



**M | Architects, Inc.**  
 ARCHITECTURE  
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 DESIGN  
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 WALNUT CREEK, CA  
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### DRAWING INDEX

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### SITE INFO

APN 063-321-400  
 JURISDICTION: CITY OF EAST PALO ALTO, CA  
 CURRENT ZONING: C-1 WITH A 5-1 DISTRICT OVERLAY

**SITE COVERAGES:**

SITE:	18,774 S.F. / 0.43 ACRES (100 %)
BUILDINGS:	5,305 S.F. (28 %)
CONVENIENCE STORE:	2,208 S.F.
CARWASH TUNNEL & EQUIPMENT ROOM:	1,021 S.F.
FUELING CANOPY:	2,006 S.F.
LANDSCAPE:	1,731 S.F. (11 %)

**PARKING REQUIREMENTS:**

CONVENIENCE STORE: 1 SPACE PER 160 S.F.:	2,208 S.F.
(2,208 S.F. / 160) =	14 SPACES
TOTAL PARKING REQUIRED:	14 SPACES
PARKING PROVIDED:	15 SPACES
STANDARD PARKING STALLS (9' x 18'):	5 SPACES
VAN ACCESSIBLE PARKING STALL (9' x 18'):	1 SPACE
PARALLEL PARKING STALL (9' x 22'):	2 SPACES
FUELING POSITIONS:	6 SPACES

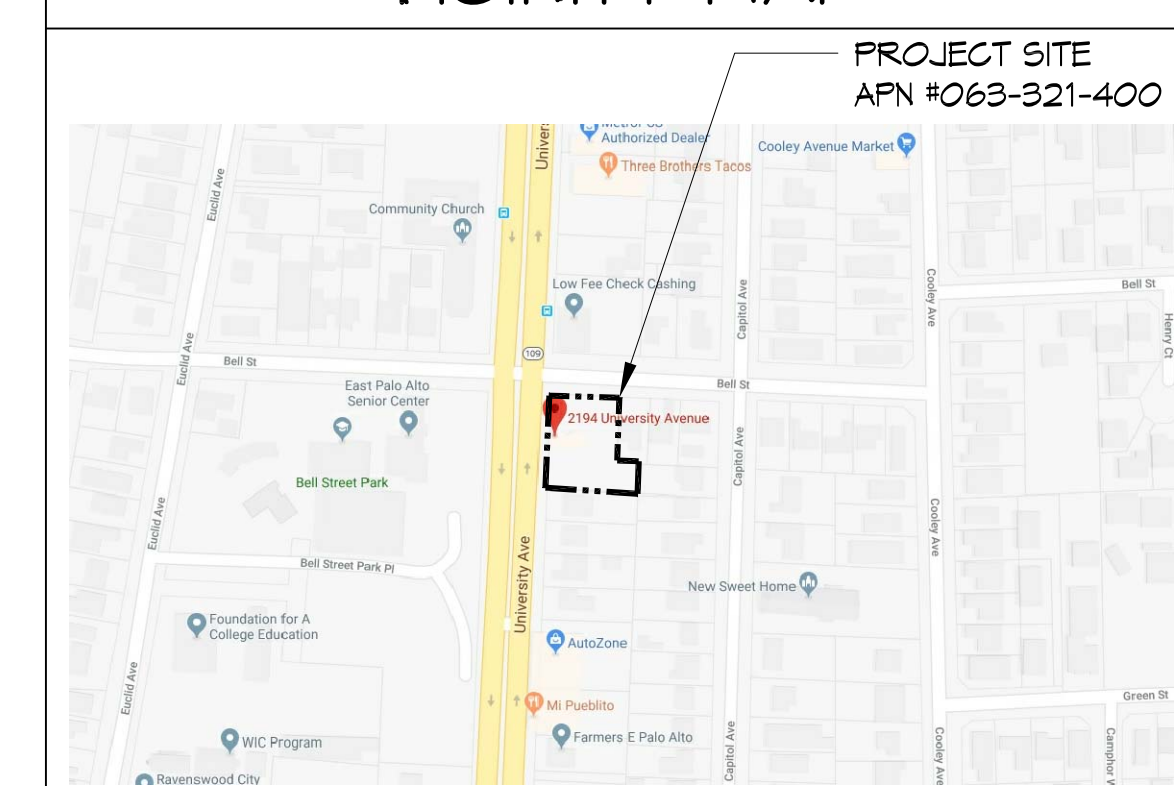
### SITE PLAN LEGEND

	NEW LANDSCAPING
	NEW CONCRETE PAVING
	EXISTING TO REMAIN
	EXISTING CURB TO REMAIN
	NEW CONCRETE CURB

### PROJECT DIRECTORY

<b>ARCHITECT</b> M   ARCHITECTS, INC. 2221 OLYMPIC BLVD., SUITE 100 WALNUT CREEK, CA 94595 TEL: (925) 287-1174 xl FAX: (925) 943-1581 CELL: (925) 878-9875 MR. MUTHANA IBRAHIM, ARCHITECT	<b>DEVELOPER</b> BANSAL, INC. 804 E. STANLEY BLVD. LIVERMORE, CA 94550 TEL: (925) 876-9984 FAX: - MR. VIKASH BANSAL
<b>CIVIL ENGINEER</b> STUKAM CONSULTING ENGINEERS, INC. 11344 COLOMA ROAD, SUITE 235C GOLD RIVER, CA 95610 TEL: (916) 835-5791 FAX: (916) 888-6316 MR. FAREED T. SIDDIQUI, P.E.	<b>LANDSCAPE</b> GIARDELLA ASSOCIATES 640 MENLO AVE., SUITE 10 MENLO PARK, CA 94025 TEL: (650) 326-6100 FAX: (650) 323-6706 MR. RICHARD GIARDELLA

### VICINITY MAP



- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

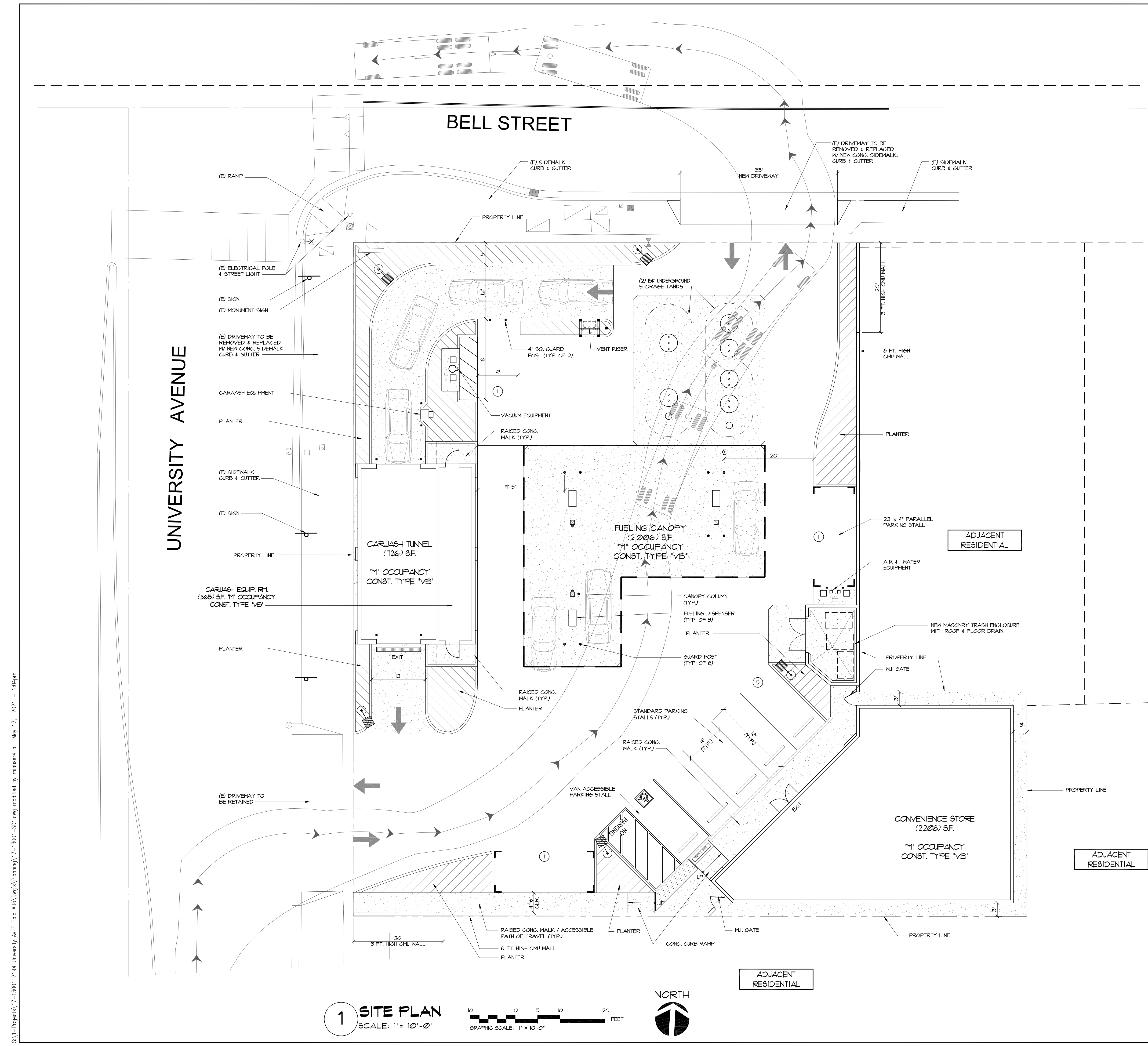
NO.	DATE	DESCRIPTION

**SITE PLAN**

PROJECT #: 17-13001  
 DRAWN: BB CHECKED: MI  
 SCALE: AS NOTED DATE: 07-30-18

**SD1**

SHEET OF

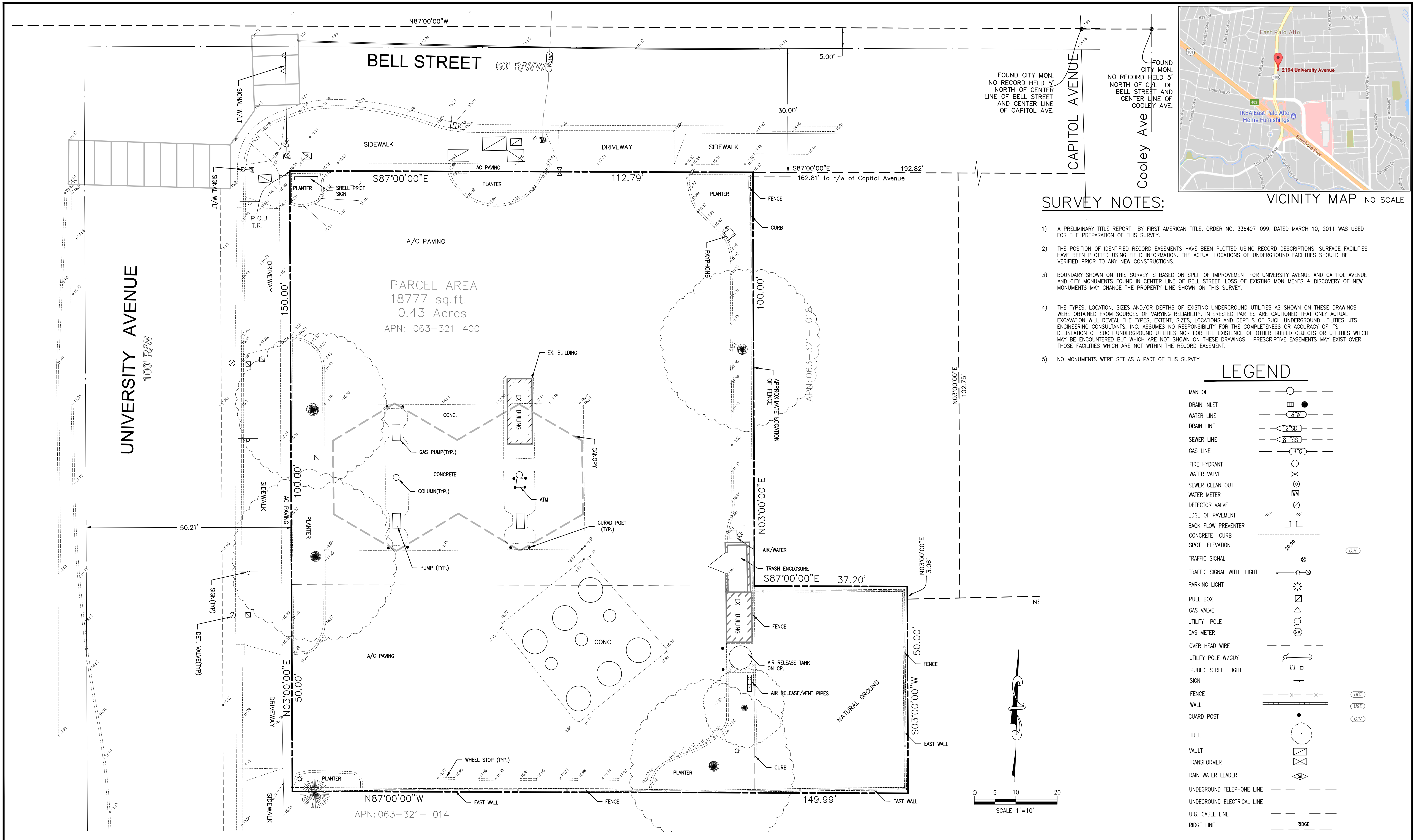


**1 SITE PLAN**  
 SCALE: 1" = 10'-0"  
 GRAPHIC SCALE: 1" = 10'-0"  
 FEET

S:\1-Projects\17-13001\_2194\_University\_Av\_E\_Palo\_Alto\_Dwg's\Planning\17-13001-SD1.dwg modified by muiser4 at May 17, 2021 - 1:04pm

