

WOODLAND PARK - EUCLID IMPROVEMENTS



PROJECT DIRECTORY

APPLICANT:

Woodland Park Communities
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LANDSCAPE ARCHITECT:

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CIVIL ENGINEER:

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PROJECT DESCRIPTION

With no displacement, this project proposes the replacement of several aging, outdated structures containing 160 rent-stabilized housing units and one single family rental (non-RSO) with new mixed-income buildings containing 605 apartments, 26% of which will be deed-restricted rent-controlled, replacing the existing apartments one-for-one.

Note: No portion of the property is located in a Flood Zone as designated by the Federal Emergency Management Agency (FEMA).

VICINITY MAP



PROJECT SITE

ZONING:
R-HD-5, R-UHD

GENERAL PLAN DESIGNATION:
HIGH DENSITY RESIDENTIAL /
URBAN RESIDENTIAL

TOTAL SITE AREA:
170,941 SF = 3.92 ACRES

EXISTING LOTS:

ADDRESSES:	APNS:
501 O'Connor St.	063282010
2012 Euclid Ave.	063282020
2032 Euclid Ave.	063282030
2036 Euclid Ave.	063282040
2040 & 2042 Euclid Ave.	063282050
2044 Euclid Ave.	063282060
2054 Euclid Ave.	063282070
2033 Manhattan Ave.	063282080
2001 Manhattan Ave.	063282090
2021 Euclid Ave.	063281020
2025 Euclid Ave.	063281030
2031 Euclid Ave.	063281040
2043 Euclid Ave.	063281100
2041 Euclid Ave./420 E O'Keefe St.	063281110

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TM-1	VESTING TENTATIVE PARCEL MAP - TITLE SHEET
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PROJECT DATA

GROSS AREAS

CIRCULATION	84,315 SF
COMMON	18,931 SF
GARAGE	213,857 SF
RESIDENTIAL	425,336 SF
RETAIL	5,187 SF
SERVICE	14,462 SF
STAIRS / ELEV.	37,385 SF
Total	799,472 SF

UNIT MIX

TYPE	CURRENT*	MIX	PROPOSED	MIX	AVG. AREA
STUDIO	53	33%	228	38%	405 sf
1 BR	102	64%	197	33%	650 sf
2 BR	4	2%	178	29%	960 sf
3 - 4 BR	2	<1%	2	<1%	1,825 sf
TOTAL	161		605		

* There are 160 current rent-stabilized units and one 2 BR single-family rental (non-RSO)

PARKING

STALLS	CURRENT	PROPOSED
OFF-STREET	155	625
ON-STREET	52	52

(17 of the proposed spaces are ADA, including 2 ADA Van spaces)
Parking Ratio = 1.03 spaces/unit

BIKE PARKING

CLASS I:
BUILDING A (@ O'KEEFE ST.): 72 STALLS
BUILDING B (@ EUCLID AVE.): 108 STALLS
BUILDING C (@ W.BAYSHORE RD.): 144 STALLS
TOTAL: 324 STALLS

CLASS II: 45 STALLS

LOT COVERAGE CALCULATIONS

TOTAL SITE AREA
= 31,596 SF + 139,345 SF = 170,941 SF

TOTAL BUILDING FOOTPRINT AREA
= 13,870 SF + 73,725 SF = 87,595 SF

LOT COVERAGE = 87,595 / 170,941 SF = 51%

F.A.R. REQUIRED: N/A

(PER DEVELOPMENT CODE SECTION 18.10 TABLE 2-2)

Woodland Park Euclid Improvements



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TITLE SHEET

Sheet No.

G000

Date 01-08-2021
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PERSPECTIVE
VIEWS

Sheet No.

G101

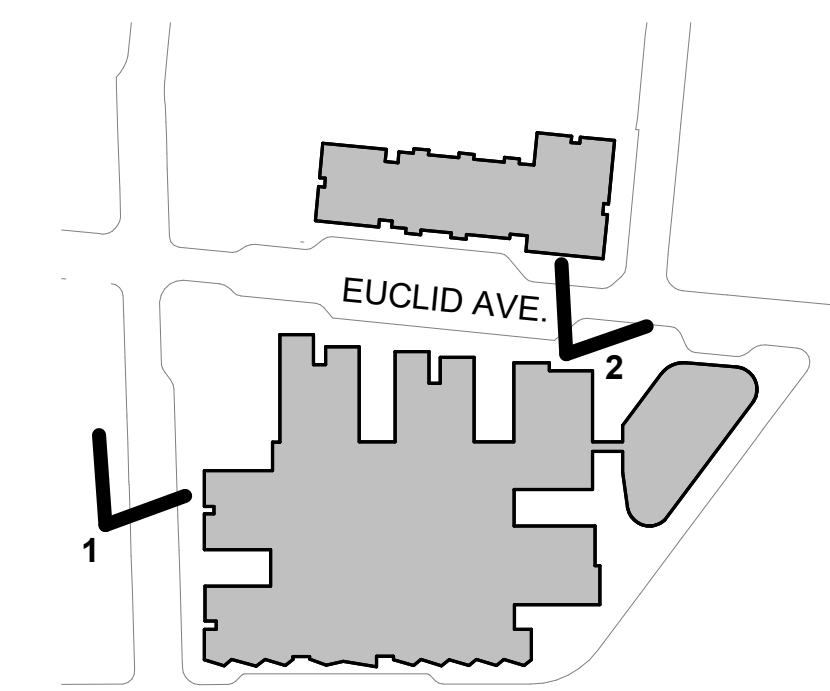
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1- VIEW OF PARK FROM O'CONNOR ST.



2- VIEW OF EUCLID LOOKING TOWARDS O'KEEFE ST.



KEY PLAN

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PERSPECTIVE
VIEWS

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G102

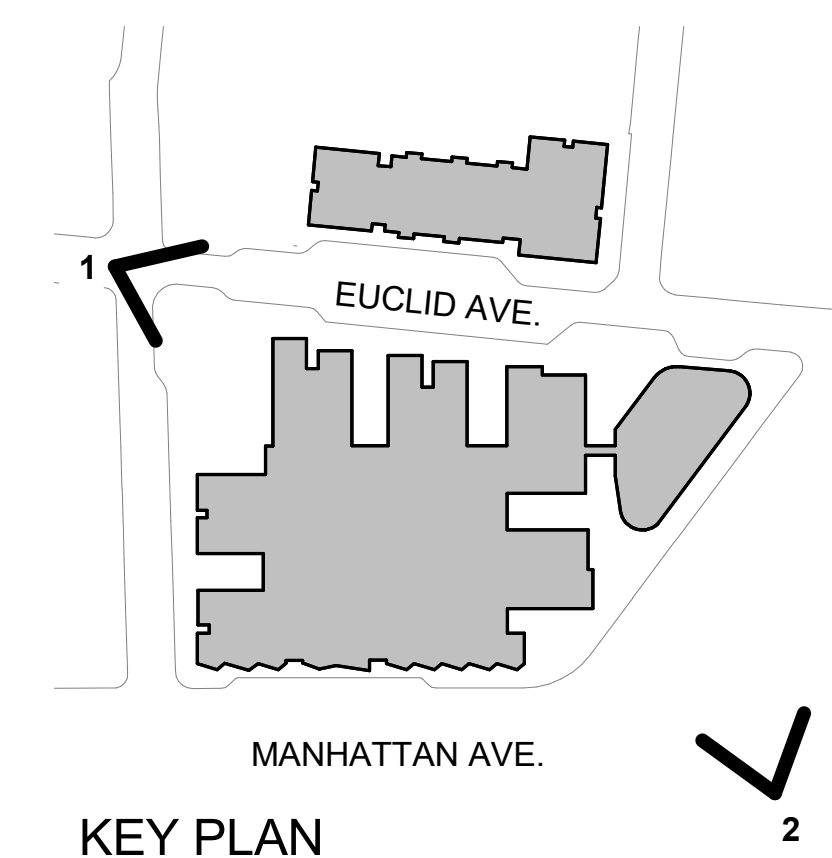
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1- VIEW DOWN EUCLID AVE. LOOKING NORTH



2- VIEW FROM US 101/ UNIVERSITY AVE OVERPASS (FOUR SEASONS HOTEL IN FOREGROUND)





