HEEL PROOF GRATE. MARK INLET WITH "NO DUMPING! FLOWS TO BAY".
- SD-7** CONNECT FUELING CANOPY TO ONSITE STORM DRAIN SYSTEM.
- SD-8** DAYLIGHT BUILDING ROOF DRAIN.
- SD-9** PLACE DRAIN INLET WITH TRAFFIC RATED SOLID COVER AND USE AS JUNCTION BOX.



CROSS-SECTION A - A
NTS



CROSS-SECTION B - B
NTS



CROSS-SECTION C - C
NTS

PRELIMINARY GRADING & UTILITY PLAN

2194 UNIVERSITY AVENUE

GAS STATION, CONVENIENCE STORE

& CARWASH

APN: 063-321-400

CITY OF EAST PALO ALTO SAN MATEO COUNTY CALIFORNIA

JOB NO: 2017-024 Designed: FTS Checked: FTS Date: 8/30/2023

SHEET

1

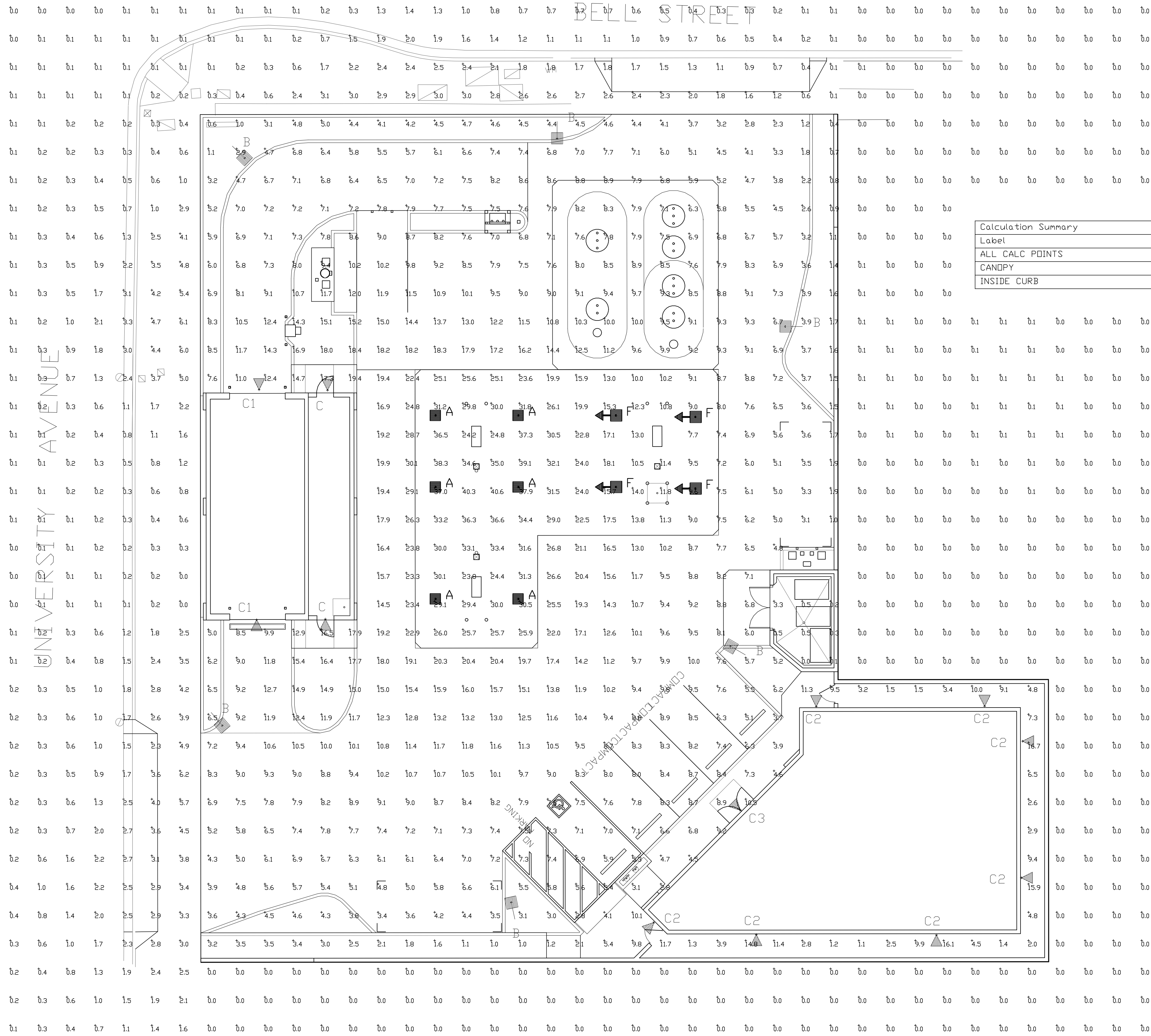
Of 2 SHEETS

JOB NUMBER:

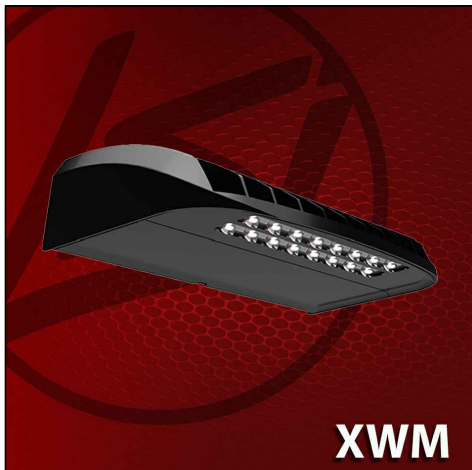
2017-024

CEPA DATE

REVISIONS



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	5.10	40.6	0.0	N.A.	N.A.
CANDOPY	Illuminance	Fc	23.12	40.6	7.2	3.21	5.64
INSIDE CURB	Illuminance	Fc	9.38	30.1	1.0	9.38	30.10



PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	6	A	SINGLE	CRUS-SC-LED-SS-50	16'-4"	1.000	1.000	13674	97.9
	6	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE	18'POLE+2'BASE	1.000	1.000	12568	148.5
	2	C	SINGLE	XWM-FT-LED-06L-50	9'	1.000	1.000	5936	44.7
	2	C1	SINGLE	XWM-FT-LED-06L-50	11'-6"	1.000	1.000	5936	44.7
	7	C2	SINGLE	XWS-LED-02L-FTW-50-80CRI	7'	1.000	1.000	2167	15
	1	C3	SINGLE	XWM-FT-LED-06L-50	10'	1.000	1.000	5936	44.7
	4	F	Single	CRUS-AC-SLW-50 DIMMED 90%	16'-4"	0.100	0.100	5207	38

Total Project Watts
Total Watts = 19589



LIGHTING PROPOSAL LD-150299-3

C-STORE
2194 UNIVERSITY AVE
EAST PALM BEACH, FL 33411

BY:WVE DATE:02-05-20 REV:08-28-23 SHEET 1 OF 1

SCALE: 1"=10' 0 10



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GAS STATION, CONVENIENCE
STORE & CARWASH
2194 UNIVERSITY AVE.,
EAST PALO ALTO, CA 94549

PLANTING LEGEND

Symbol BOTANICAL NAME COMMON NAME H2O

Tree

Tilia tomentosa 'Sterling' Sterling Silver Linden L 36" Box

Gleditsia triacanthos 'Shademaster' Honey Locust L 36" Box

Shrubs and Vines

Rhaphiolepis indica 'Jack Evans' Pink India Hawthorn L 5 Gallon

Pittosporum tobira 'Variegatum' Variegated Japanese Pittosporum L 5 Gallon

Gelsemium sempervirens Carolina Jasmine L 1 Gallon

Note: Shrubs adjacent to sidewalks shall be trimmed to 3' max.