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**GAS STATION, CONVENIENCE STORE & CARWASH**  
 2194 UNIVERSITY AVE.,  
 EAST PALO ALTO, CA 94549



**SURVEY NOTES:**

- 1) A PRELIMINARY TITLE REPORT BY FIRST AMERICAN TITLE, ORDER NO. 336407-099, DATED MARCH 10, 2011 WAS USED FOR THE PREPARATION OF THIS SURVEY.
- 2) THE POSITION OF IDENTIFIED RECORD EASEMENTS HAVE BEEN PLOTTED USING RECORD DESCRIPTIONS. SURFACE FACILITIES HAVE BEEN PLOTTED USING FIELD INFORMATION. THE ACTUAL LOCATIONS OF UNDERGROUND FACILITIES SHOULD BE VERIFIED PRIOR TO ANY NEW CONSTRUCTIONS.
- 3) BOUNDARY SHOWN ON THIS SURVEY IS BASED ON SPLIT OF IMPROVEMENT FOR UNIVERSITY AVENUE AND CAPITOL AVENUE AND CITY MONUMENTS FOUND IN CENTER LINE OF BELL STREET. LOSS OF EXISTING MONUMENTS & DISCOVERY OF NEW MONUMENTS MAY CHANGE THE PROPERTY LINE SHOWN ON THIS SURVEY.
- 4) THE TYPES, LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. INTERESTED PARTIES ARE CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. JTS ENGINEERING CONSULTANTS, INC. ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. PRESCRIPTIVE EASEMENTS MAY EXIST OVER THOSE FACILITIES WHICH ARE NOT WITHIN THE RECORD EASEMENT.
- 5) NO MONUMENTS WERE SET AS A PART OF THIS SURVEY.

**LEGEND**

MANHOLE	
DRAIN INLET	
WATER LINE	
DRAIN LINE	
SEWER LINE	
GAS LINE	
FIRE HYDRANT	
WATER VALVE	
SEWER CLEAN OUT	
WATER METER	
DETECTOR VALVE	
EDGE OF PAVEMENT	
BACK FLOW PREVENTER	
CONCRETE CURB	
SPOT ELEVATION	
TRAFFIC SIGNAL	
TRAFFIC SIGNAL WITH LIGHT	
PARKING LIGHT	
PULL BOX	
GAS VALVE	
UTILITY POLE	
GAS METER	
OVER HEAD WIRE	
UTILITY POLE W/GUY	
PUBLIC STREET LIGHT	
SIGN	
FENCE	
WALL	
GUARD POST	
TREE	
VAULT	
TRANSFORMER	
RAIN WATER LEADER	
UNDERGROUND TELEPHONE LINE	
UNDERGROUND ELECTRICAL LINE	
U.G. CABLE LINE	
RIDGE LINE	

BENCHMARK ELEV. \_\_\_\_\_  
BENCH-MARK \_\_\_\_\_  
FIELD BOOK NO. \_\_\_\_\_ PG. \_\_\_\_\_

**STUKAM CONSULTING ENGINEERS, INC.**  
11344 COLOMA ROAD, SUITE 235C  
GOLD RIVER, CALIFORNIA 95670, (916) 835-5791

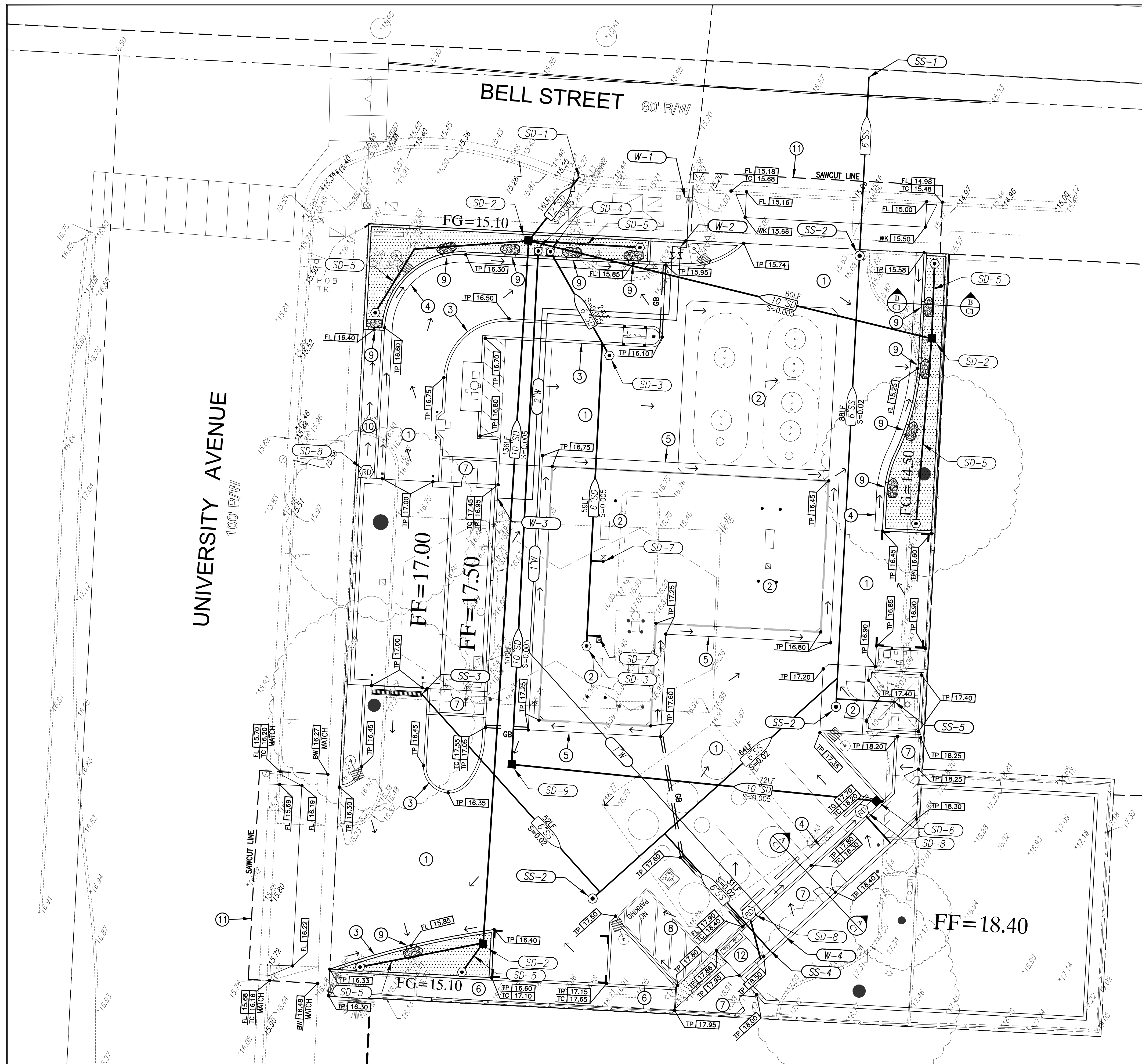
DESIGNED: \_\_\_\_\_ SCALE: 1"=10'  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
SUBMITTED: \_\_\_\_\_ RCE: \_\_\_\_\_



NO	DATE	REVISION	APPROVAL	BY

TOPOGRAPHIC SURVEY  
**2194 UNIVERSITY AVENUE**  
APN: 063-321-400  
CITY OF EAST PALO ALTO  
COUNTY OF SAN MATEO  
CALIFORNIA

DATE: 12-01-17  
SHEET 1 OF 1



**PROPOSED IMPROVEMENT NOTES:**

- ① PLACE 3" AC OVER 9" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- ② PLACE 6" PCC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION.
- ③ CONSTRUCT 6" VERTICAL CURB.
- ④ CONSTRUCT 6" CURB AND 1.5" GUTTER.
- ⑤ CONSTRUCT 2" VEE-GUTTER WITH 1/2" LIP SURROUNDING FUELING CANOPY.
- ⑥ PLACE SIDEWALK, 4" PCC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION. SLOPE SIDEWALK WITH 4.8% (MAX) SLOPE IN DIRECTION OF TRAVEL AND 1.9% (MAX) CROSS-SLOPE
- ⑦ PLACE SIDEWALK, 4" PCC OVER 6" AB COMPACTED TO A MINIMUM 95% COMPACTION. SLOPE WITH 1.9% (MAX) IN ALL DIRECTIONS.
- ⑧ STRIPE ADA PARKING. SLOPE AC PAVING WITH 1.9% (MAX) IN ALL DIRECTIONS.
- ⑨ CONSTRUCT 2' CURB CUT ADJACENT TO BIO-RETENTION PLANTER. PLACE 4" COBBLES SURROUND CURB CUT WITHIN BIO-RETENTION PLANTER EXTENDING 2' RADIALLY.
- ⑩ CONSTRUCT SWALE SLOPED AT 2% TO CARRY STORMWATER FROM ROOF DRAIN TO BIO-RETENTION PLANTER.
- ⑪ REMOVE AND REPLACE EXISTING DRIVEWAY, SIDEWALK AND STREET PAVING TO SAWCUT LINE. DRIVEWAY TO BE REPLACED WITH CITY STANDARD DRIVEWAY.
- ⑫ CONSTRUCT CURB RAMP WITH SLOPE IN DIRECTION OF TRAVEL NOT TO EXCEED 8.33% AND CROSS SLOPE OF 2%.

**PROPOSED WATER NOTES:**

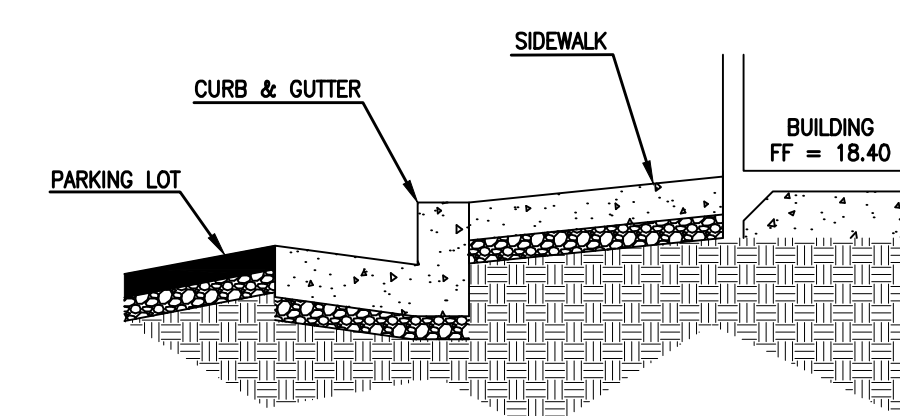
- (W-1) CONNECT WATER SERVICE TO EXISTING WATER METER.
- (W-2) INSTALL 1" BACK FLOW PREVENTER FOR CONVENIENCE STORE AND 2" BACK FLOW PREVENTER FOR CARWASH.
- (W-3) EXTEND 2" WATER SERVICE TO CARWASH.
- (W-4) EXTEND 1" WATER SERVICE TO CONVENIENCE STORE.