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AERIAL VIEW

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G103

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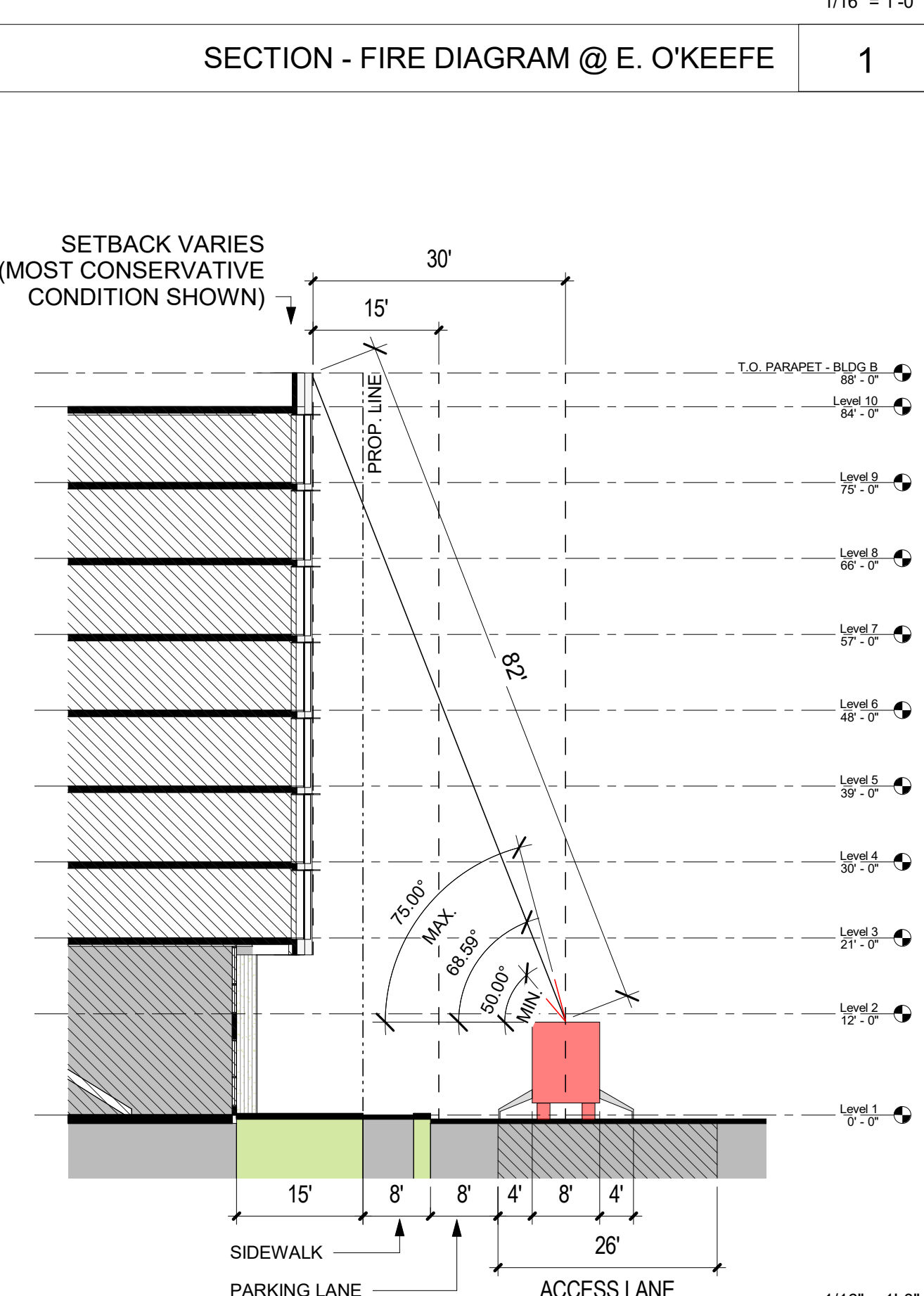
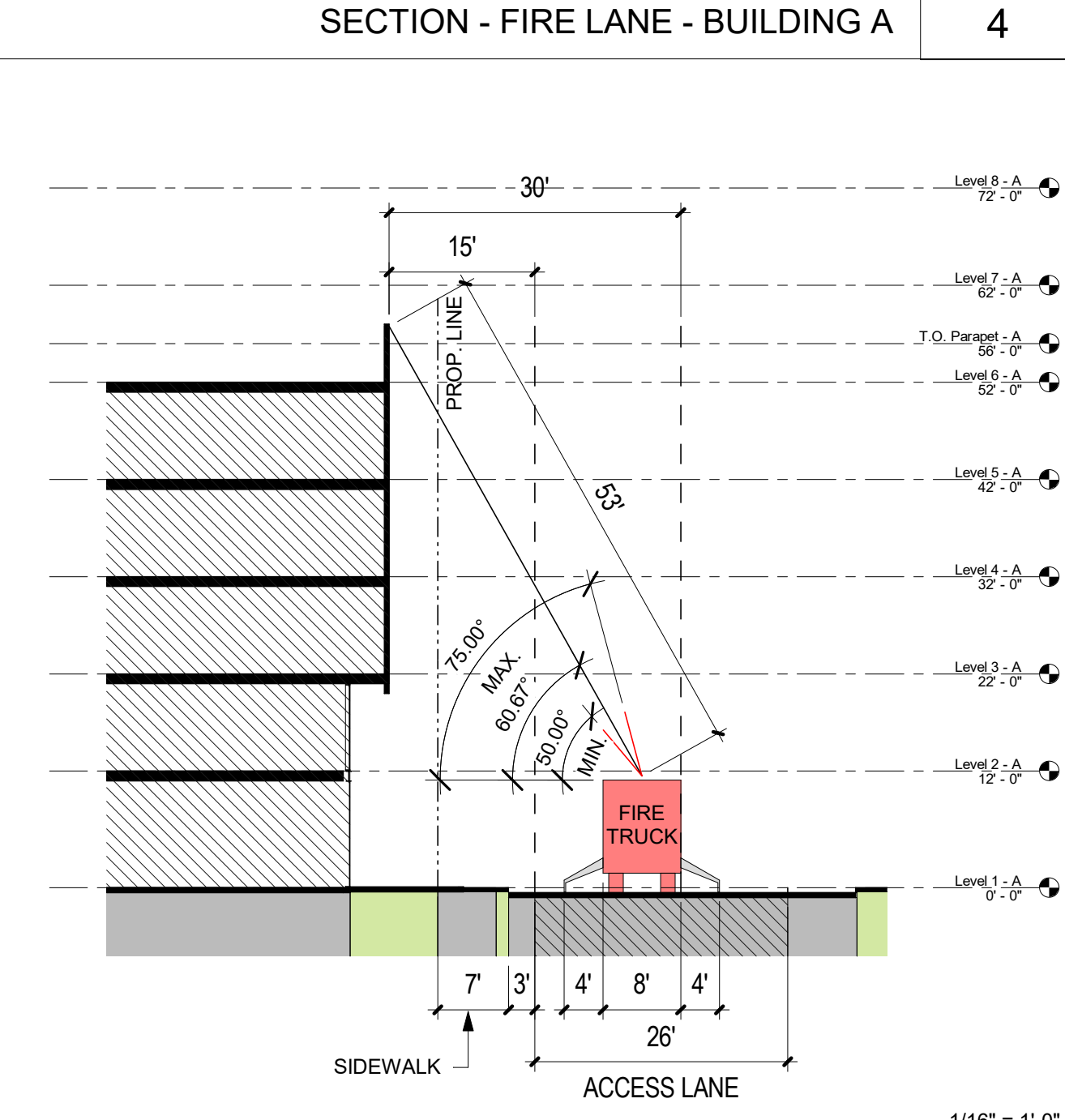
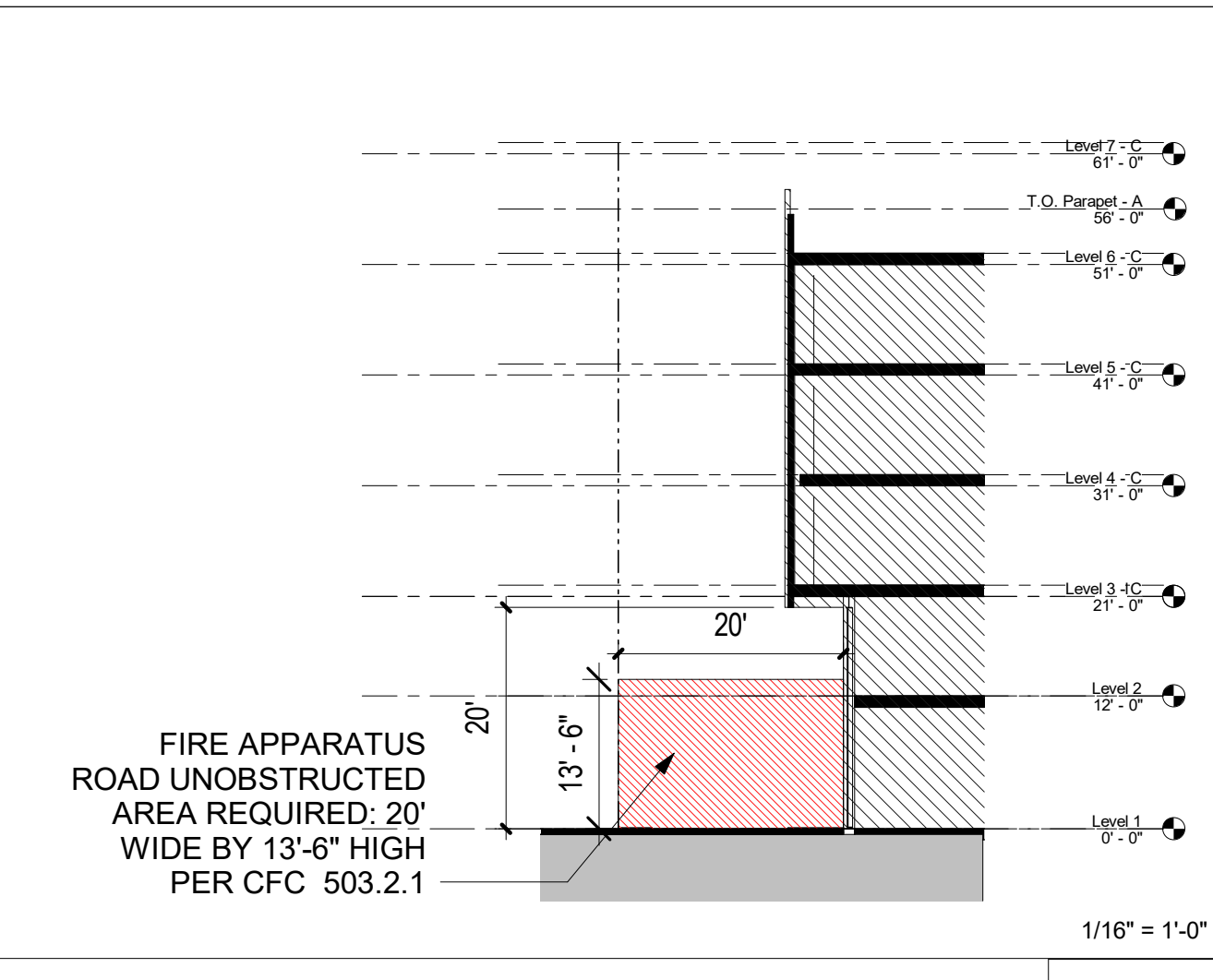
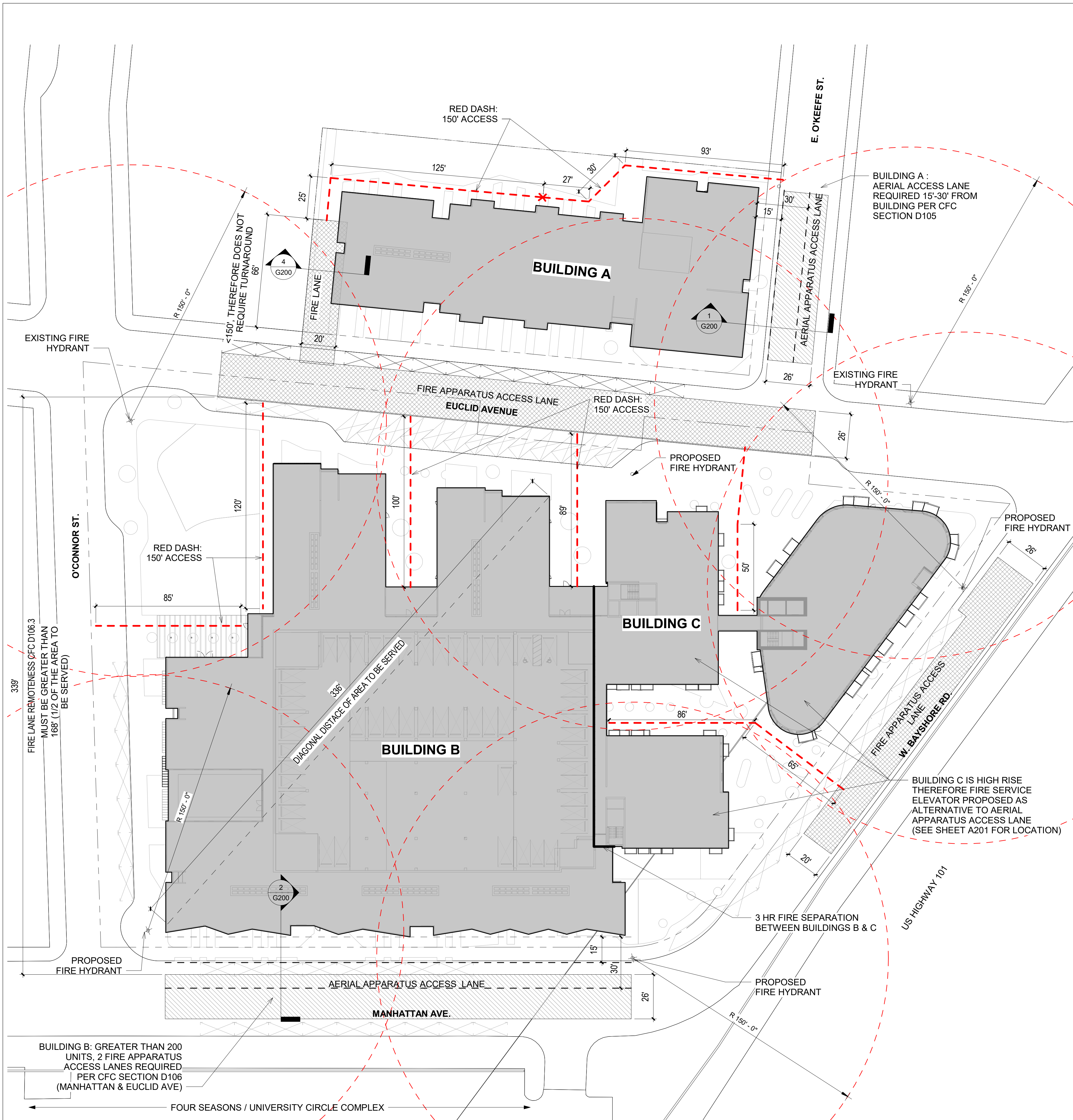
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FIRE DIAGRAMS