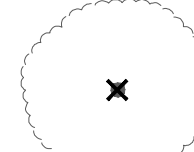
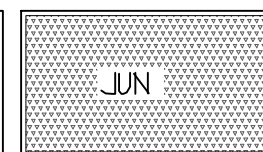
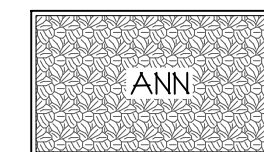
Ground Cover

ROS Rosmarinus officinalis 'Huntington Carpet' Rosemary L 1 Gallon @ 30" oc

ANN Geranium incanum Carpet Geranium L 1 Gallon @ 18" oc

Bioretention Planting

JUN Juncus patens 'Enigma' Mystery Blue Ca. Gray Rush L 1 Gallon @ 30" oc



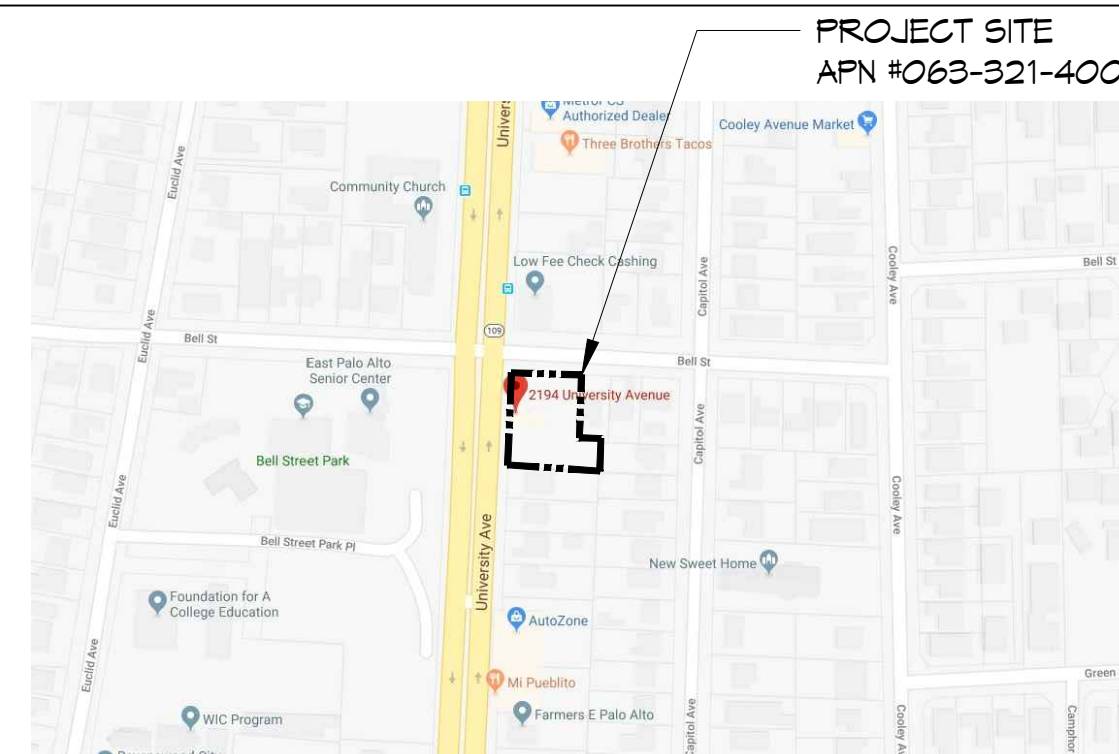
Existing Tree to be removed

PLANTING NOTES

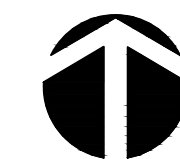
- All trees are to be staked as shown in the staking diagram per city requirement.
- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch.
- All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species an size as those damaged.
- All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
- Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
- All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
- HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
- Landscape shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
- CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
- A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
- Incorporate compost or natural fertilizer into the soil to a minimum depth of 8" at a minimum rate of 6 cubic yards per 1000 square feet.
- All Plantings shall be automatically irrigated utilizing state of the art system, components and installation techniques.
- Plant pits shall have their sides and bottoms loosened or otherwise broken to prevent glazed or compacted surfaces, and shall be as shown on the planting detail. Only un-amended soil shall be used beneath the root ball; cultivate bottom of plant pit to improve porosity. Backfill around sides of rootball shall be the amended soil taken from adjacent prepared areas. Spread material excavated from plant pits onto adjacent areas as replacement. Should additional backfill be necessary, a mixture of one-third organic amendment/fertilizer mix and two-thirds topsoil may be used.

I agree to comply with the requirements of the Water Efficient Landscape Ordinance (MELCO) and submit a complete Landscape Document Package.