**PROPOSED SEWER NOTES:**

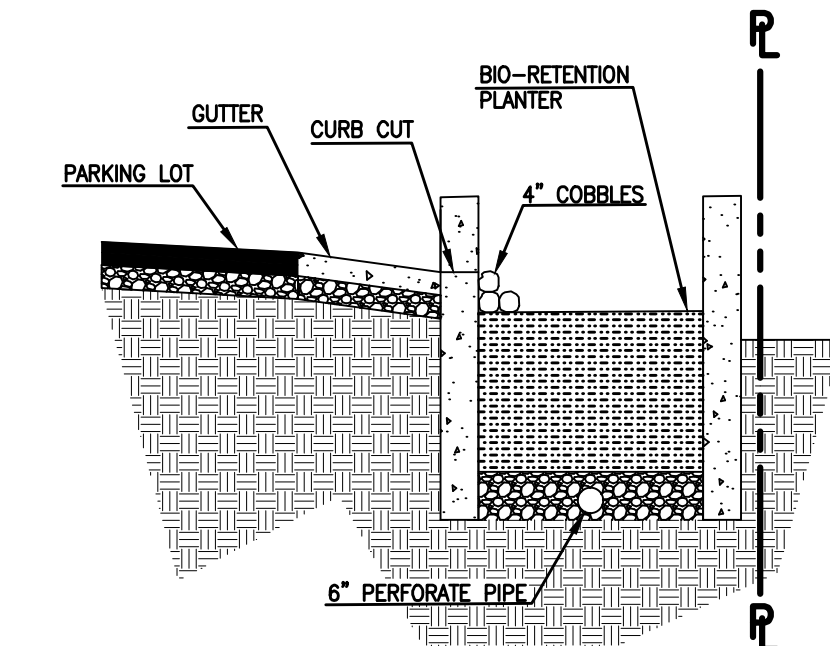
- (SS-1) CONNECT SEWER SERVICE TO CITY SEWER MAIN.
- (SS-2) INSTALL CLEANOUT TO GRADE.
- (SS-3) EXTEND 6" SEWER SERVICE TO CARWASH AND TRENCH DRAIN AT CARWASH EXIT.
- (SS-4) EXTEND 6" SEWER SERVICE TO CONVENIENCE STORE.
- (SS-5) EXTEND 4" SEWER SERVICE TO FLOOR DRAIN IN TRASH ENCLOSURE.

**PROPOSED STORM DRAIN NOTES:**

- (SD-1) CONNECT ONSITE STORM DRAIN SYSTEM TO CITY STORM DRAIN SYSTEM.
- (SD-2) INSTALL STORM DRAIN OVERFLOW WITH TOP OF GRATE 6" ABOVE AND INVERT 2.5' BELOW FINISHED GRADE OF BIO-RETENTION PLANTER.
- (SD-3) INSTALL STORM DRAIN CLEANOUT TO GRADE.
- (SD-4) INSTALL STORM DRAIN BUBBLE-UP IN BIO-RETENTION PLANTER WITH TOP OF GRATE 7" ABOVE FINISH GRADE OF BIO-RETENTION PLANTER.
- (SD-5) INSTALL 6" PERFORATED PIPE IN GRAVEL LAYER OF BIO-RETENTION PLANTER. TERMINATE PIPE WITH CLEANOUT TO GRADE.
- (SD-6) INSTALL STORM DRAIN INLET.
- (SD-7) CONNECT FUELING CANOPY TO ONSITE STORM DRAIN SYSTEM.
- (SD-8) PLACE BUILDING ROOF DRAIN.
- (SD-9) PLACE JUNCTION BOX.

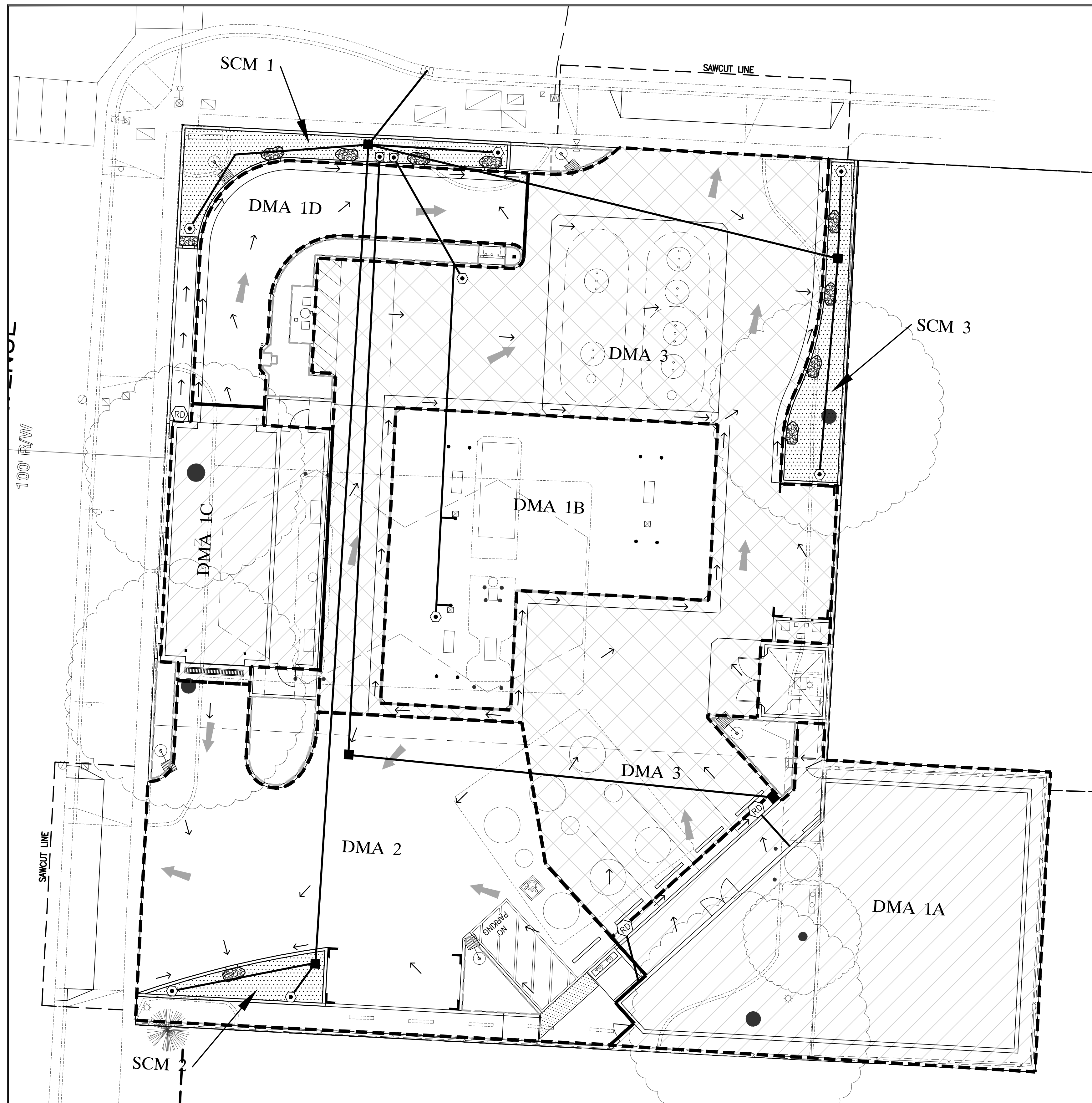


CROSS-SECTION A - A  
NTS



CROSS-SECTION B - B  
NTS

	REVISIONS BY CEPA DATE
<b>BANSAL, INC</b> VIKASH BANSAL 809 E. STANLEY BLVD. LIVERMORE, CA 94550 PH: (925) 876-9984	
<b>STUKAM CONSULTING ENGINEERS, INC.</b> 11344 COLOMA RD, SUITE 235C GOLD RIVER, CA 95670 (916) 858-8241 PHONE (916) 988-6316 FAX	
<b>PRELIMINARY GRADING &amp; UTILITY PLAN</b> <b>2194 UNIVERSITY AVENUE</b> <b>GAS STATION, CONVENIENCE STORE &amp; CARWASH</b> APN: 063-321-400 CITY OF EAST PALO ALTO SAN MATEO COUNTY CALIFORNIA JOB NO: 2017-024   Designed: FTS   Checked: FTS   Date: 3/10/2020	
SHEET 1 Of 2 SHEETS JOB NUMBER: 2017-024	



**IMP NAME: SCM-1**  
 IMP TYPE: BIO-RETENTION PLANTER  
 SOIL TYPE: C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING				
					IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM AREA	PROPOSED AREA	
DMA 1A	3028	ROOF / PCC PAVING	1.00	3028	TOTAL: 7153	0.04	1.00	287	314
DMA 1B	2006	ROOF	1.00	2006					
DMA 1C	1143	ROOF	1.00	1143					
DMA 1D	976	AC PAVING	1.00	976					

**IMP NAME: SCM-2**  
 IMP TYPE: BIO-RETENTION PLANTER  
 SOIL TYPE: C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING				
					IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM AREA	PROPOSED AREA	
DMA 2	3440	AC PAVING	1.00	3440	TOTAL: 3440	0.04	1.00	138	143

**IMP NAME: SCM-3**  
 IMP TYPE: BIO-RETENTION PLANTER  
 SOIL TYPE: C

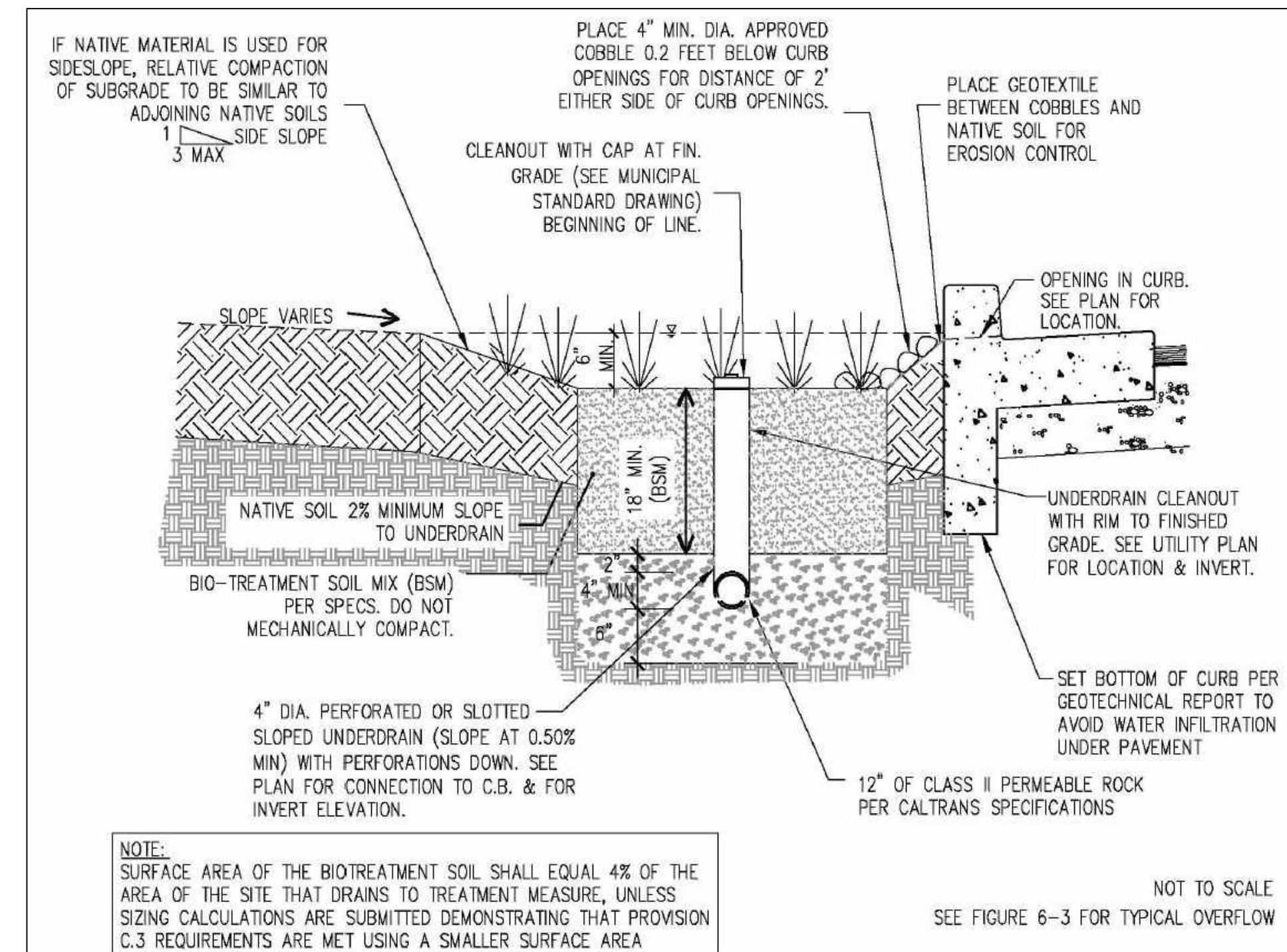
DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING				
					IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM AREA	PROPOSED AREA	
DMA 3	5907	AC PAVING	1.00	5907	TOTAL: 5907	0.04	1.00	237	294

**MINIMUM TCMS AND BMPS FOR LAND USE OF CONCERN:**

GAS STATION OR EQUIPMENT FUELING FACILITIES:

ALL NEW FUELING STATIONS OR EXPANSION OF SUCH USES SHOULD INCLUDE THE FOLLOWING BMPS:

1. INSTALL AND MAINTAIN A TREATMENT CONTROL MEASURE
2. PAVE THE FUELING AREA FLOORS WITH AN IMPERMEABLE SURFACE (I.E., PORTLAND CEMENT CONCRETE OR EQUIVALENT SMOOTH IMPERVIOUS SURFACE).
3. COVER THE FUELING AREAS WITH A CANOPY OR COVER THAT EXTENDS A MINIMUM OF TEN FEET IN EACH DIRECTION FROM EACH PUMP. ALTERNATIVELY, COVER THE FUELING AREAS WITH A CANOPY OR COVER THAT HAS MINIMUM DIMENSIONS EQUAL TO OR GREATER THAN THE AREA WITH THE GRADE BREAK OR FUEL DISPENSING AREA. (THE FUEL DISPENSING AREA IS DEFINED AS THE AREA EXTENDING A MINIMUM OF 6.5 FEET FROM THE CORNER OF EACH FUEL DISPENSER OR THE LENGTH AT WHICH THE HOSE AND NOZZLE ASSEMBLY MAY BE OPERATED PLUS A MINIMUM OF ONE FOOT, WHICHEVER IS GREATER. IN NO CASE SHOULD THE CANOPY OR COVER DRAIN ONTO THE FUELING AREA.)
4. GRADE THE FUEL AREA TO PREVENT WATER DRAINING TOWARD THE FUELING AREA.
5. GRADE THE FUEL AREA WITH THE MINIMUM SLOPE NECESSARY TO PREVENT PONDING.
6. SEPARATE THE FUELING AREA FROM THE REST OF THE SITE BY A GRADE BREAK THAT PREVENTS RUN-ON OF STORM WATER TO THE MAXIMUM EXTENT PRACTICABLE.
7. DRY SWEEP THE FUELING AREA ROUTINELY.
8. STENCIL ALL ON-SITE STORM DRAINS IN CONFORMANCE WITH THE CITY'S REQUIREMENTS.
9. PREPARE A SPILL CLEANUP PLAN IN CONFORMANCE WITH THE CITY OF SAN JOSE FIRE CODE.



**NOTE:**  
 SURFACE AREA OF THE BIOTREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA

NOT TO SCALE  
 SEE FIGURE 6-3 FOR TYPICAL OVERFLOW

**Pollutant Sources**

The following are sources of pollutants:  
 ☐ Fueling  
 ☐ Spills  
 ☐ Surface cleaning  
 ☐ Air / water supply areas  
 ☐ Dumpster and trash can areas

Pollutants can include:  
 ☐ Heavy metals (copper, lead, nickel, and zinc)  
 ☐ Hydrocarbons (oil and grease, PAHs)  
 ☐ Toxic chemicals (benzene, toluene, xylene, MTBE)  
 ☐ Detergents  
 ☐ Food waste and trash

Reference: California Stormwater BMP Handbook  
 Industrial and Commercial  
 www.cabmphandbooks.com

**LEGEND**

- ▬ DRAINAGE MANAGEMENT AREA
- - - SELF TREATING AREA (PERVIOUS AREA)
- ← DIRECTION OF FLOW
- ➔ OVERLAND RELEASE
- ⬆️ ROOF DOWNSPOUT

REVISIONS

NO.	DESCRIPTION	DATE	BY	CEPA DATE

**BANSAL, INC**  
 VIKASH BANSAL  
 809 E. STANLEY BLVD.  
 LIVERMORE, CA 94550  
 PH: (925) 876-9984

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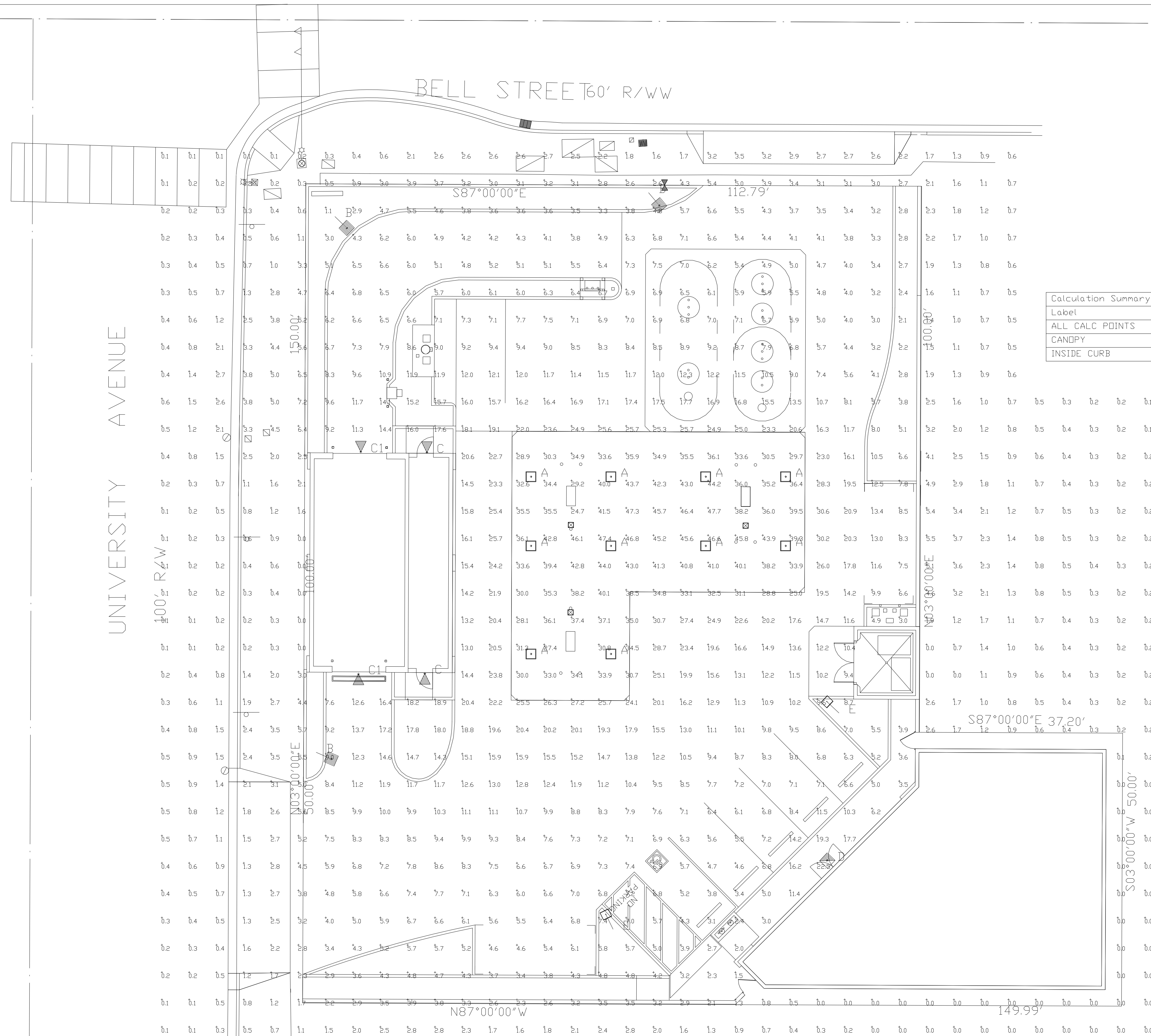
**STUKAM CONSULTING ENGINEERS, INC.**  
 11344 COLOMA RD, SUITE 235C  
 GOLD RIVER, CA 95670  
 (916) 858-8241 PHONE  
 (916) 988-6316 FAX

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**PRELIMINARY STORMWATER CONTROL PLAN**  
**2194 UNIVERSITY AVENUE**  
**GAS STATION, CONVENIENCE STORE & CARWASH**  
 APN: 063-321-400  
 CITY OF EAST PALO ALTO SAN MATEO COUNTY CALIFORNIA  
 JOB NO: 2017-024 | Designed: FTS | Checked: FTS | Date: 3/10/2020

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SHEET  
 2  
 Of 2 SHEETS  
 JOB NUMBER:  
 2017-024



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	8.16	47.7	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	36.45	47.7	24.1	1.51	1.98
INSIDE CURB	Illuminance	Fc	10.26	30.7	2.1	4.89	14.62



Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
□	10	A	SINGLE	CRUS-SC-LED-SS-50	1.000	1.000	1.000	13674	97.9
■	3	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE-18"POLE+2"BASE	1.000	1.000	1.000	12568	148.5
▲	2	C	SINGLE	XWM-FT-LED-06L-50 MTD @ 9'	1.000	1.000	1.000	5936	44.7
▲	2	C1	SINGLE	XWM-FT-LED-06L-50 MTD @ 11'-6"	1.000	1.000	1.000	5936	44.7
▲	1	D	SINGLE	XSL2-S-LED-50-SS-CW MTD @ 10'	1.000	1.000	1.000	6193	59.9
■	2	E	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-18"POLE+2"BASE	1.000	1.000	1.000	19664	148.5

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 1960.2

**SD1-L**

LIGHTING PROPOSAL LD-150299-1

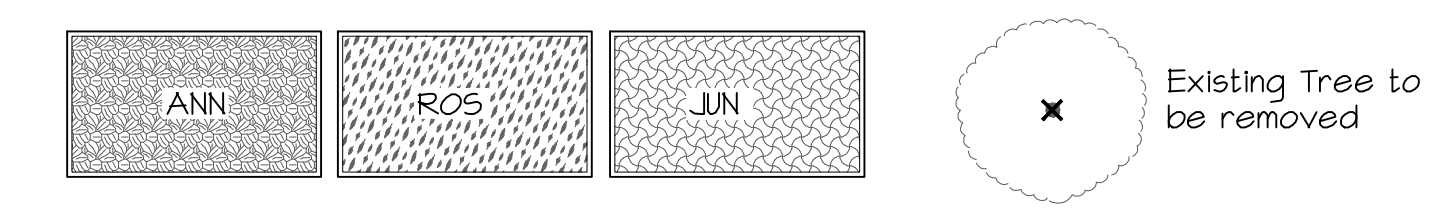
C-STORE  
2194 UNIVERSITY AVE  
EAST PALO ALTO, CA