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FIRE DIAGRAM 3

SECTION - FIRE DIAGRAM @ MANHATTAN 2



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CODE ANALYSIS
- GENERAL

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G201

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BUILDING A

TYPE V-A over TYPE I-A

ALLOWABLE AREA FOR SINGLE-OCCUPANCY, MULTISTORY BUILDING
EQUATION 5-2 (CBC 506.2.3):
 $A_a = [A_s + (NS \times l_i)] \times S_a$

EQUATION 5-5 (CBC 506.3.3):
 $I_r = [F/P - 0.25] \times W/30$

Where
F = 100' + 243' = 343'
P = 100' + 243' + 66' + 177' + 66' = 652'
W = 30
 $I_r = [343/652 - 0.25] \times 30/30 = .28$

Allowable Area for "R-2" Occupancy & Type V-A:

$A_a = [36,000 + (12,000 \times 0.28)] \times 2 = 78,720$ SF

ACTUAL AREA:

TYPE I-A:

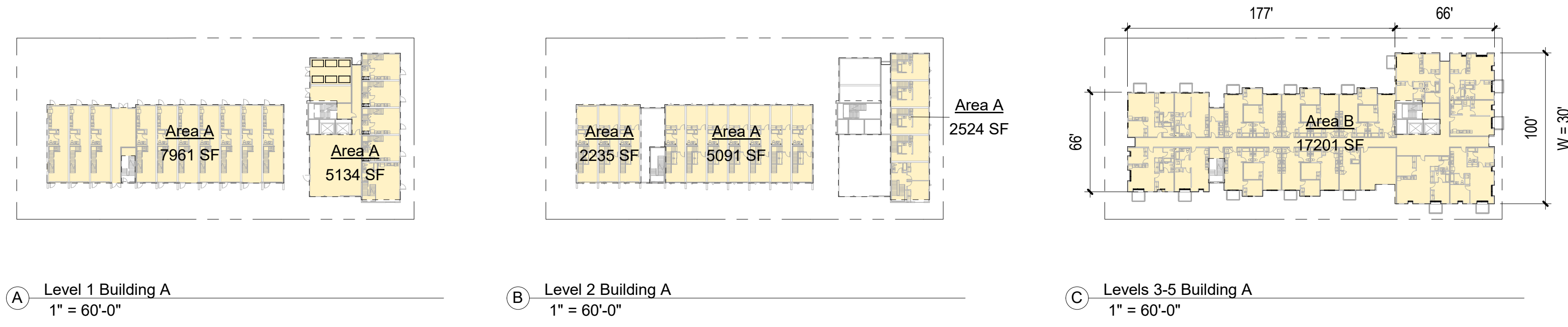
Area A 22945 SF

BUILDING AREA IS UNLIMITED FOR TYPE I-A CONSTRUCTION, THEREFORE
COMPLIES

TYPE V-A:

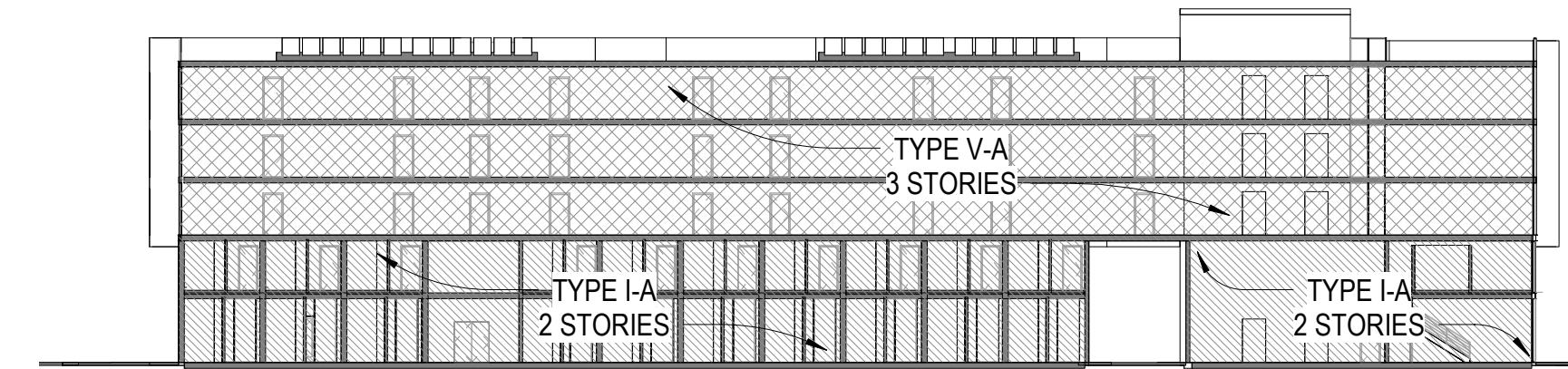
Area B 51603 SF

TOTAL BUILDING AREA FOR TYPE V-A: 51,603 < 78,720 THEREFORE
COMPLIES



AREA CALCULATIONS - BUILDING A

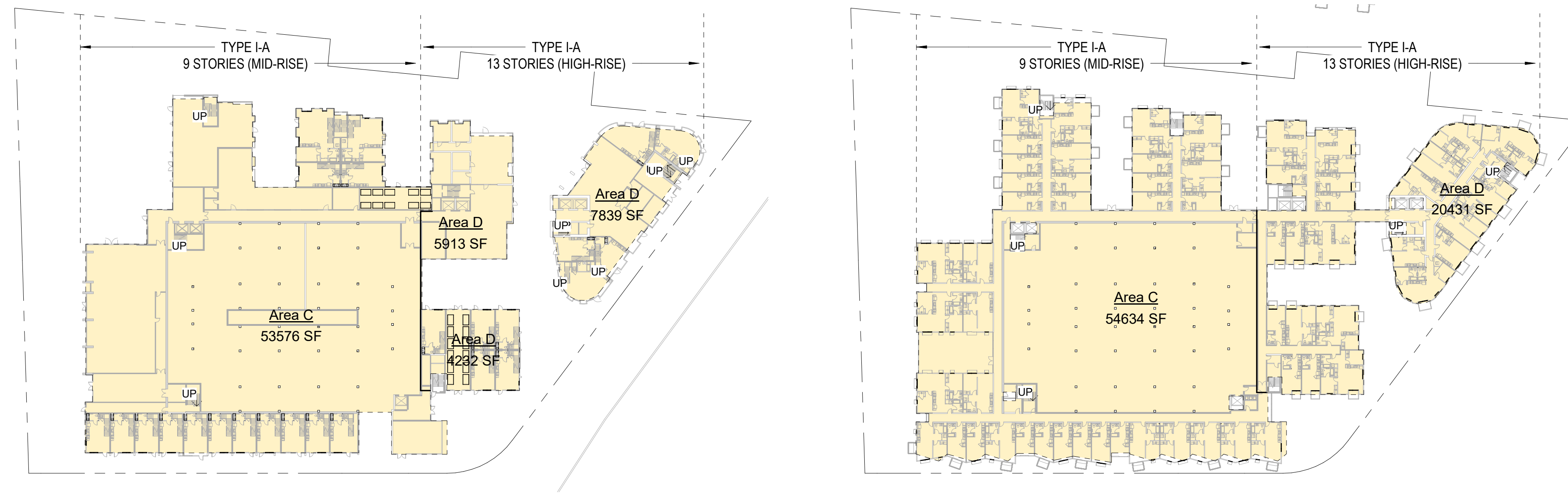
4



1" = 30'-0"

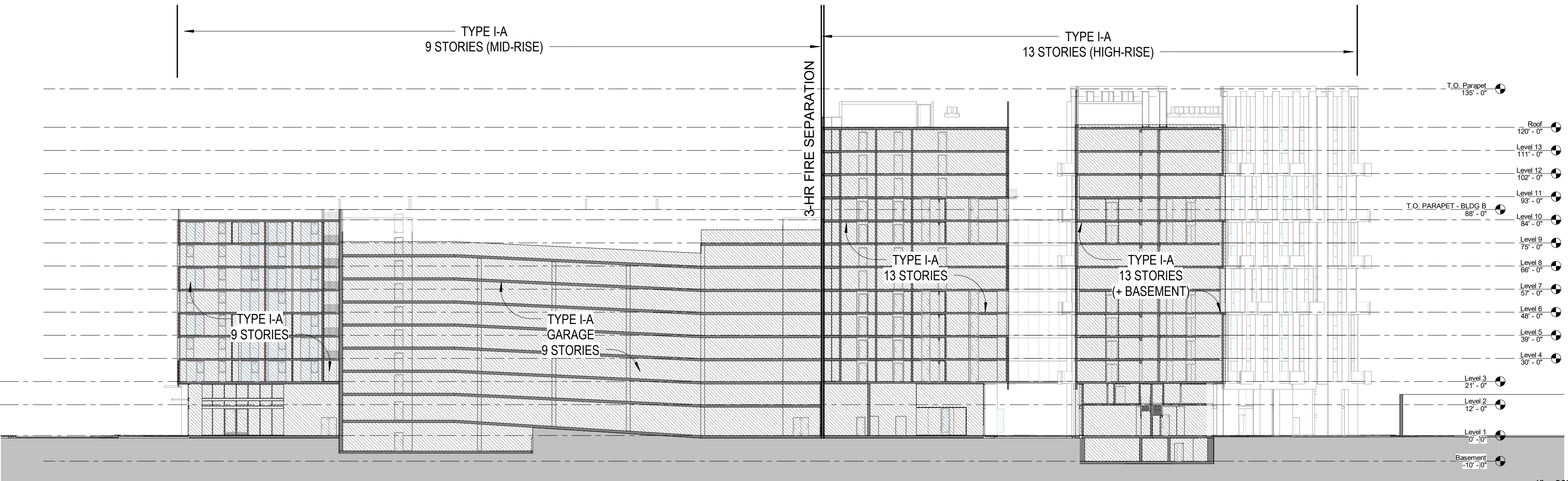
CODE ANALYSIS - SECTION - BUILDING A

3



Level 1 Buildings B & C
1" = 60'-0"

Levels 3-9 Buildings B&C
1" = 60'-0"



1" = 30'-0"

CODE ANALYSIS - SECTION - BUILDINGS B & C

1

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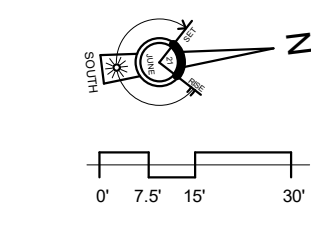
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**SITE PLAN -
EXISTING**

Sheet No.