VICINITY MAP



NORTH



- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

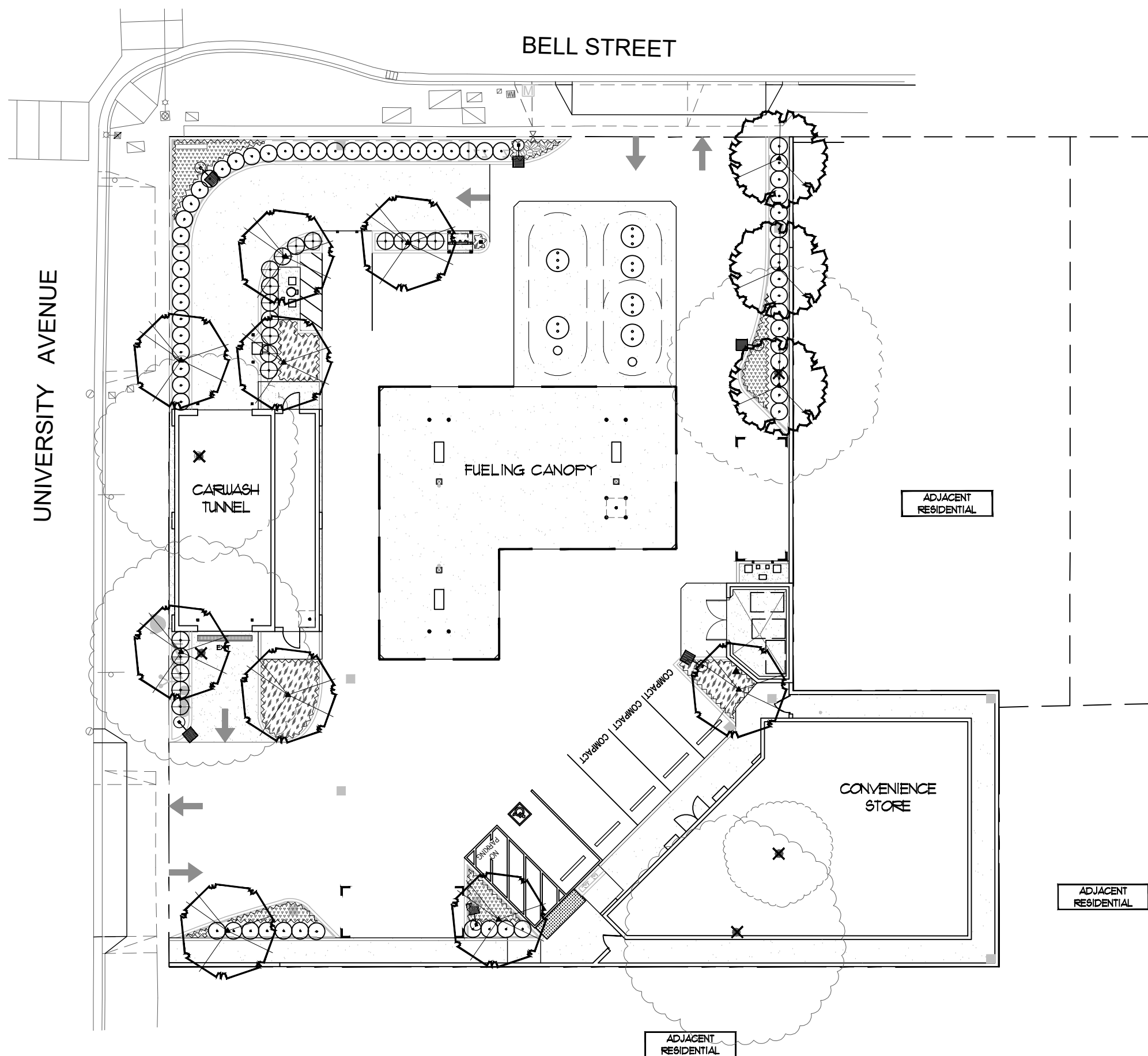
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2		
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LANDSCAPE PLAN

PROJECT #: 17-13001
DRAWN: rc CHECKED: rc
SCALE: AS NOTED DATE: 07-30-18

LA1

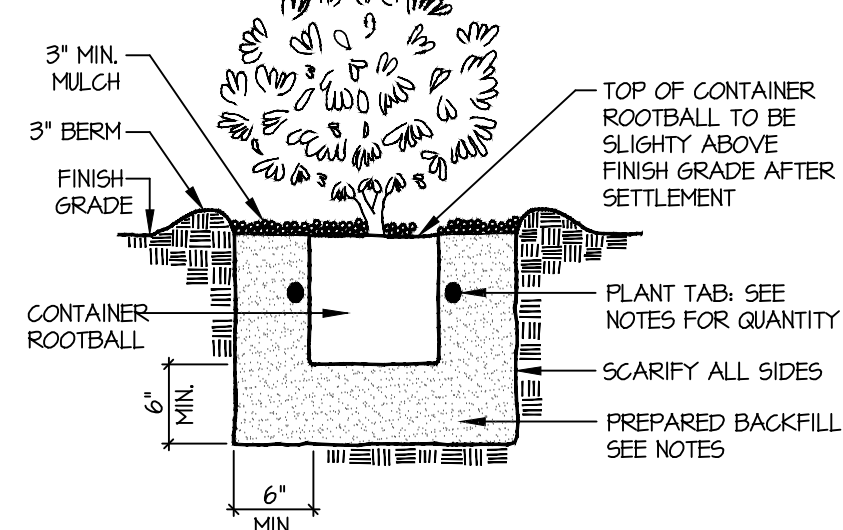
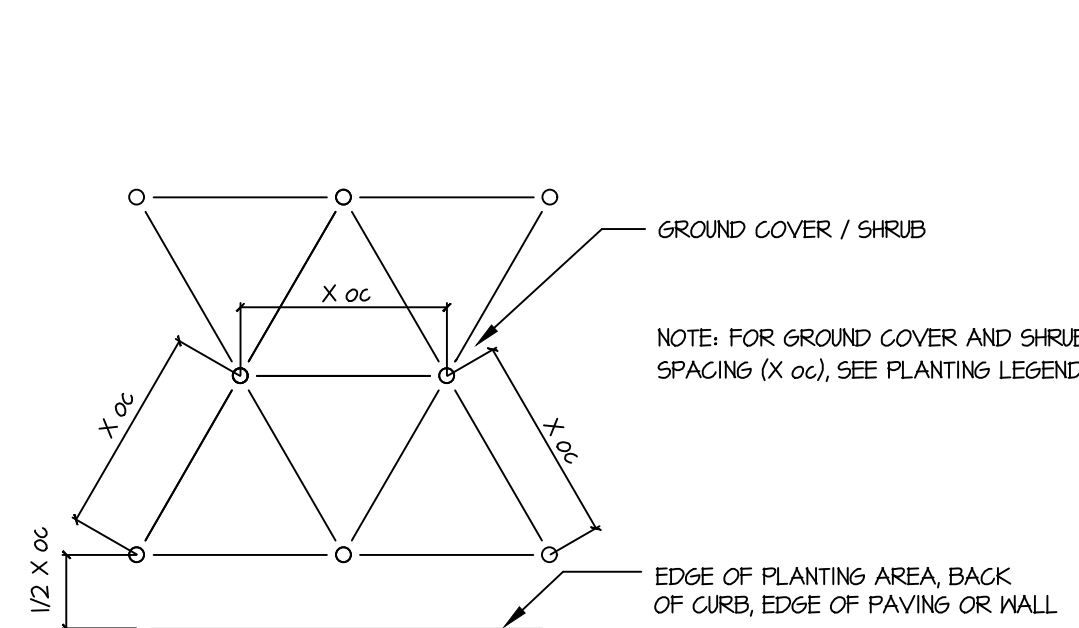
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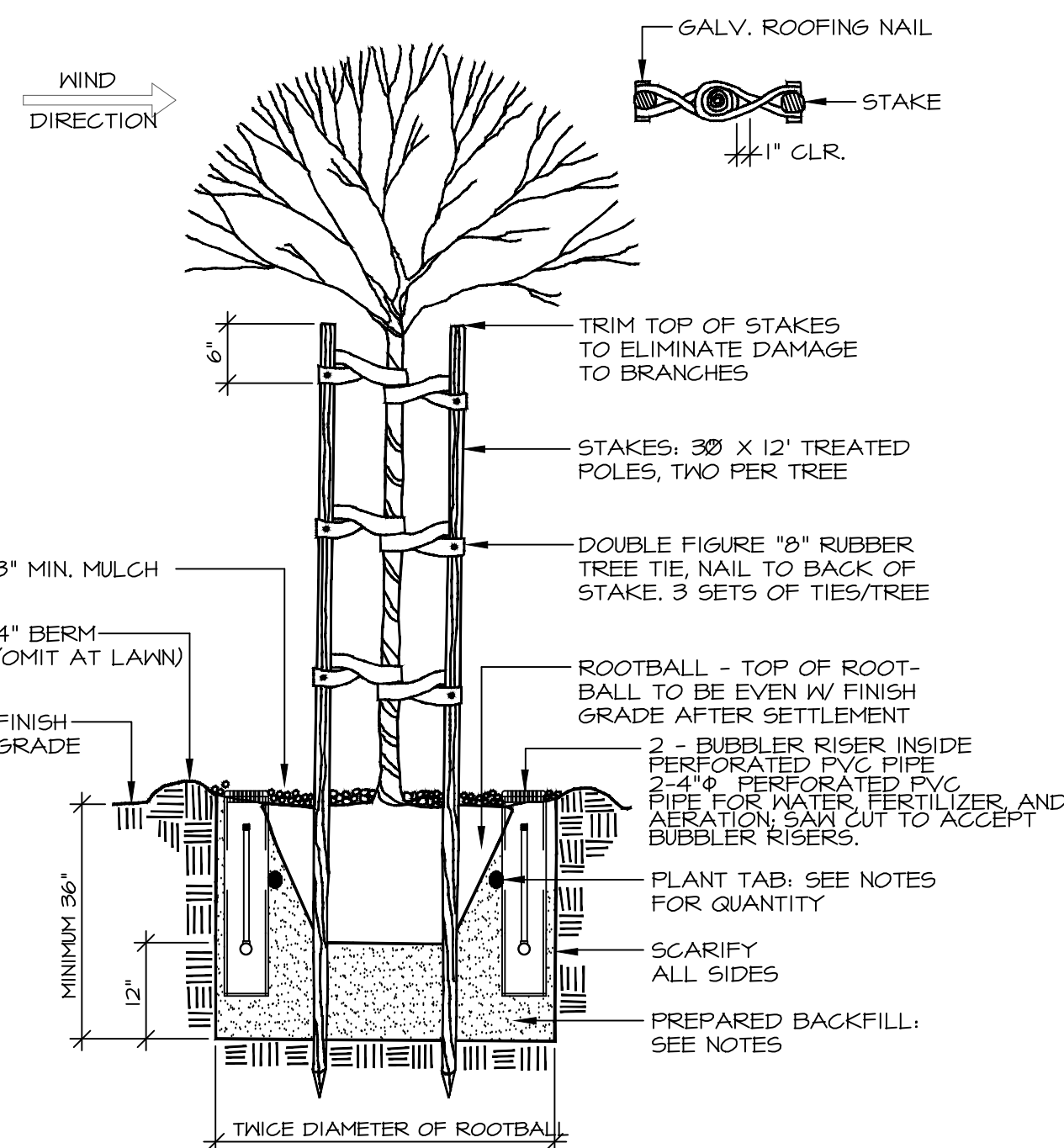
1 PLANTING PLAN