BY: MVE DATE: 02-05-20 REV: 2-10-20 SHEET 1 OF 1

SCALE: 1"=10' 0 10

### PLANTING LEGEND

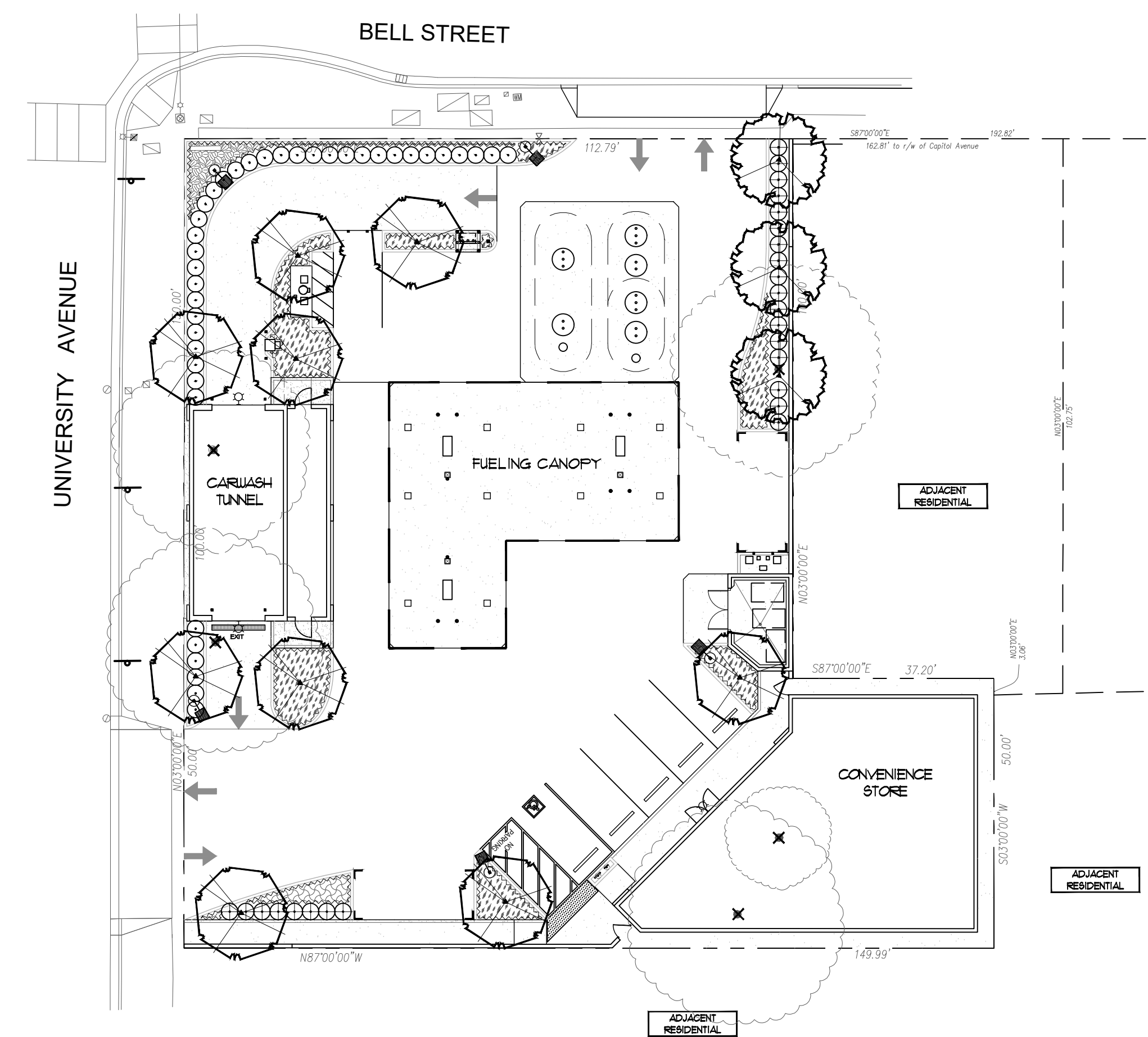
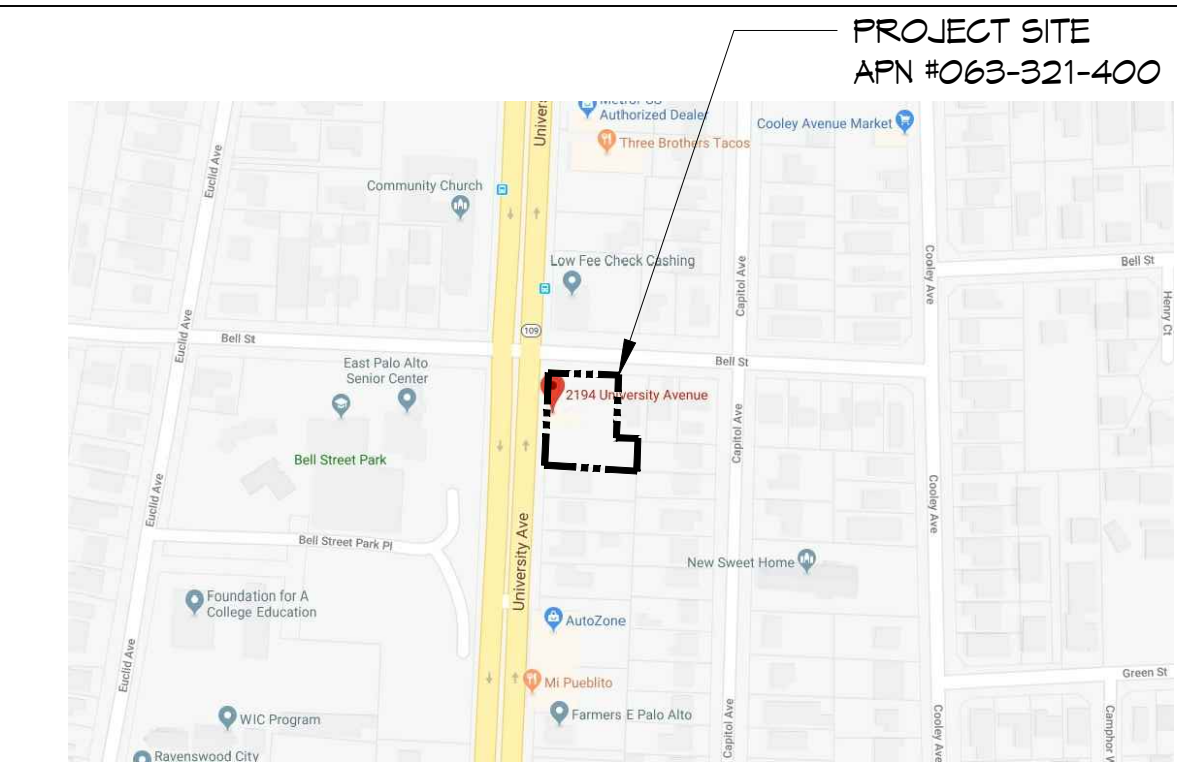
Symbol	BOTANICAL NAME	COMMON NAME	H2O
<b>Tree</b>			
	Tilia tomentosa 'Sterling'	Sterling Silver Linden	L 36" Box
	Gleditsia triacanthos 'Shademaster'	Honey Locust	L 36" Box
<b>Shrubs and Vines</b>			
	Rhaphiolepis Indica 'Jack Evans'	Pink India Hawthorn	L 5 Gallon
	Xylosma congestum	Shiny Xylosma	L 5 Gallon
	Gelsemium sempervirens	Carolina Jasmine	L 1 Gallon
Note: Shrubs adjacent to sidewalks shall be trimmed to 3' max.			
<b>Ground Cover</b>			
	Rosmarinus officinalis 'Huntington Carpet'	Rosemary	L 1 Gallon @ 30" oc
	ANN Geranium incanum	Carpet Geranium	L 1 Gallon @ 18" oc
<b>Bioretention Planting</b>			
	JUN Juncus patens 'Enigma'	Mystery Blue Ca. Gray Rush	L 1 Gallon @ 30" oc



### PLANTING NOTES

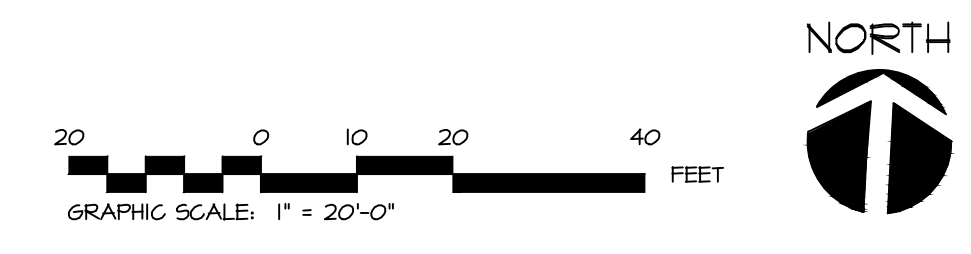
- All trees are to be staked as shown in the staking diagram per city requirement.
  - Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
  - All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch.
  - All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
  - There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species an size as those damaged.
  - All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
  - Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
  - Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
  - All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
  - HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
  - Landscaping shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
  - CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
  - A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
  - Incorporate compost or natural fertilizer into the soil to a minimum depth of 8" at a minimum rate of 6 cubic yards per 1000 square feet.
  - All Plantings shall be automatically irrigated utilizing state of the art system, components and installation techniques.
  - Plant pits shall have their sides and bottoms loosened or otherwise broken to prevent glazed or compacted surfaces, and shall be as shown on the planting detail. Only un-amended soil shall be used beneath the root ball; cultivate bottom of plant pit to improve porosity. Backfill around sides of rootball shall be the amended soil taken from adjacent prepared areas. Spread material excavated from plant pits onto adjacent areas as replacement. Should additional backfill be necessary, a mixture of one-third organic amendment/fertilizer mix and two-thirds topsoil may be used.
- I agree to comply with the requirements of the Water Efficient Landscape Ordinance (MELO) and submit a complete Landscape Document Package.

### VICINITY MAP



### 1 PLANTING PLAN

1" = 20'-0"



Maximum Applied Water Allowance

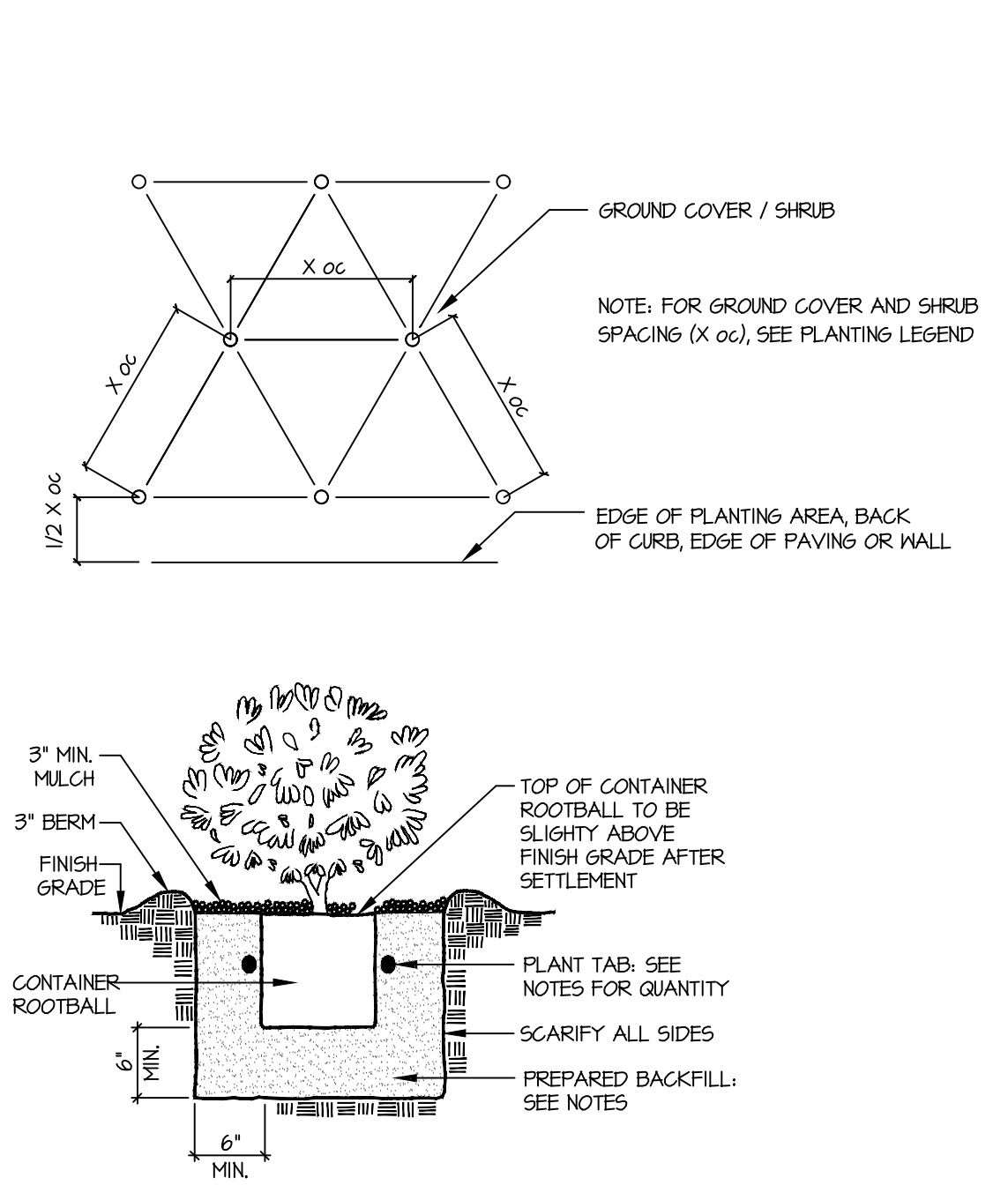
Eto	X	T	X	Fltg S	X	Gal/SF	MANA
43.0	0.45	1,787	0.62	21,439			