A100

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Existing properties:

**2021 Euclid Avenue
(11 rent-stabilized units)**

11 x Studio Units

**2025 Euclid Avenue
(7 rent-stabilized units)**

6 x Studio Units
1 x 1 Bedroom Unit

**2031 Euclid Avenue
(12 rent-stabilized units)**

12 x 1 Bedroom Units

2032 Euclid Avenue

1 x 2 Bedroom Single-Family-House
(non-RSO)

**2036 Euclid Avenue
(4 rent-stabilized units)**

2 x Studio Units
1 x 1 Bedroom Unit
1 x 2 Bedroom Unit

**2040 & 2042 Euclid Avenue
(2 rent-stabilized units)**

1 x 2 Bedroom Unit
1 x 4 Bedroom Unit

**2041 Euclid Avenue
(also known as 420 O'Keefe)**

Community Engagement Office

2043 Euclid Avenue

Resident Services Office and
Community Technology Center

**2044 Euclid Avenue
(2 rent-stabilized units)**

1 x 2 Bedroom Unit
1 x 3 Bedroom Unit

**2054 Euclid Avenue
(8 rent-stabilized units)**

8 x 1 Bedroom Units

**2012 Euclid Avenue/501 O'Connor Street
(22 rent-stabilized units)**

22 x 1 Bedroom Units

**2001 Manhattan Avenue
(60 rent-stabilized units)**

8 x Studio Units
52 x 1 Bedroom Units

**2033 Manhattan Avenue
(32 rent-stabilized units)**

26 x Studio Units
6 x 1 Bedroom Units

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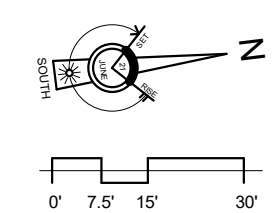
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**SITE PLAN -
PROPOSED**

Sheet No.

A101

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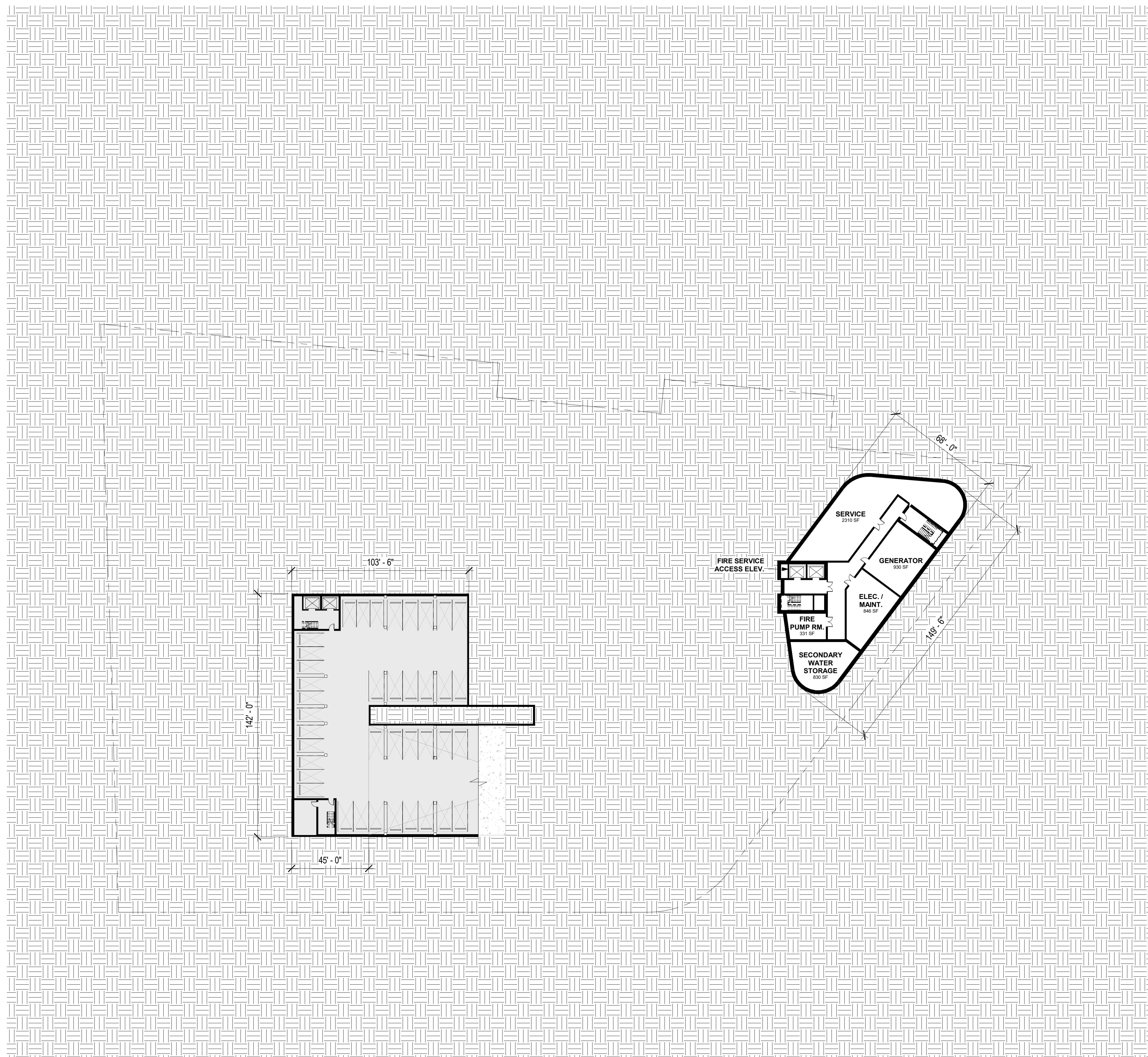
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FLOOR PLAN -
BASEMENT

Sheet No.

A200

Date 01-08-2021
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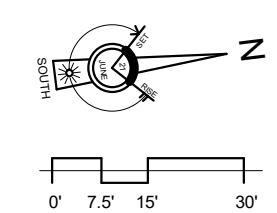
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FLOOR PLAN -
LEVEL 1

Sheet No.

A201

Date 01-08-2021
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FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX

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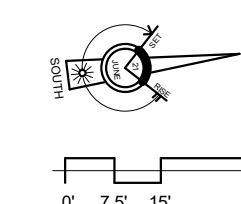
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FLOOR PLAN -
LEVEL 2

Sheet No.

A202

Date 01-08-2021
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FLOOR PLAN -
LEVELS 3

Sheet No.

A203

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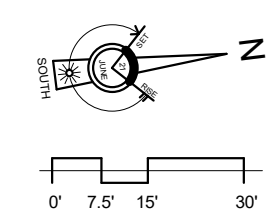
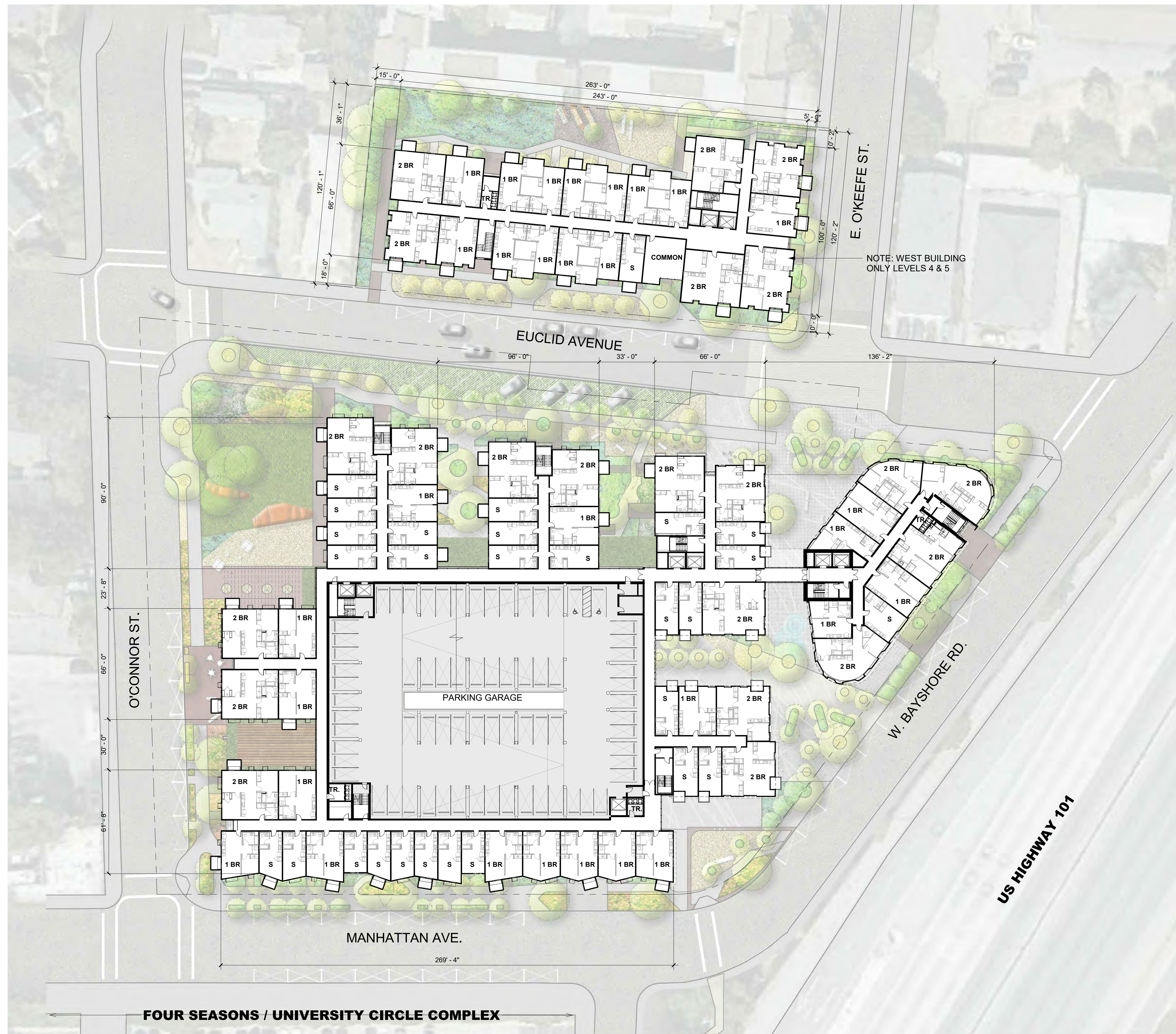
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FLOOR PLAN -
LEVELS 4-9

Sheet No.

A204

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Drawing Title

FLOOR PLAN -
LEVELS 10-13

Sheet No.