1" = 20'-0"

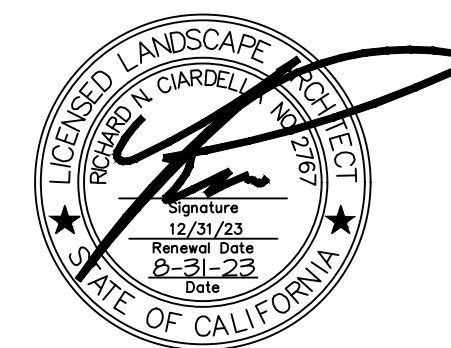
GRAPHIC SCALE: 1" = 20'-0"



PLANTING INSTALLATION AND LAYOUT

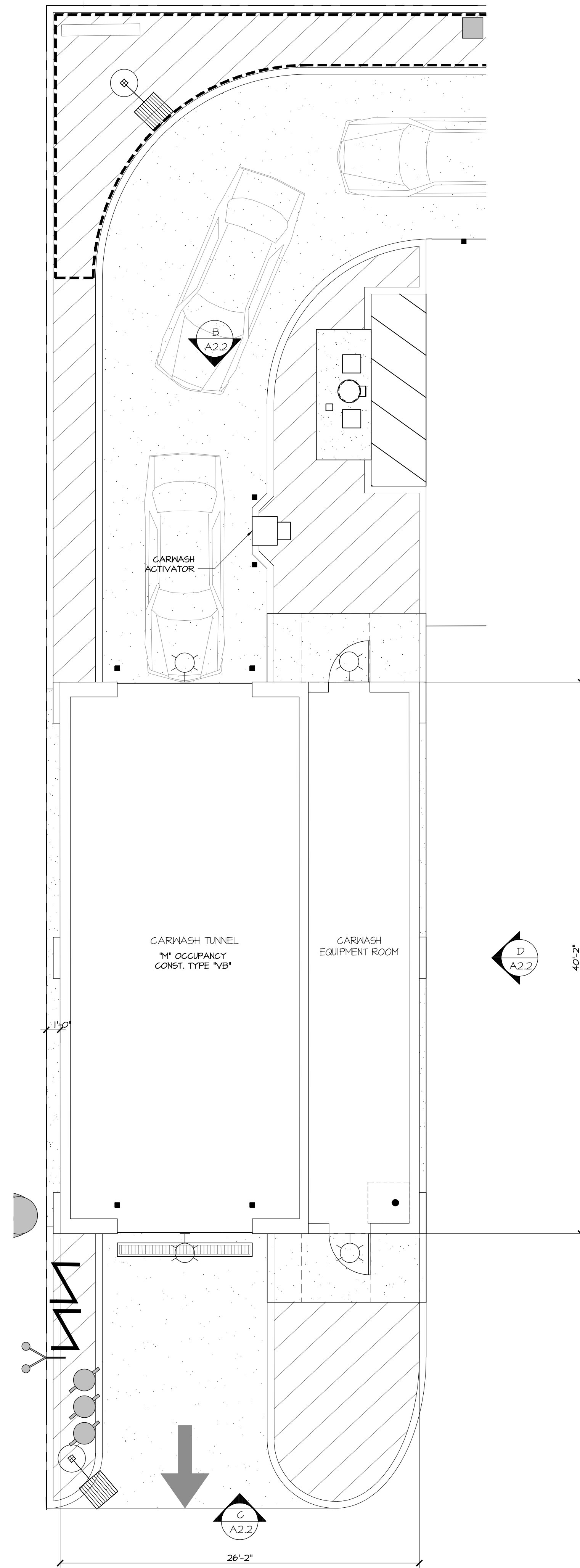


TREE PLANTING AND STAKING

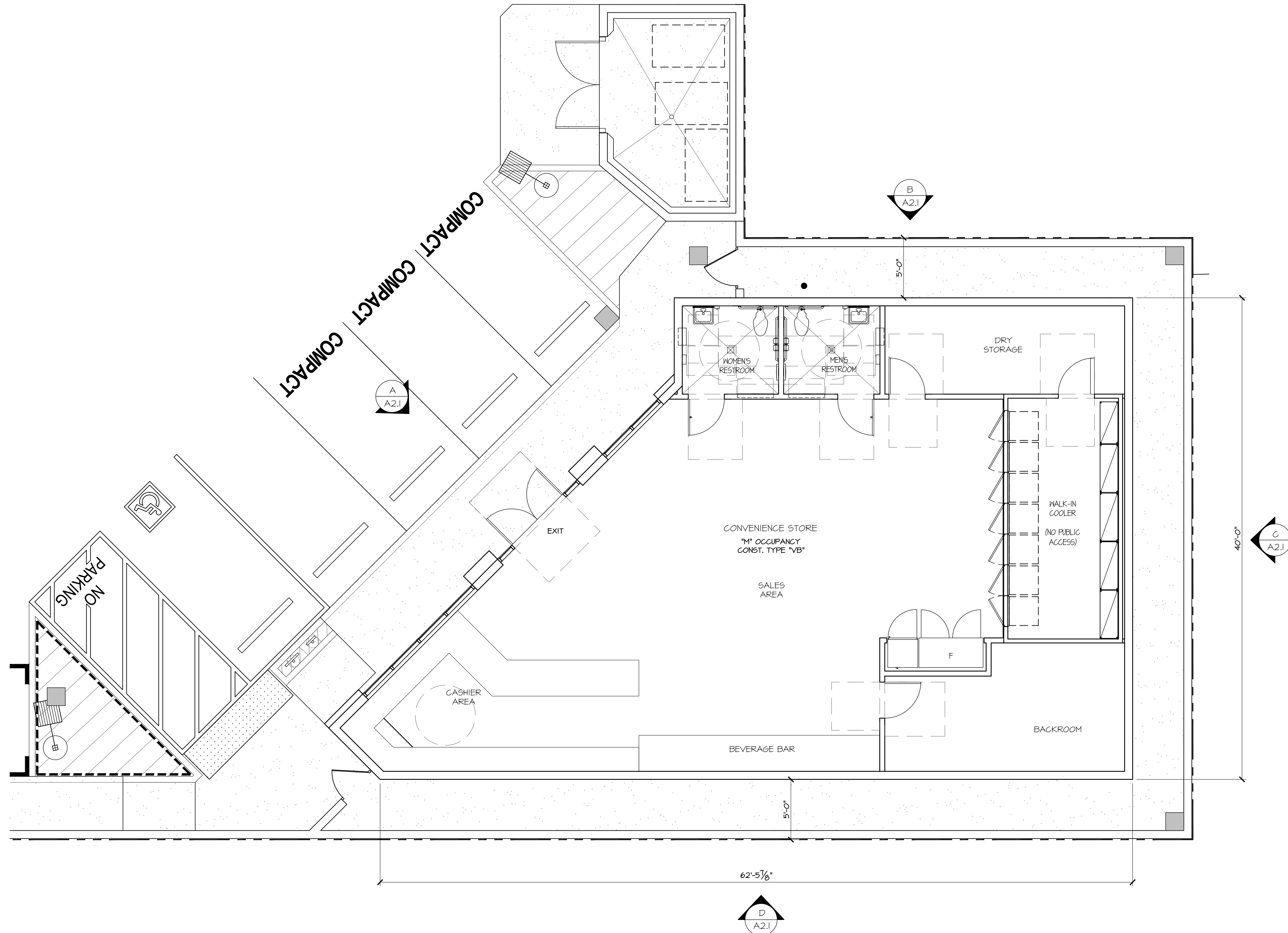


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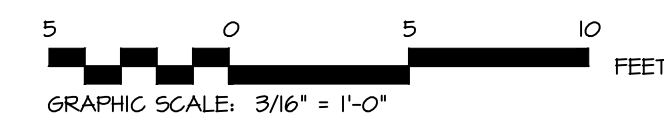
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2 CARWASH FLOOR PLAN
3/16" = 1'-0"



1 CONVENIENCE STORE FLOOR PLAN
3/16" = 1'-0"



**GAS STATION, CONVENIENCE
STORE & CARWASH
2194 UNIVERSITY AVE.,
EAST PALO ALTO, CA 94549**

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NO.	DATE	DESCRIPTION
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CONVENIENCE STORE AND