Estimated Total Water Use

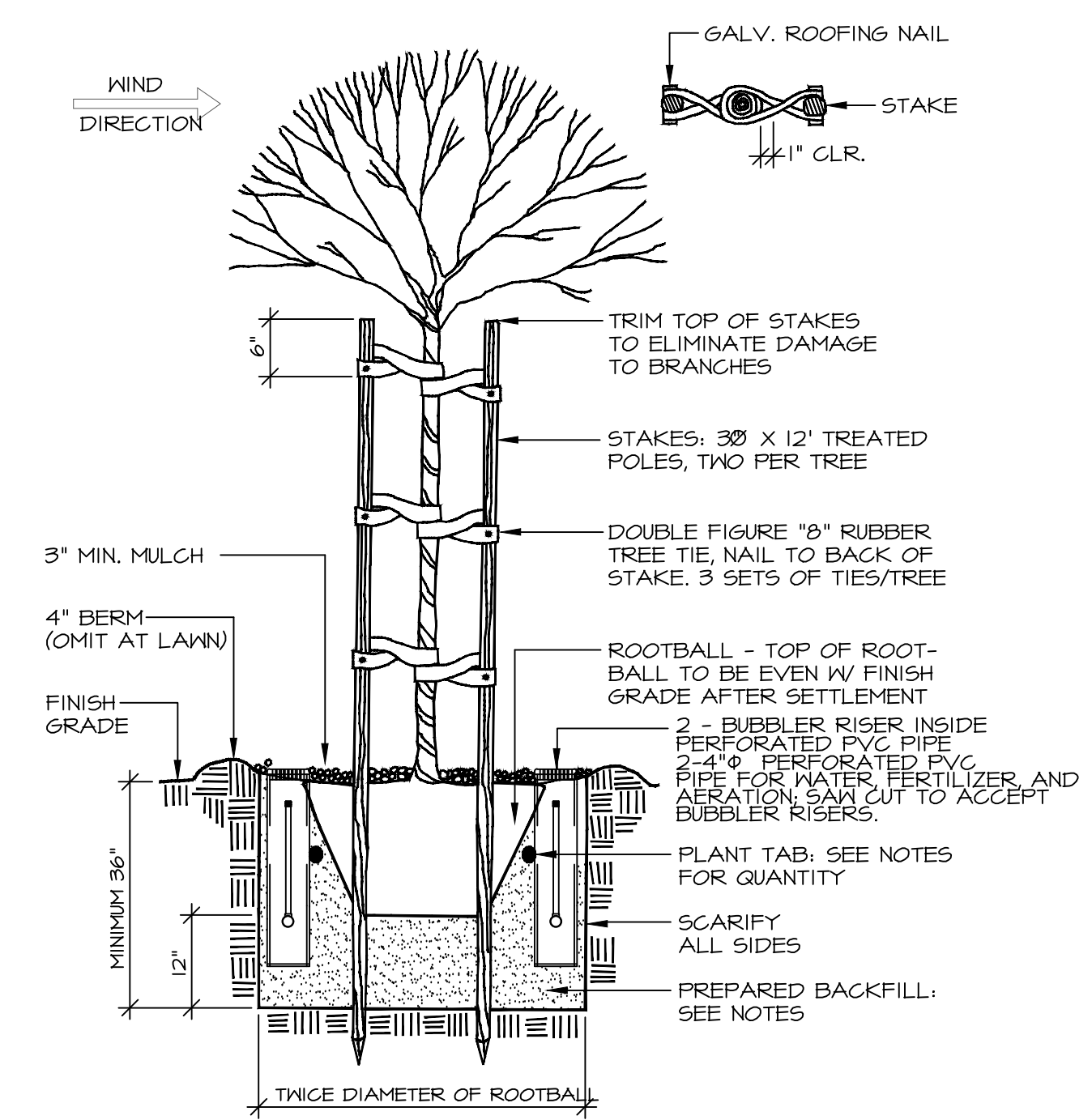
Plant Water Use (Eto)(.062)	X	(PF X HA)	IE	ETW
Low	26.7	0	662	17,645
Medium	26.7	0	0	0
High	26.7	0	0	0
Totals				17,645

Proposed Landscape Water Use

Plant Type	H2O Use	Pits SF	Gallons	% of Land
Low	0.30	1,787	17,645	100%
Medium	0.60	0	0	0%
High	0.90	0	0	0%
Totals				1,787 17,645 100%



PLANTING INSTALLATION AND LAYOUT



TREE PLANTING AND STAKING

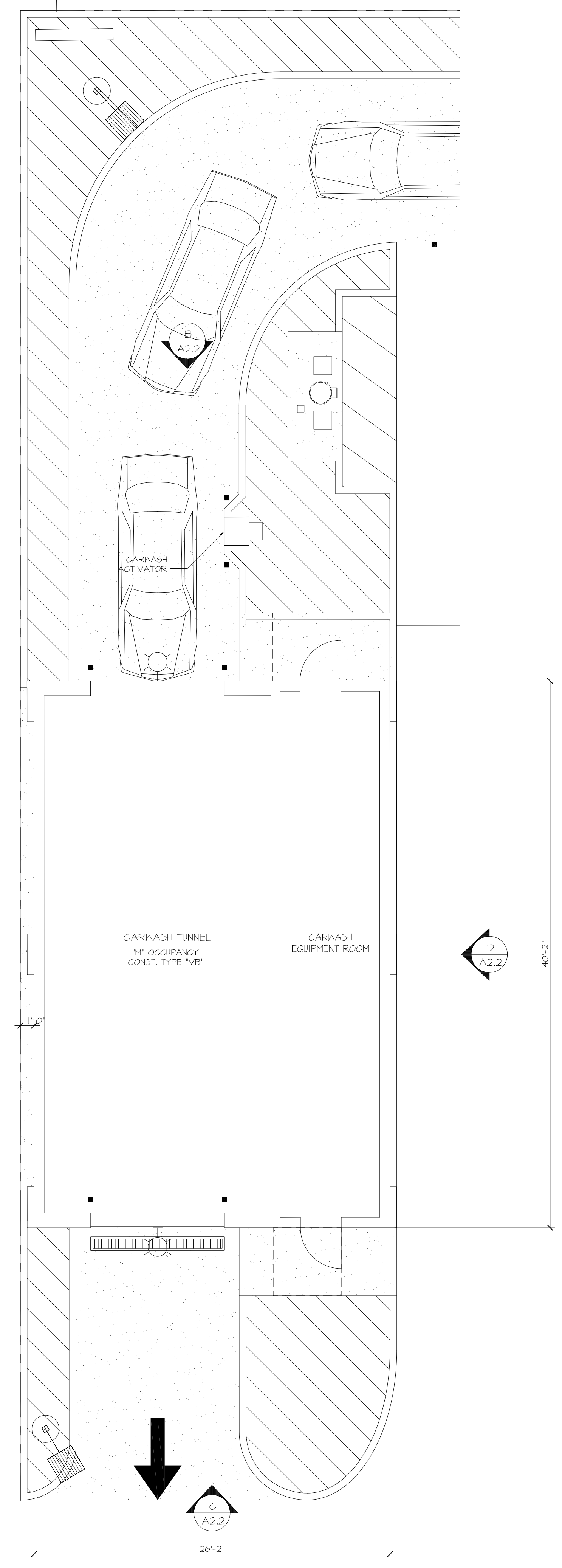


**Ciardella  
 associates**  
 Landscape Architecture  
 Urban Design

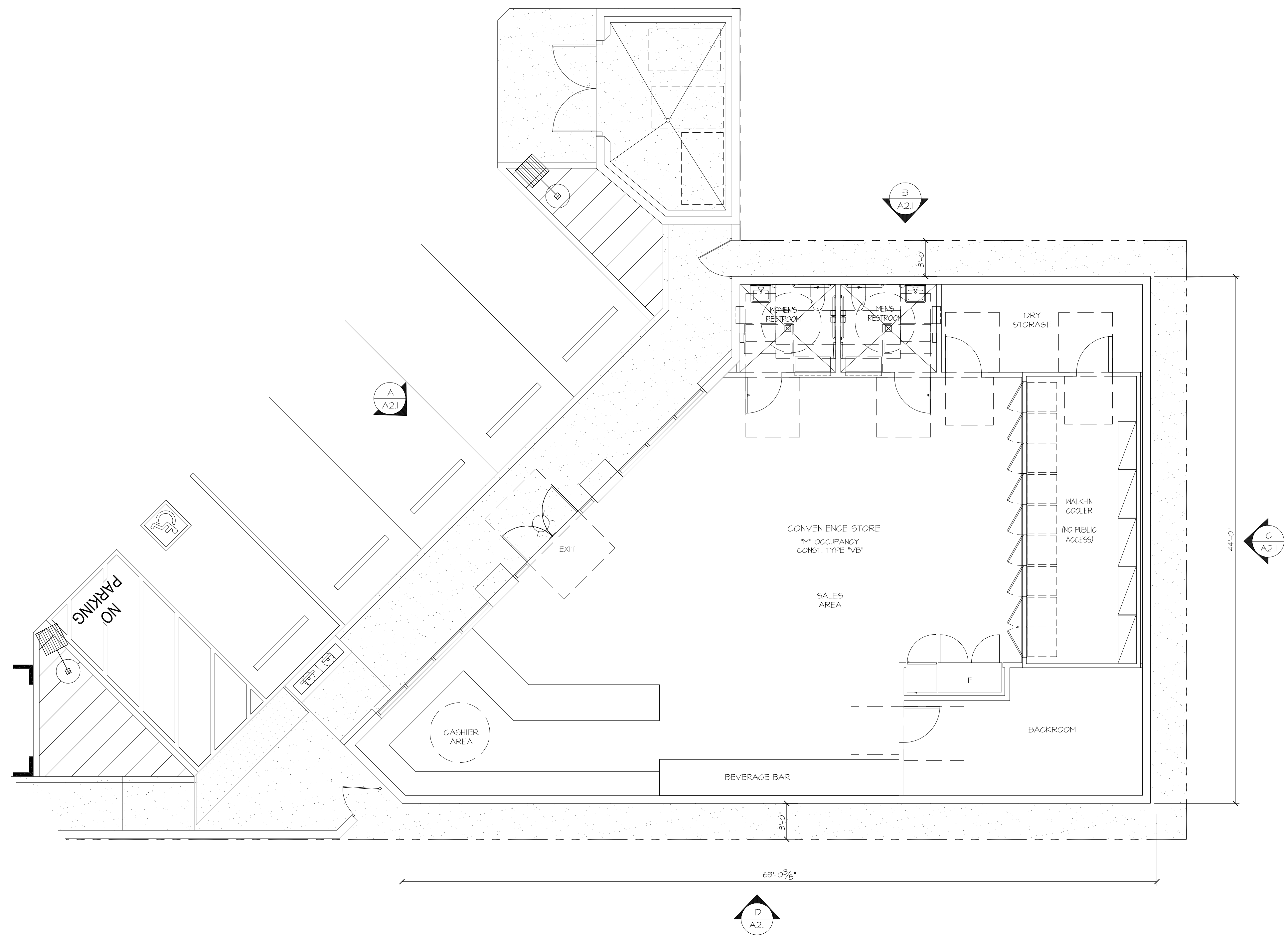
PO Box 3745  
 200 Clock Tower Place  
 Suite D100-A  
 Carmel by the Sea, CA 93921  
 Tel 831 624 6100  
 Tel 650 326 6100  
 ca@ciardella-assoc.com

**GAS STATION, CONVENIENCE  
 STORE & CARWASH  
 2194 UNIVERSITY AVE.,  
 EAST PALO ALTO, CA 94549**

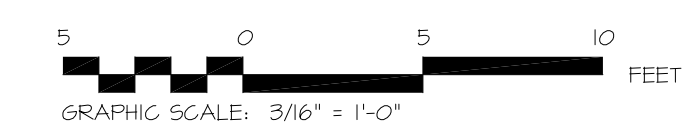
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**2 CARWASH FLOOR PLAN**  
 3/16" = 1'-0"



**1 CONVENIENCE STORE FLOOR PLAN**  
 3/16" = 1'-0"



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ISSUED FOR PLAN CHECK	
ISSUED FOR PLANNING	
NO.	DATE DESCRIPTION
CONVENIENCE STORE AND CARWASH FLOOR PLAN	
PROJECT #: 17-13001	
DRAWN: BM	CHECKED: MI
SCALE: AS NOTED DATE: 07-30-18	