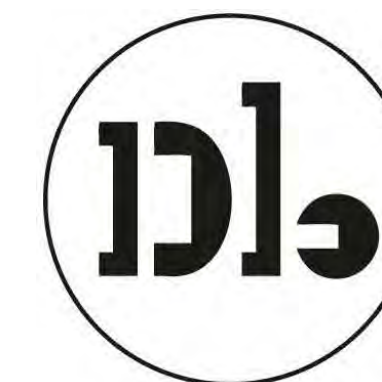
A205

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Project No. 21620



← FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX →

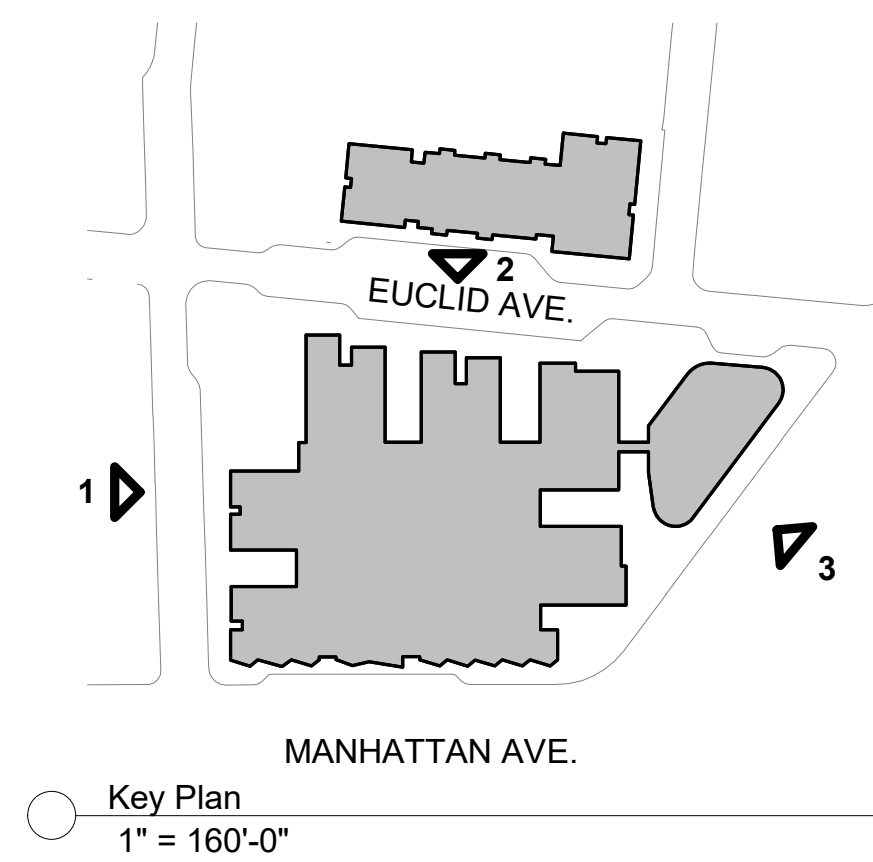
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MATERIAL LEGEND

- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
- 10 - Balconies with Perforated Metal Guardrails
- 11 - Corten Steel Panels
- 12 - Smooth Concrete
- 13 - Metal Sunshade



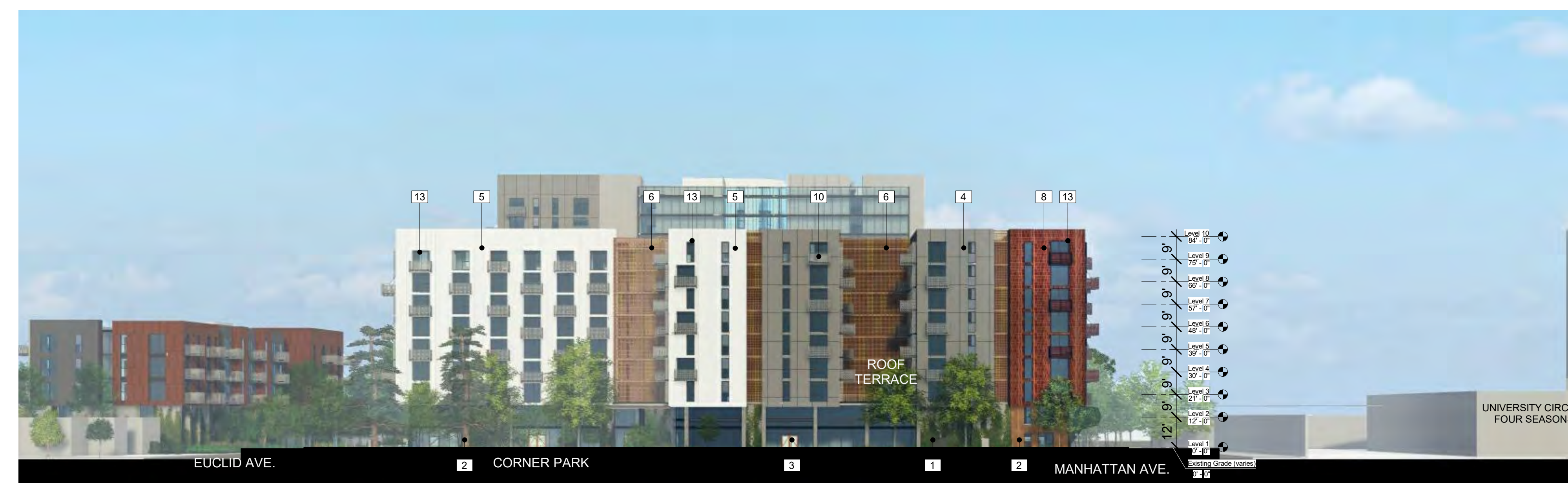
NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



③ W. Bayshore Rd. Elevation - East Building
1" = 30'-0"



② Euclid Ave. Elevation - East Building
1" = 30'-0"



① O'Connor St. Elevation - East Building
1" = 30'-0"

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Application -
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**BUILDING
ELEVATIONS**

Sheet No.

A300

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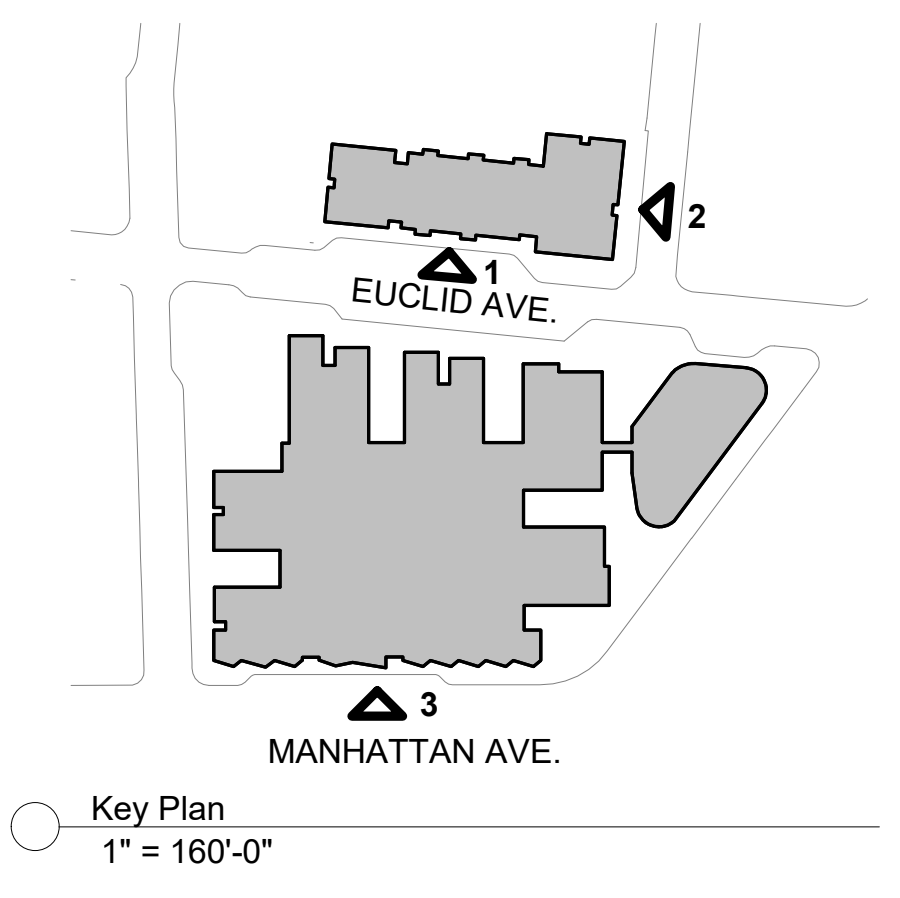
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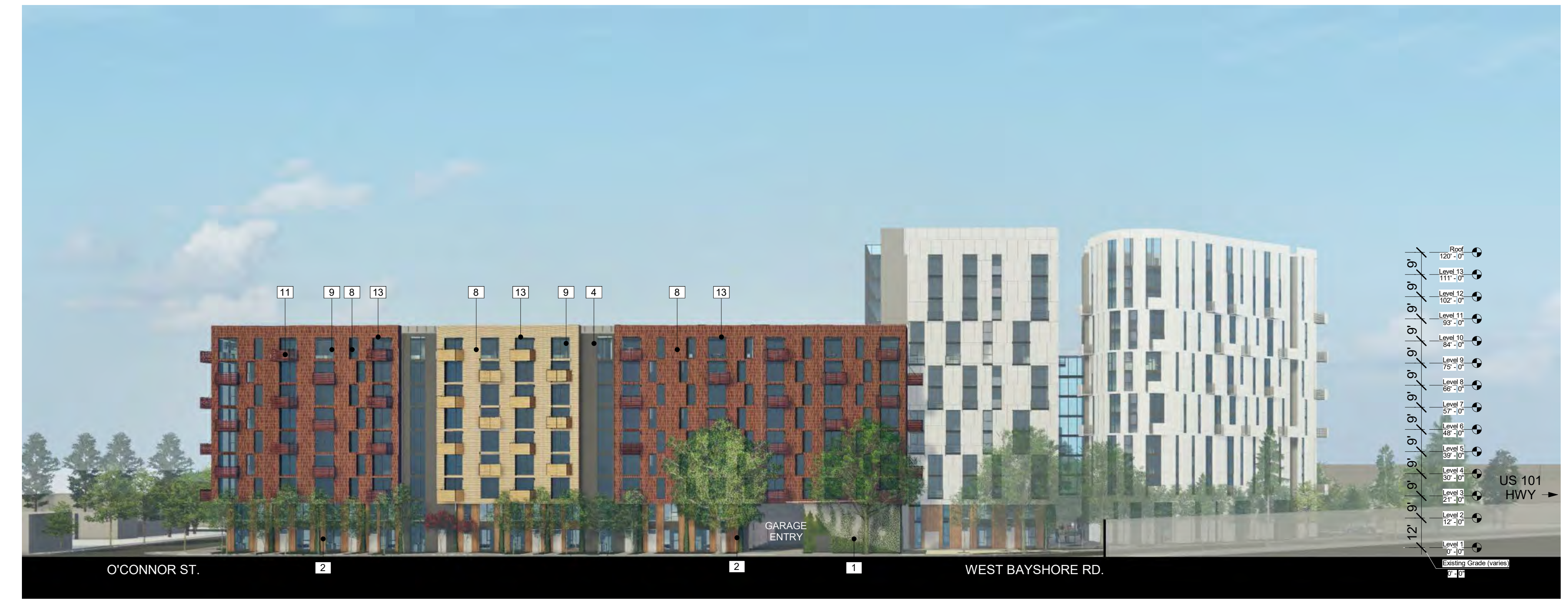
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NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



③ Manhattan Ave. Elevation - East Building
1" = 30'-0"

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Rev.	Description	Date



② East O'Keefe St. Elevation - West Building
1" = 30'-0"



① Euclid Ave. Elevation - West Building
1" = 30'-0"

Set Title

Application -
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Drawing Title
**BUILDING
ELEVATIONS**