CARWASH FLOOR PLAN

PROJECT #: 17-13001
DRAWN: BM CHECKED: MII
SCALE: AS NOTED DATE: 07-30-18



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2194 UNIVERSITY AVE.,
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NO.	DATE	DESCRIPTION
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△		
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CONVENIENCE STORE
BUILDING ELEVATIONS

PROJECT #: 17-13001
DRAWN: BM CHECKED: MII
SCALE: AS NOTED DATE: 07-30-18

A2.1

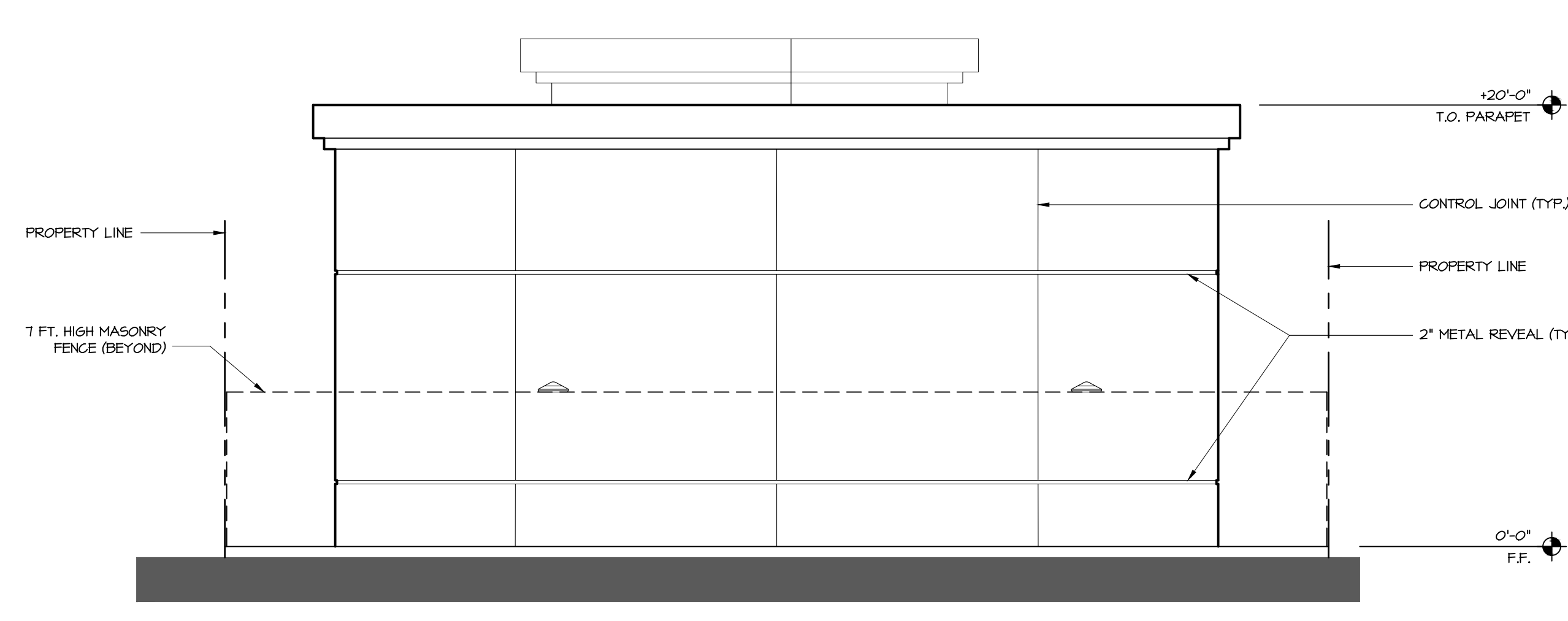
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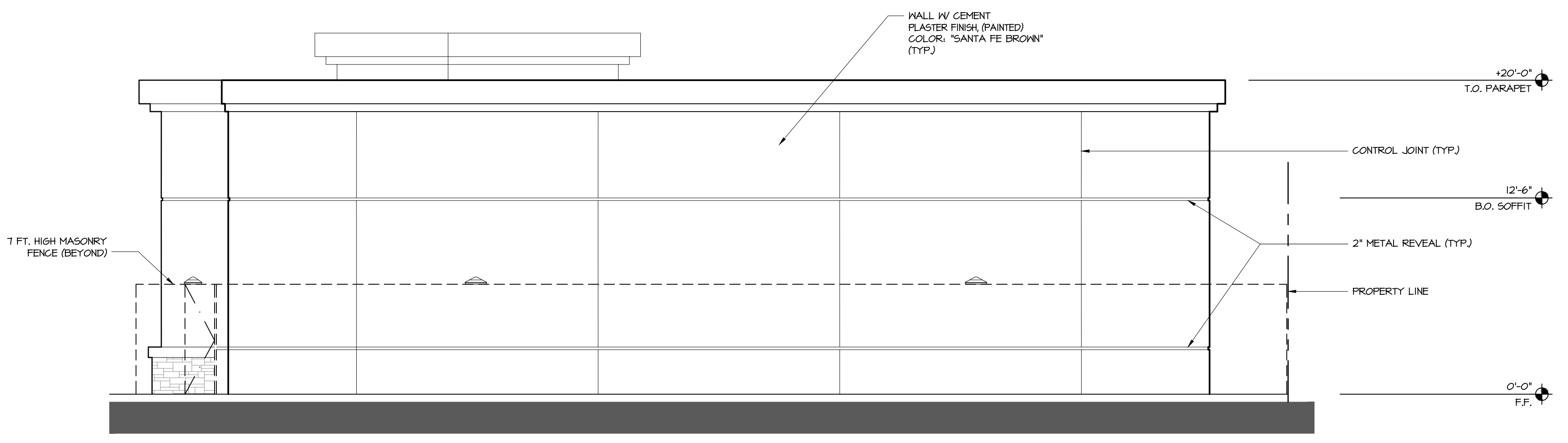
A NORTHWEST BUILDING ELEVATION (FACING UNIVERSITY AVE.)
3/16" = 1'-0"