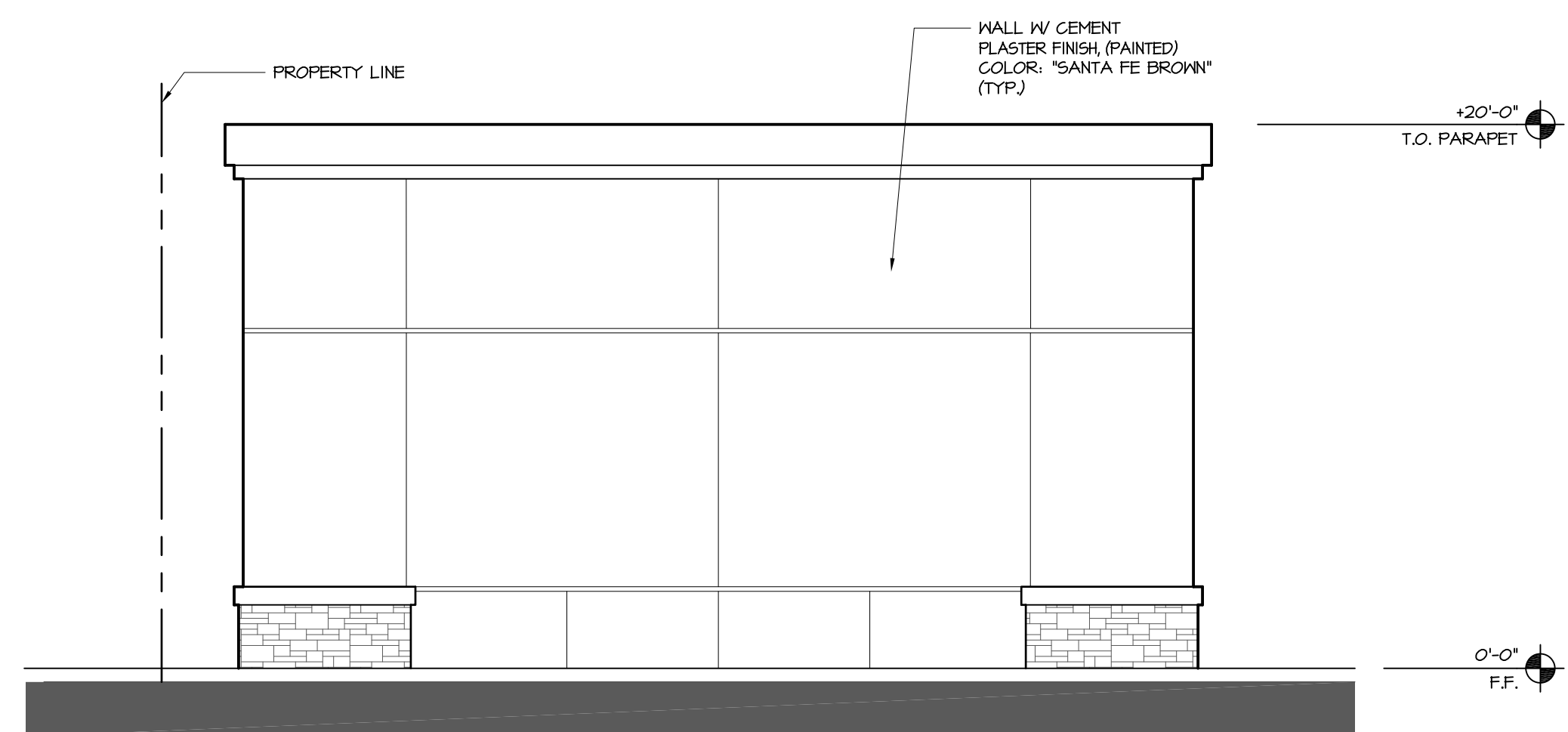


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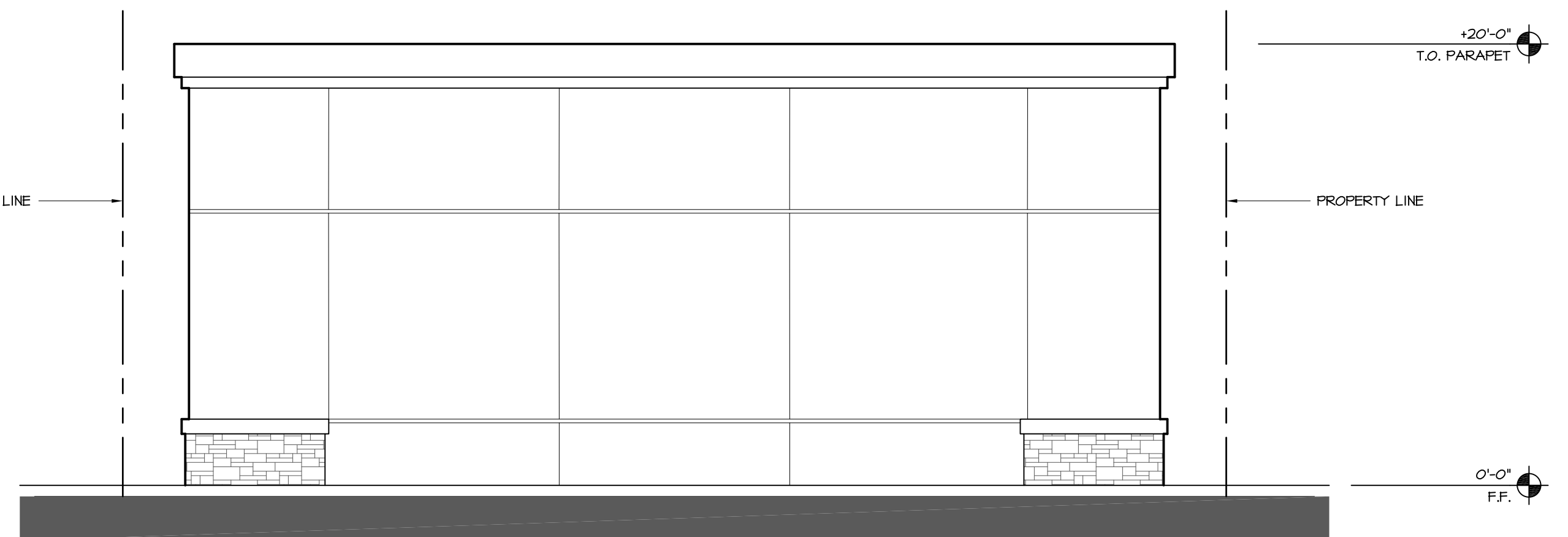
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925-287-1174 Tel  
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muthana@miarchitect.com  
www.miarchitect.com



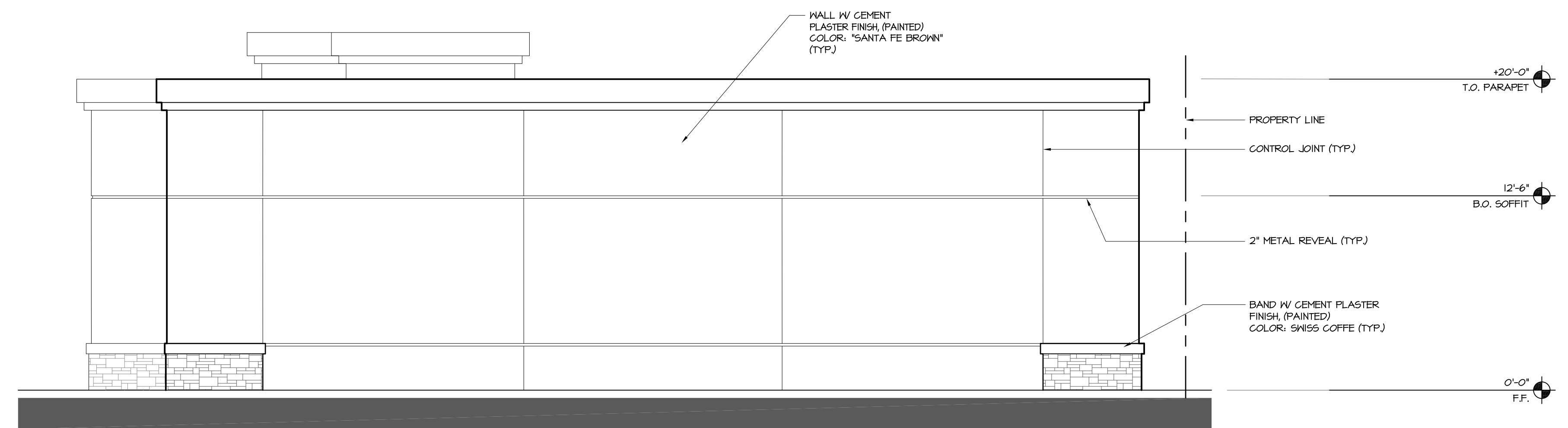
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3/16" = 1'-0"



**B NORTH BUILDING ELEVATION**  
3/16" = 1'-0"



**C EAST BUILDING ELEVATION**  
3/16" = 1'-0"



**D SOUTH BUILDING ELEVATION**  
3/16" = 1'-0"

**GAS STATION, CONVENIENCE  
STORE & CARWASH  
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EAST PALO ALTO, CA 94549**

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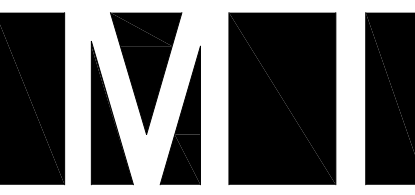
CONVENIENCE STORE  
BUILDING ELEVATIONS  
PROJECT #: 17-13001  
DRAWN: BM CHECKED: MI  
SCALE: AS NOTED DATE: 07-30-18

**A2.1**

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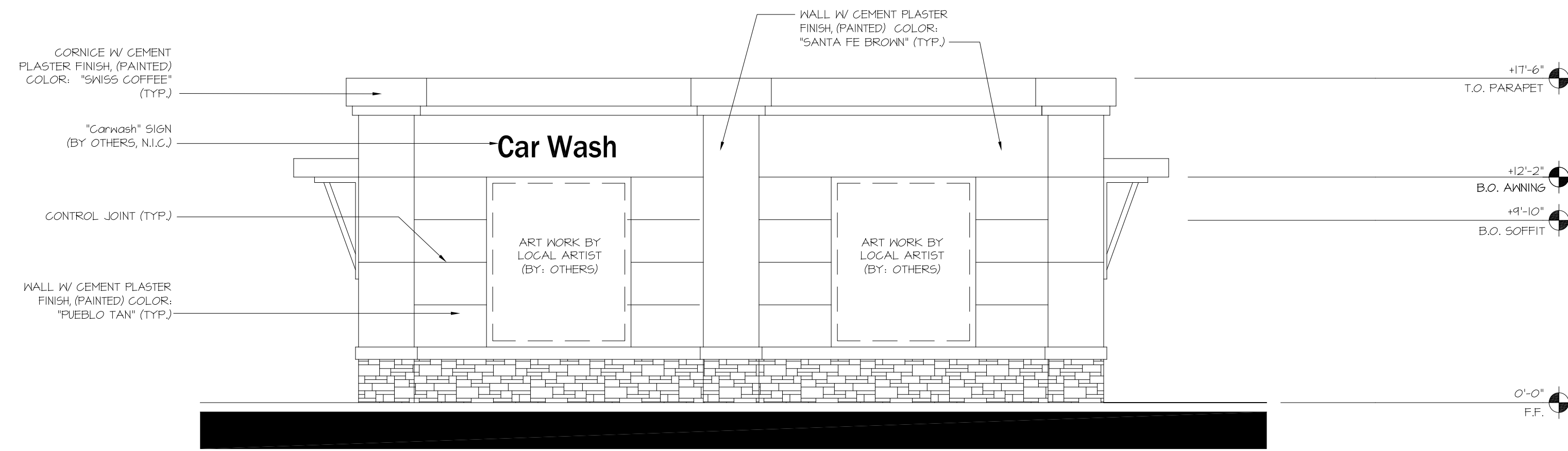