Sheet No.
A301

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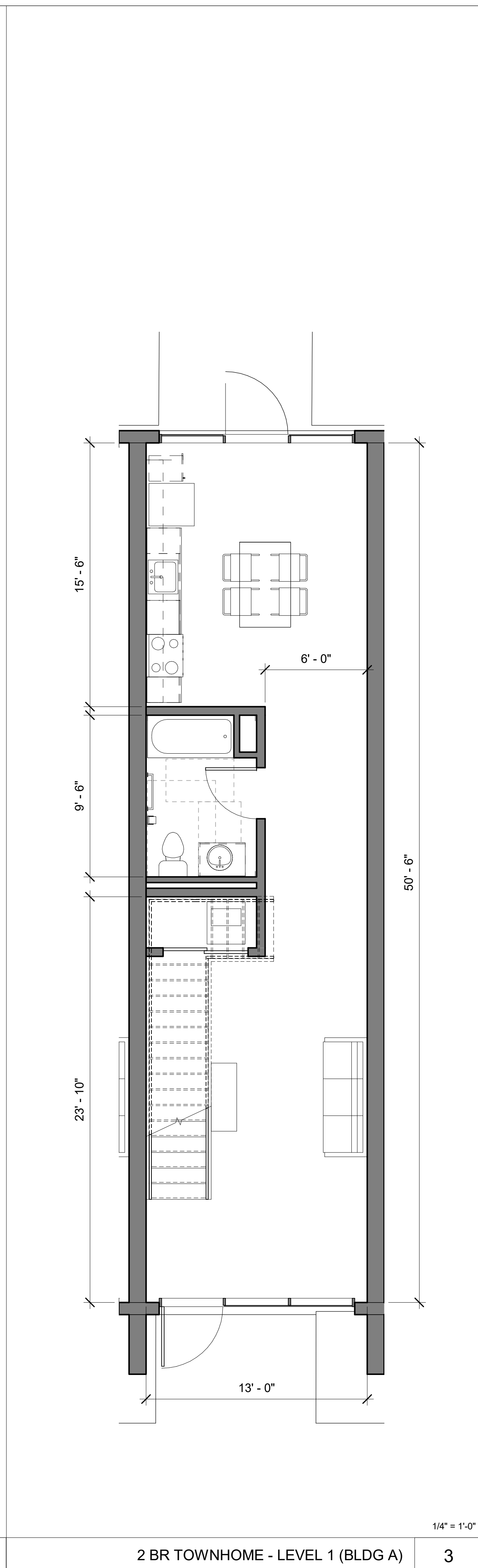
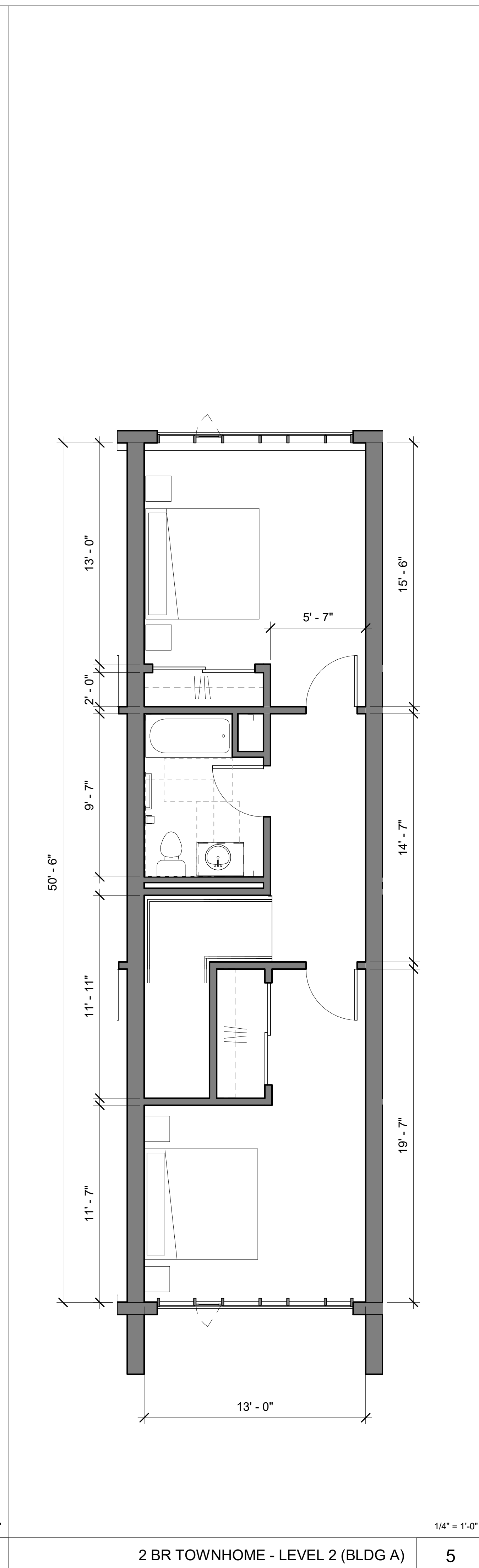
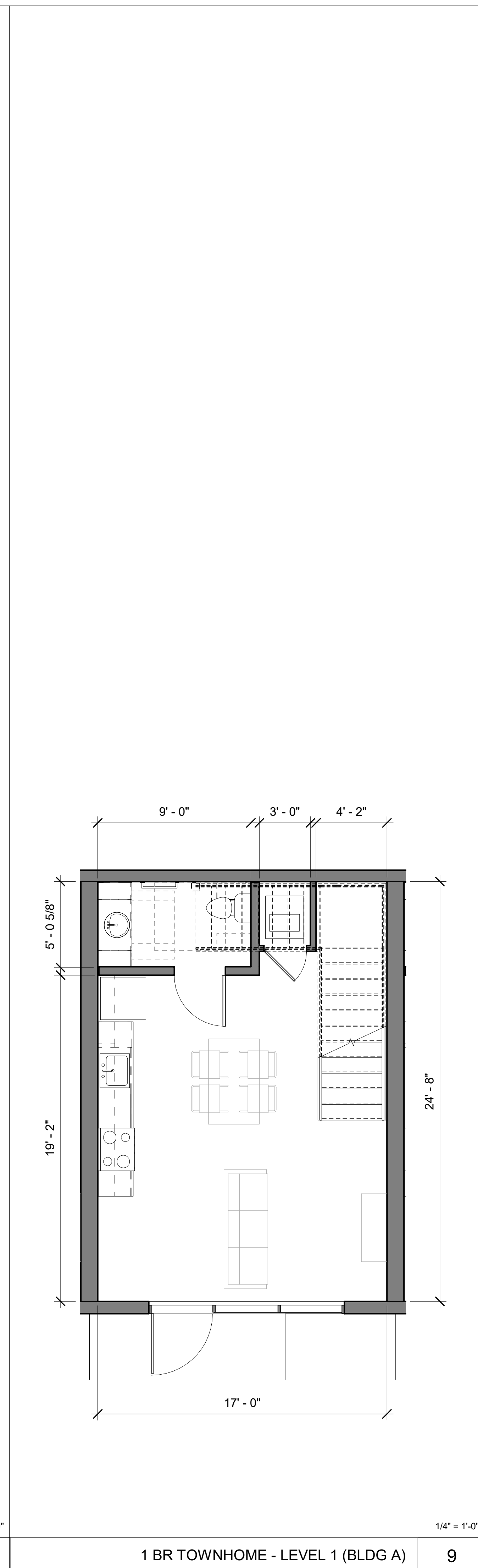
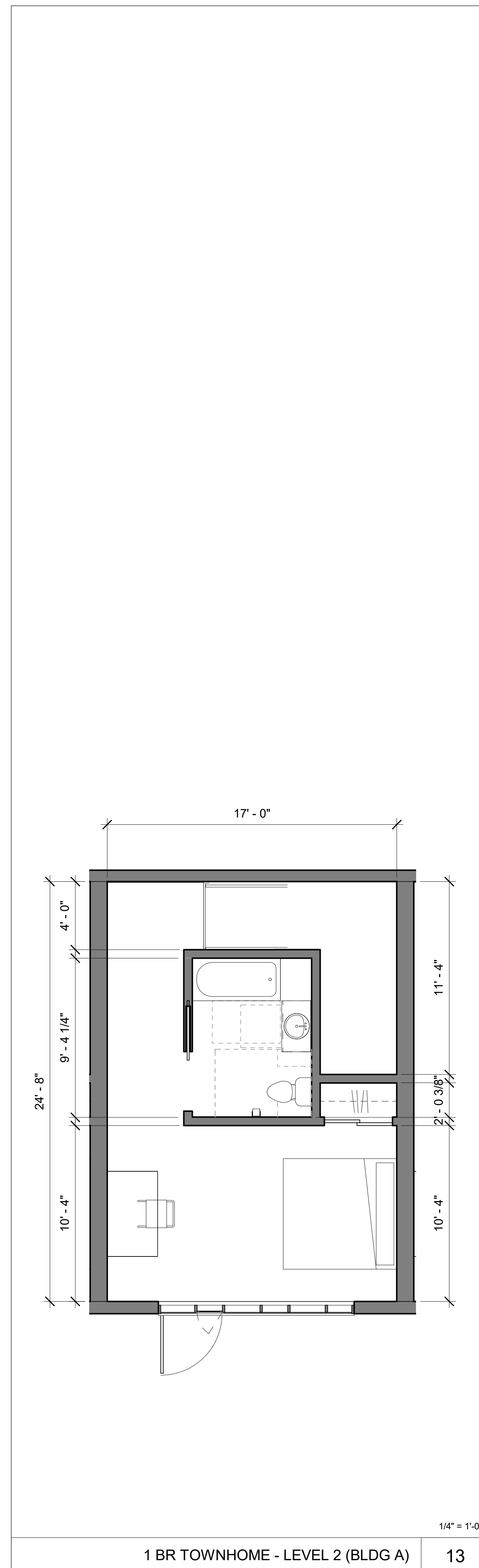
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TYPICAL UNIT
PLANS -
BUILDING A

Sheet No.