B NORTH BUILDING ELEVATION
3/16" = 1'-0"

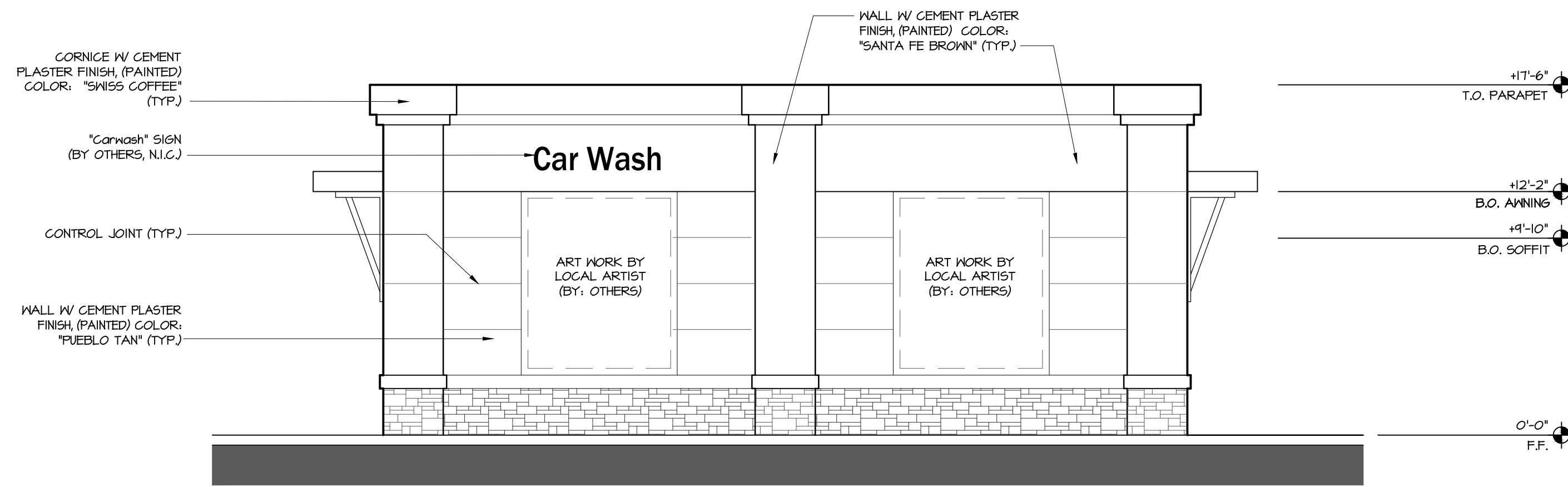


C EAST BUILDING ELEVATION
3/16" = 1'-0"