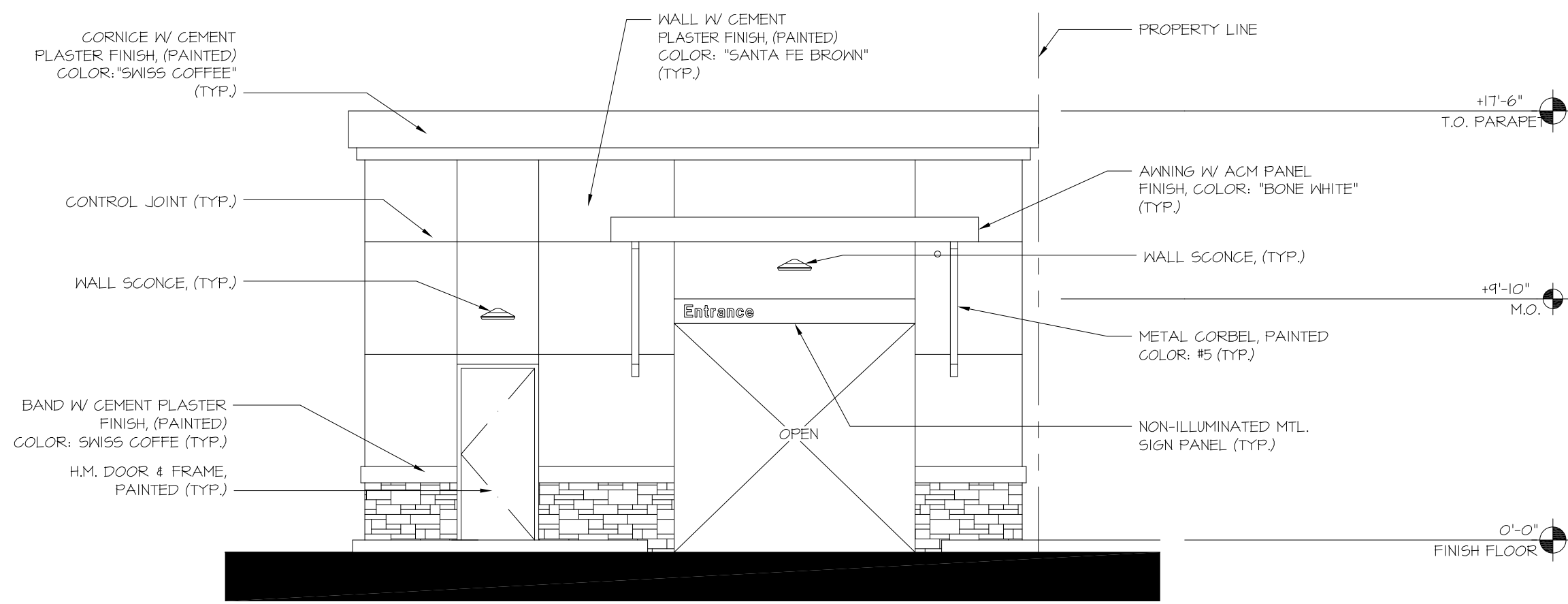
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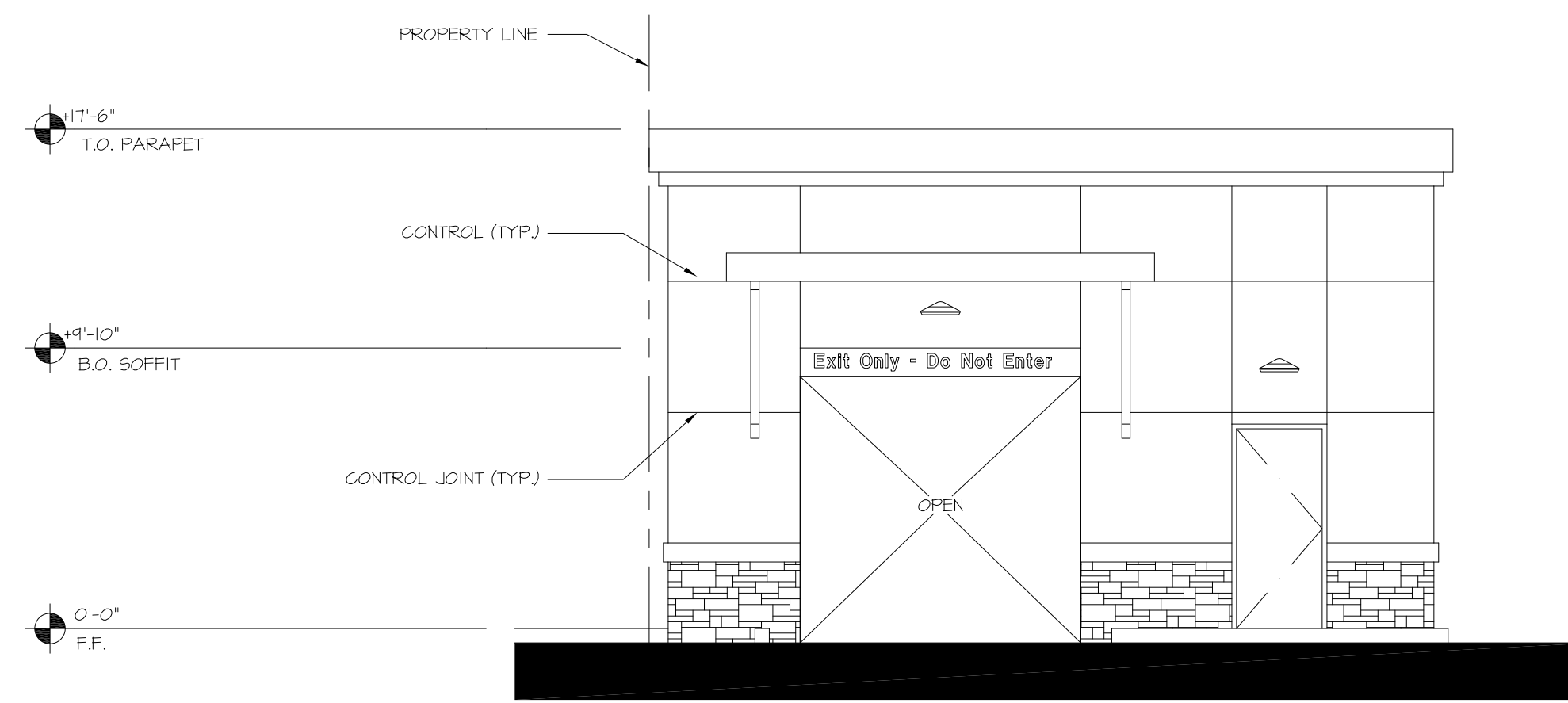
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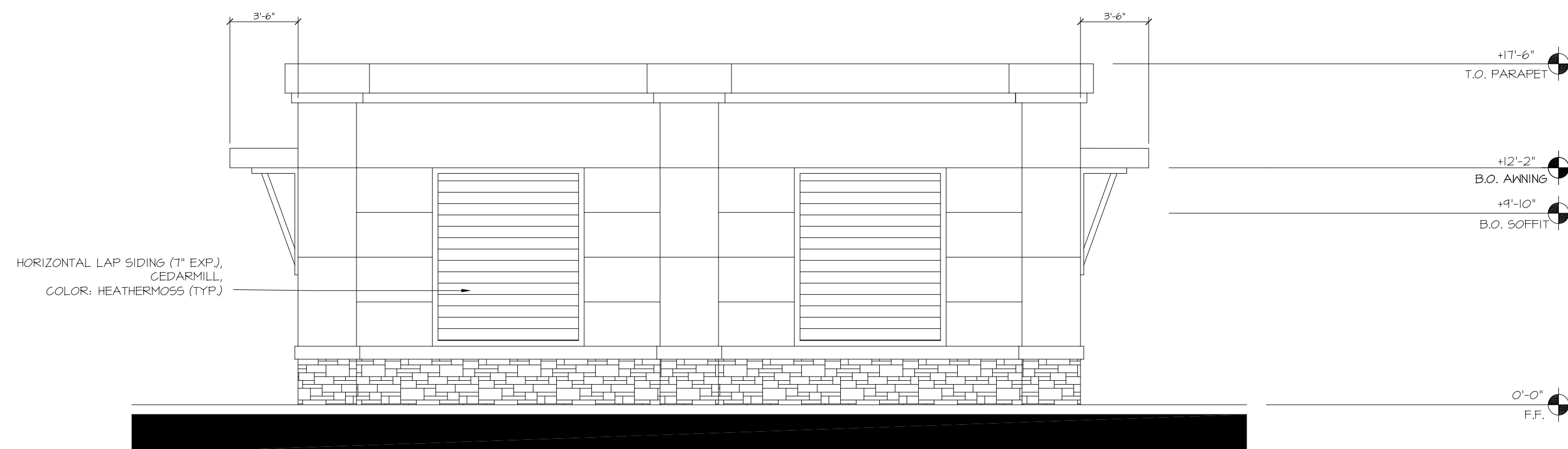
**A WEST CARWASH BUILDING ELEVATION (FACING UNIVERSITY AVE.)**  
3/16" = 1'-0"



**B NORTH CARWASH BUILDING ELEVATION (FACING BELL STREET)**  
3/16" = 1'-0"



**C SOUTH CARWASH BUILDING ELEVATION**  
3/16" = 1'-0"



**D EAST CARWASH BUILDING ELEVATION**  
3/16" = 1'-0"

**GAS STATION, CONVENIENCE  
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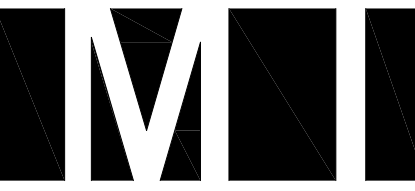
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CARWASH  
BUILDING ELEVATIONS  
PROJECT #: 17-13001  
DRAWN: BM CHECKED: MII  
SCALE: AS NOTED DATE: 07-30-18

**A2.2**

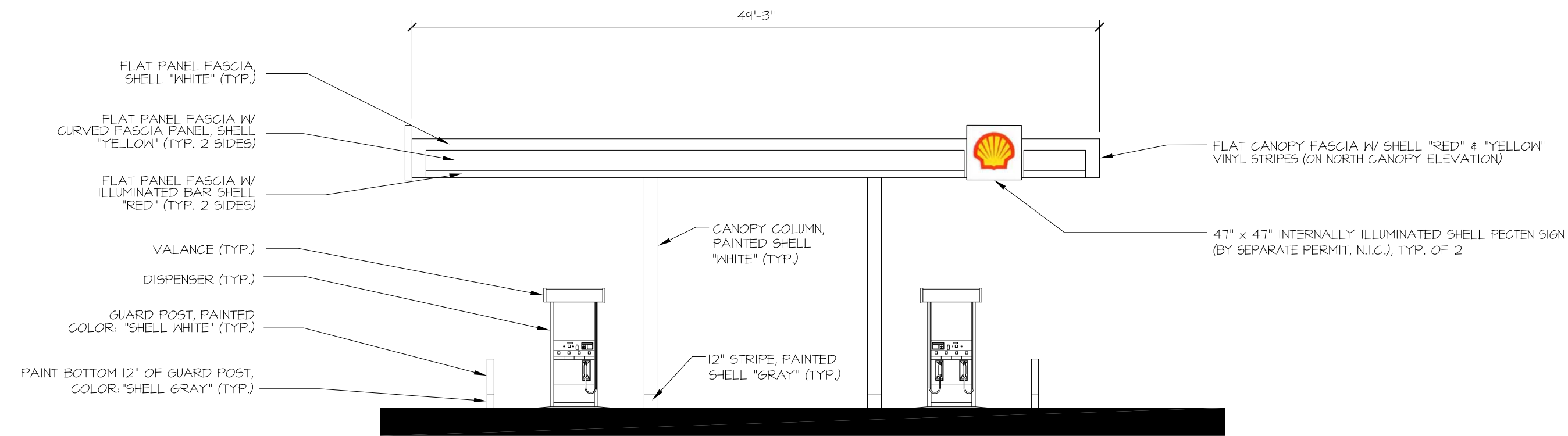
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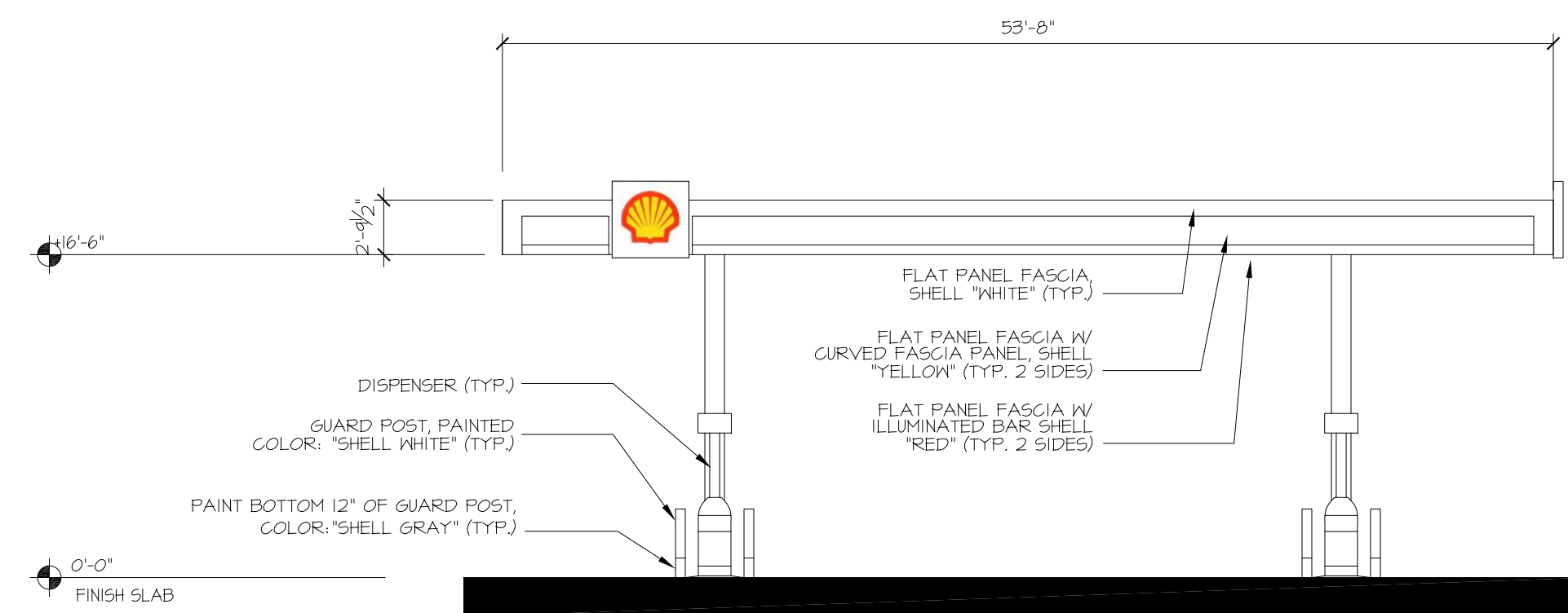
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muthana@miarchitect.com  
www.miarchitect.com



**A WEST ELEVATION (UNIVERSITY AVENUE)**  
1/8" = 1'-0"



**B NORTH ELEVATION (BELL STREET)**  
1/8" = 1'-0"

**GAS STATION, CONVENIENCE  
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