A400

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1 BR TOWNHOME - LEVEL 2 (BLDG A) 13

1 BR TOWNHOME - LEVEL 1 (BLDG A) 9

2 BR TOWNHOME - LEVEL 2 (BLDG A) 5

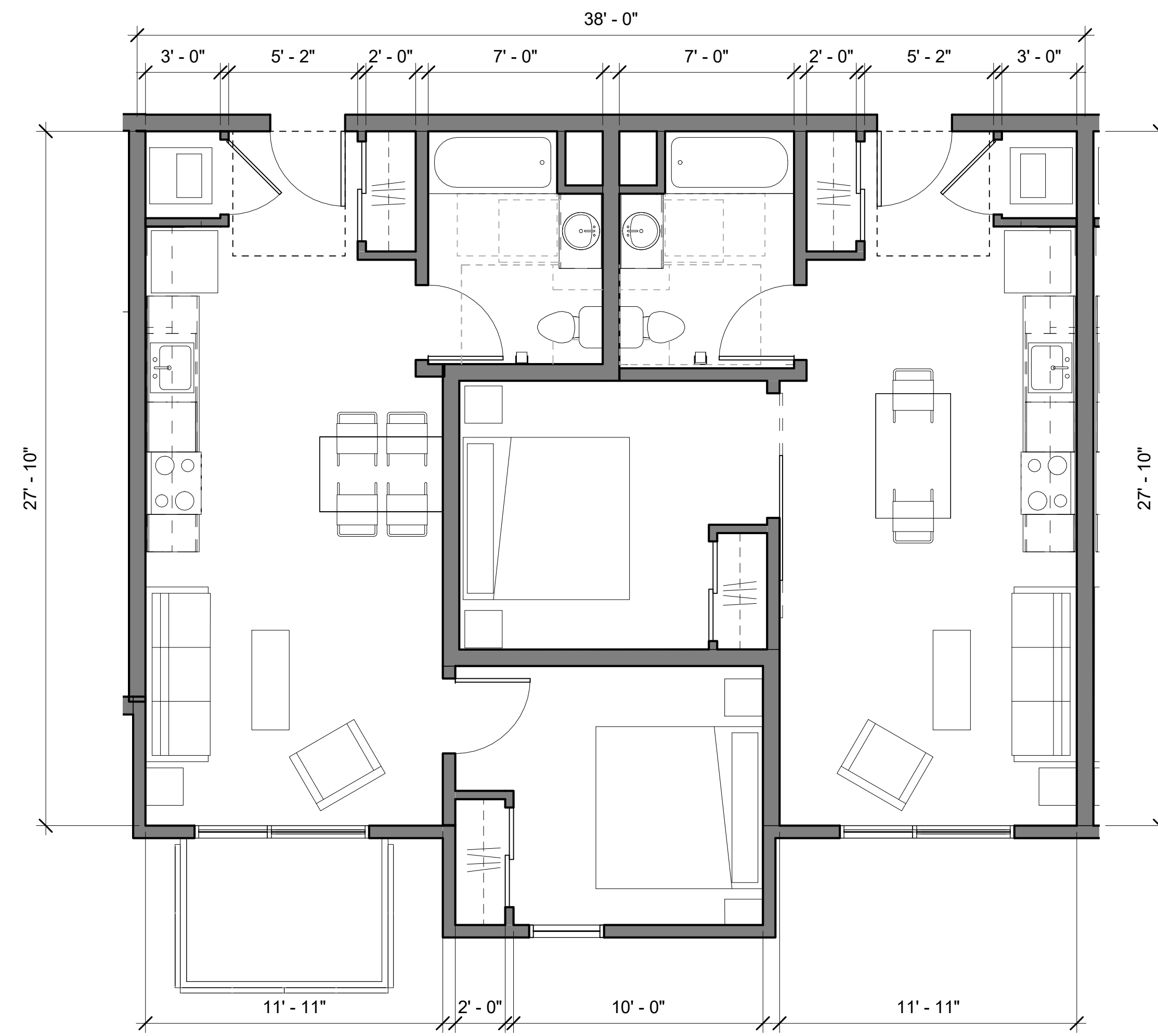
2 BR TOWNHOME - LEVEL 1 (BLDG A) 3

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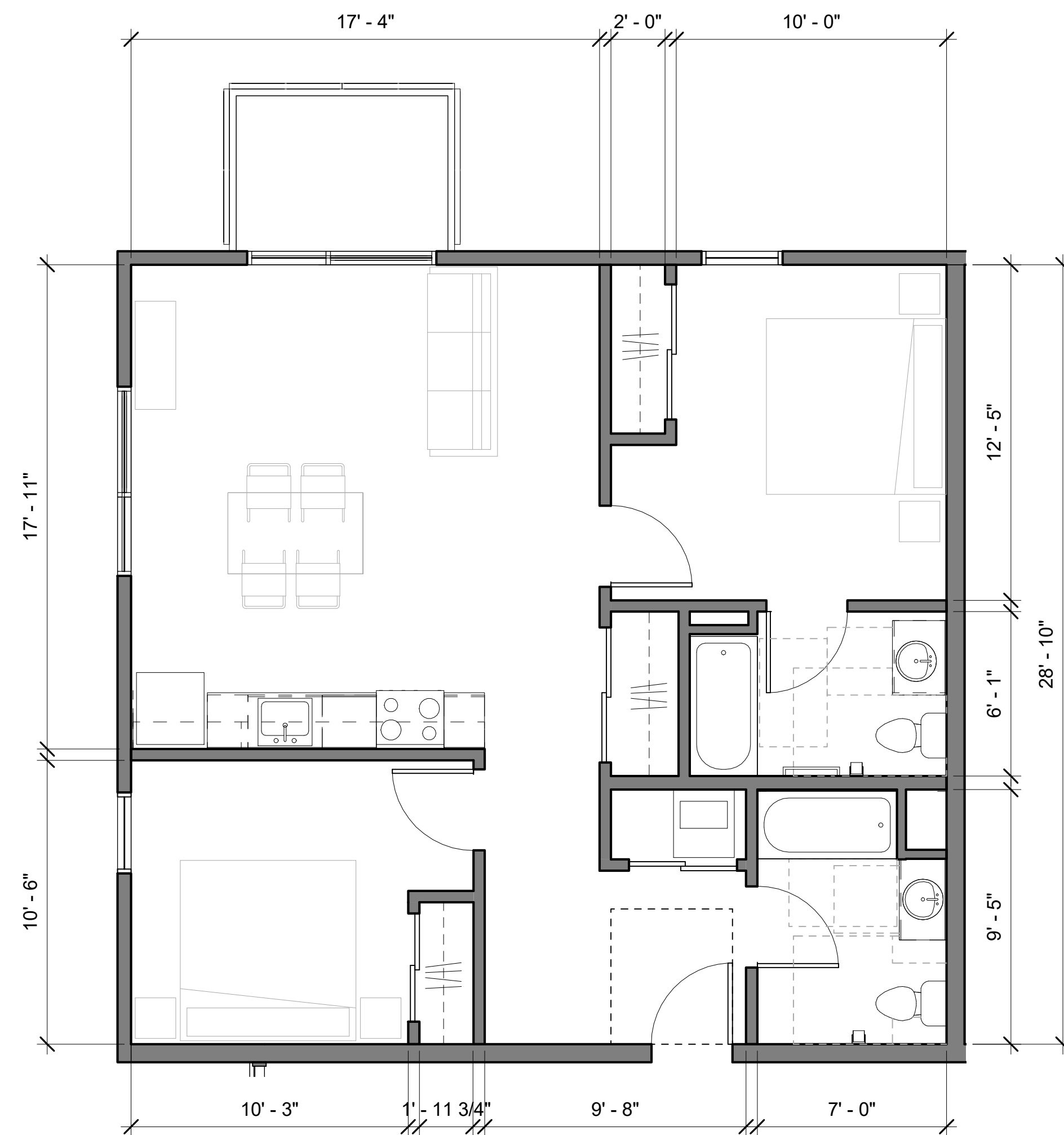
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1/4" = 1'-0"

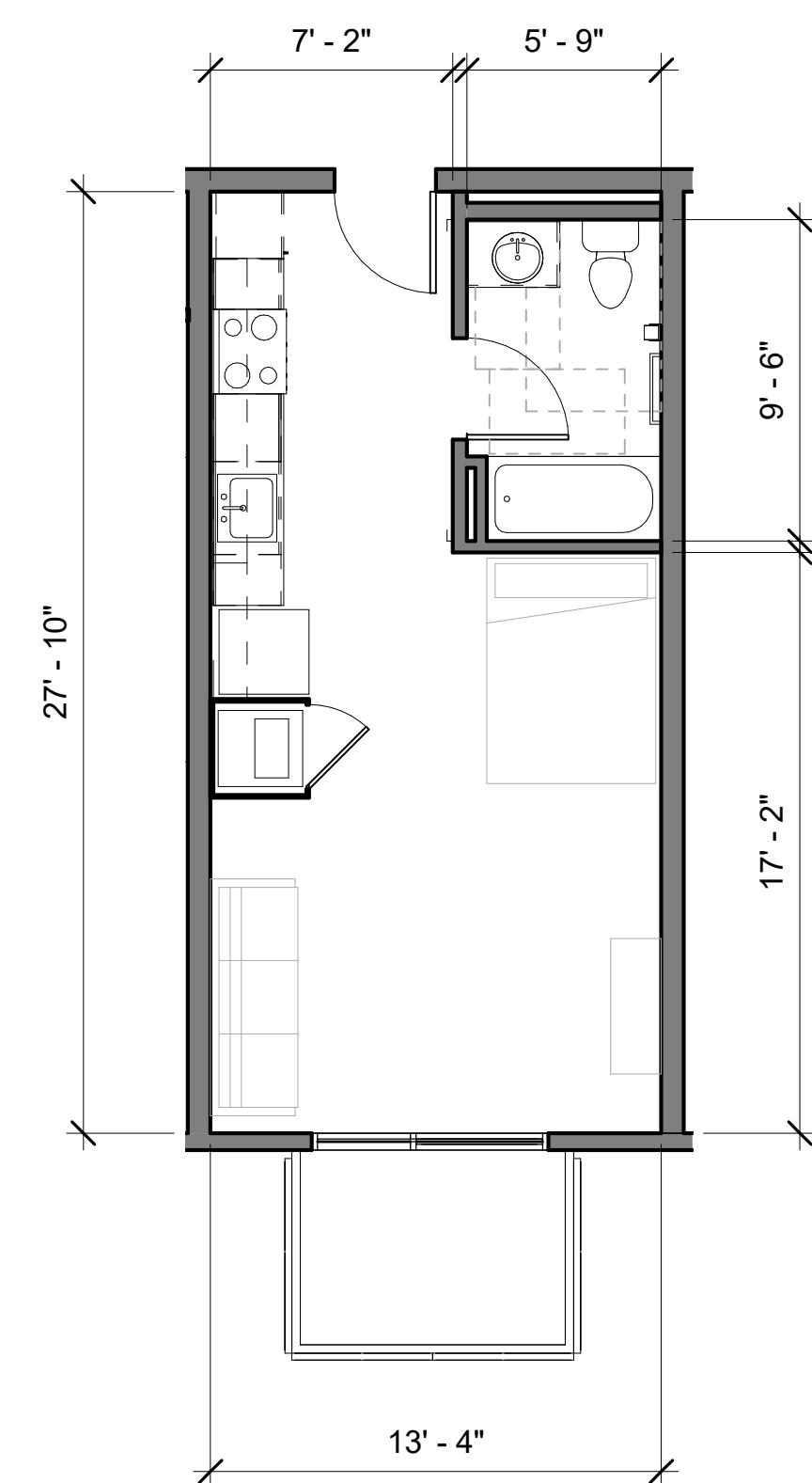
TWO TYPICAL NESTED 1 BEDROOM UNITS (BLDG A)

3



1/4" = 1'-0"

2 BR - TYPICAL UPPER LEVELS (BLDG A)



3/16" = 1'-0"

5 STUDIO - TYPICAL UPPER LEVELS (BLDG A)

1

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1	11-20-2020

Set Title
**Application -
September 2019**

Drawing Title
**TYPICAL UNIT
PLANS -
BUILDING A**

Sheet No.