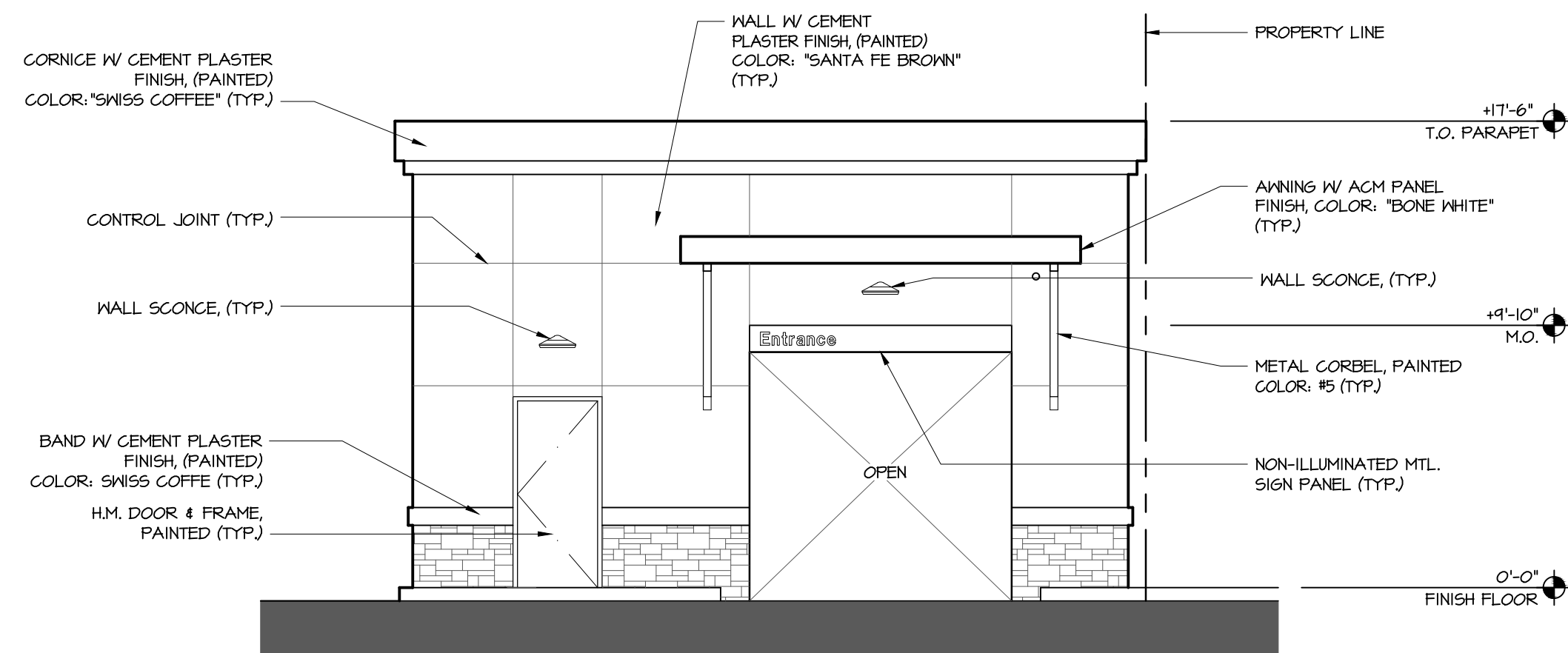


D SOUTH BUILDING ELEVATION
3/16" = 1'-0"

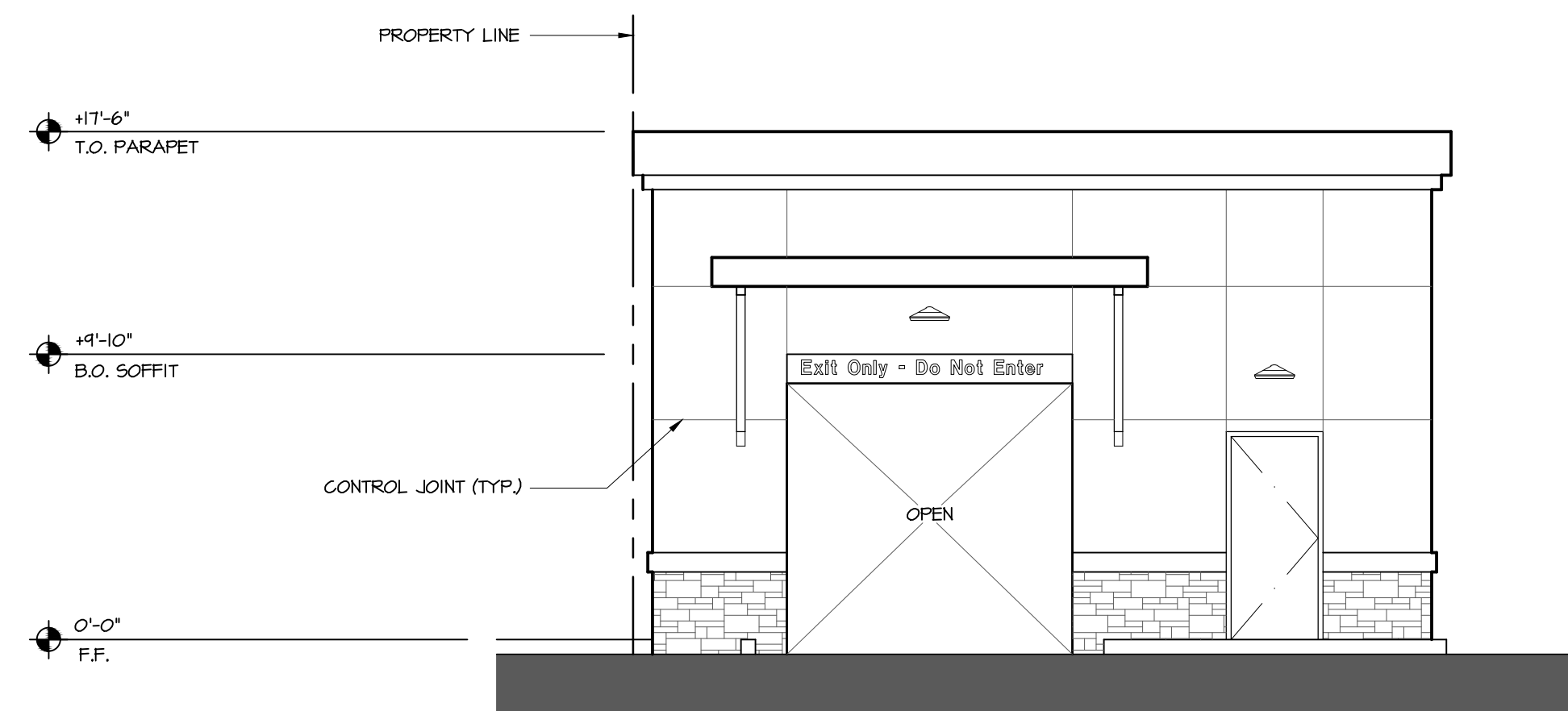
S:\1-Projects\17-13001 2194 University Ave E Palo Alto\dwg\Planning\17-13001-A2.1A&2.2.dwg modified by mouser2 at Aug 30, 2023 - 11:19am



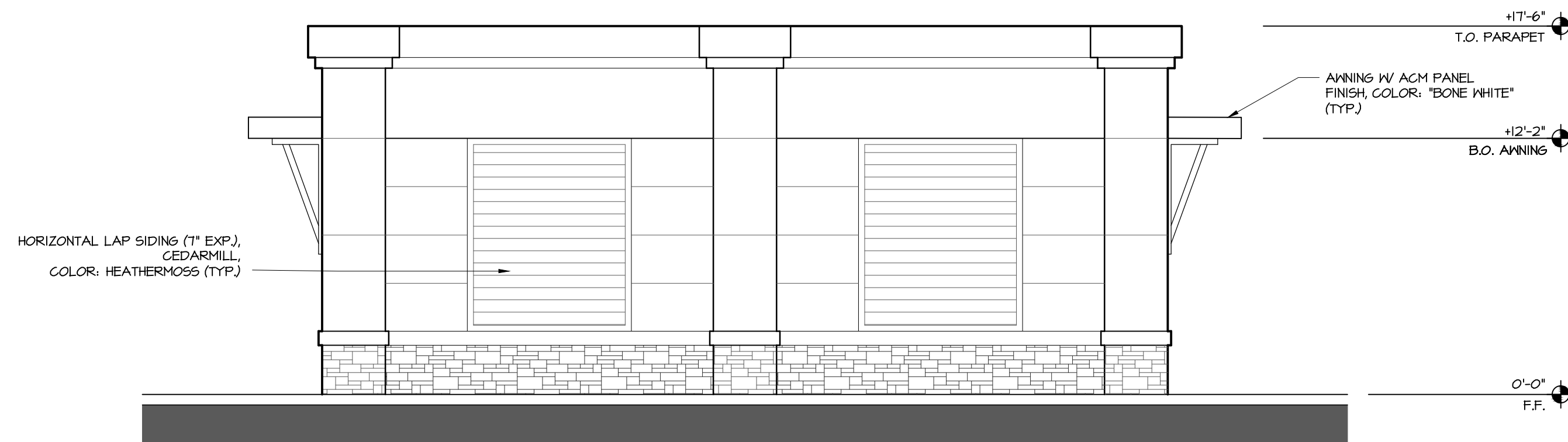
A WEST CARWASH BUILDING ELEVATION (FACING UNIVERSITY AVE.)
3/16" = 1'-0"



B NORTH CARWASH BUILDING ELEVATION (FACING BELL STREET)
3/16" = 1'-0"



C SOUTH CARWASH BUILDING ELEVATION
3/16" = 1'-0"



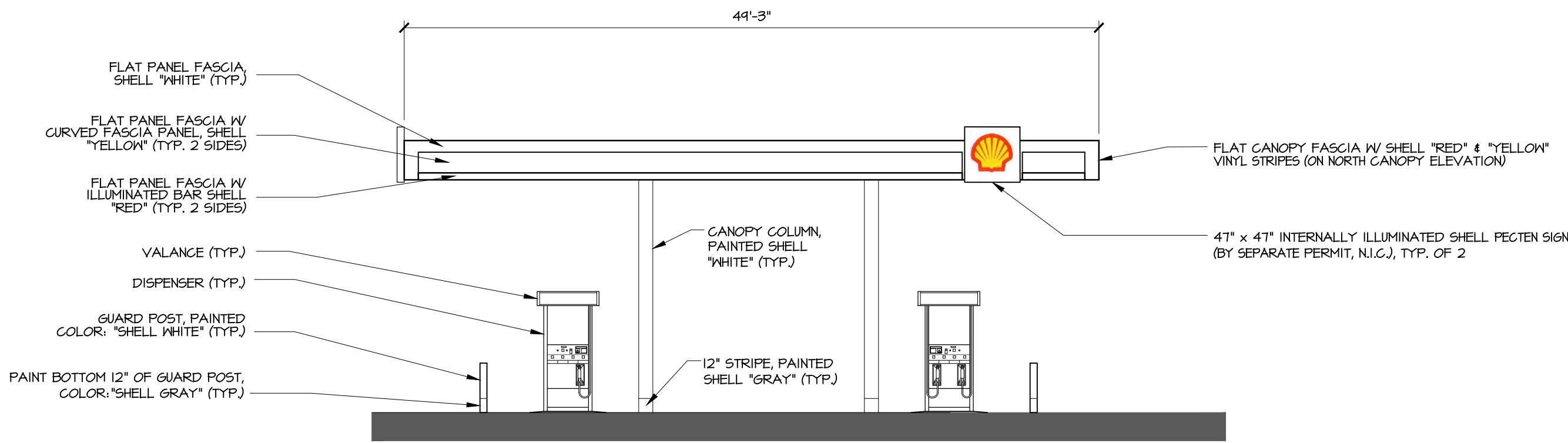
D EAST CARWASH BUILDING ELEVATION
3/16" = 1'-0"

-	ISSUED FOR CONSTRUCTION
-	ISSUED FOR PLAN CHECK
-	ISSUED FOR PLANNING

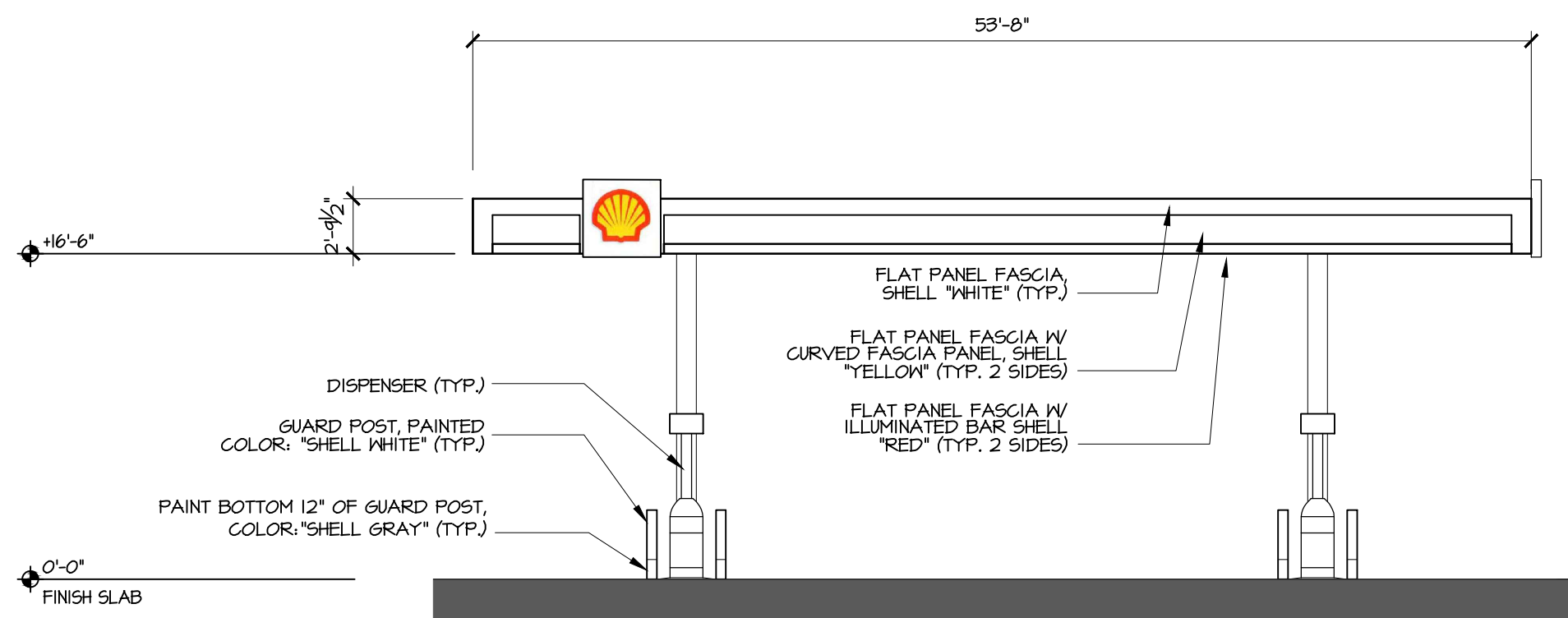
NO.	DATE	DESCRIPTION
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CARWASH
BUILDING ELEVATIONS

PROJECT #: 17-13001
DRAWN: BM CHECKED: MII
SCALE: AS NOTED DATE: 07-30-18



A WEST ELEVATION (UNIVERSITY AVENUE)
1/8" = 1'-0"



B NORTH ELEVATION (BELL STREET)
1/8" = 1'-0"



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- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
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CANOPY ELEVATIONS

PROJECT #: 17-13001
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 07-30-18

CA1

SHEET OF