A401

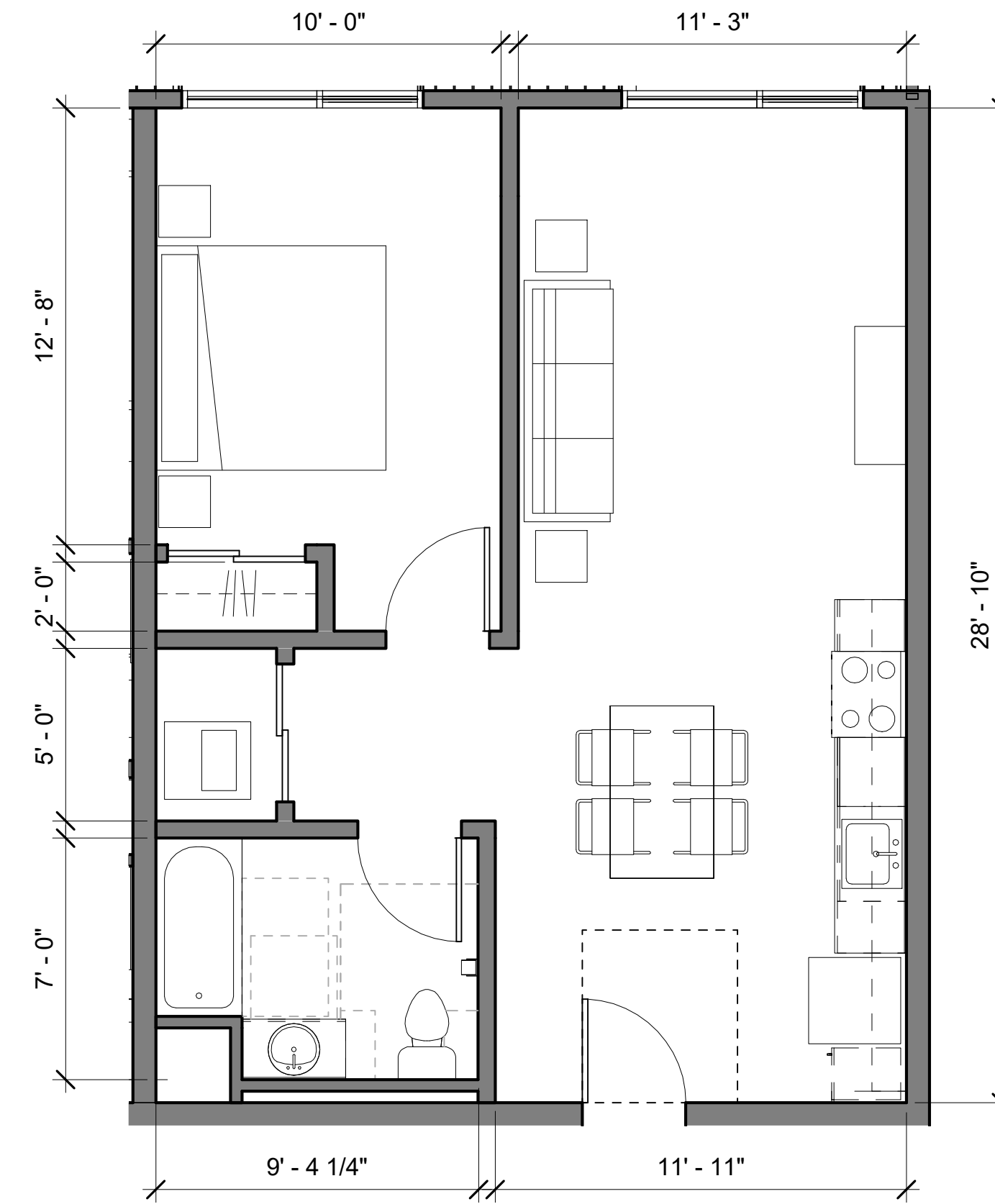
Date 01-08-2021
Project No. 21620

Woodland Park Euclid Improvements



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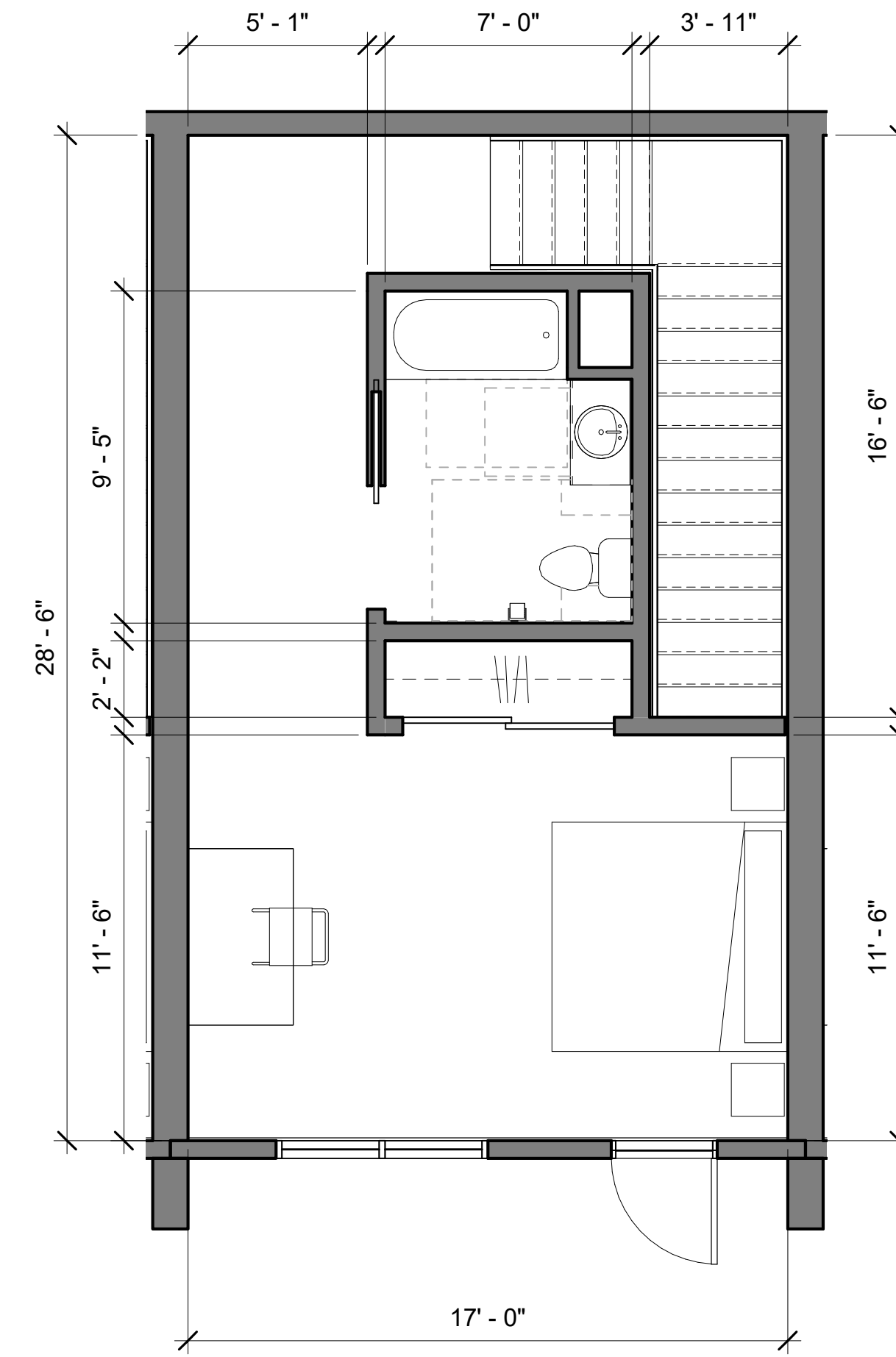
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1/4" = 1'-0"

1 BR - TYPICAL UPPER LEVELS

7



1/4" = 1'-0"

1 BR TOWNHOME - TYPICAL L2 PLAN

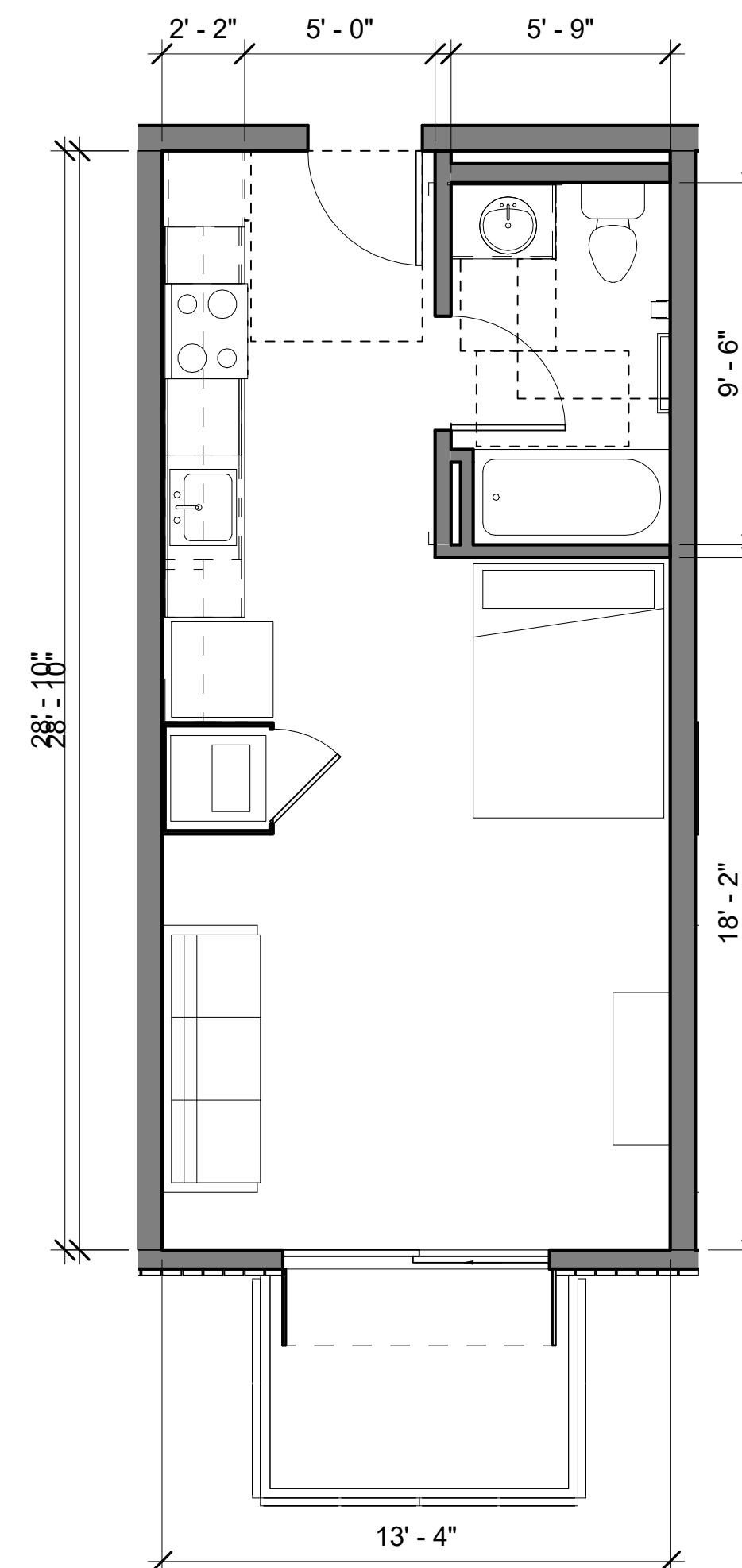
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1/4" = 1'-0"

2 BR - TYPICAL UPPER LEVELS

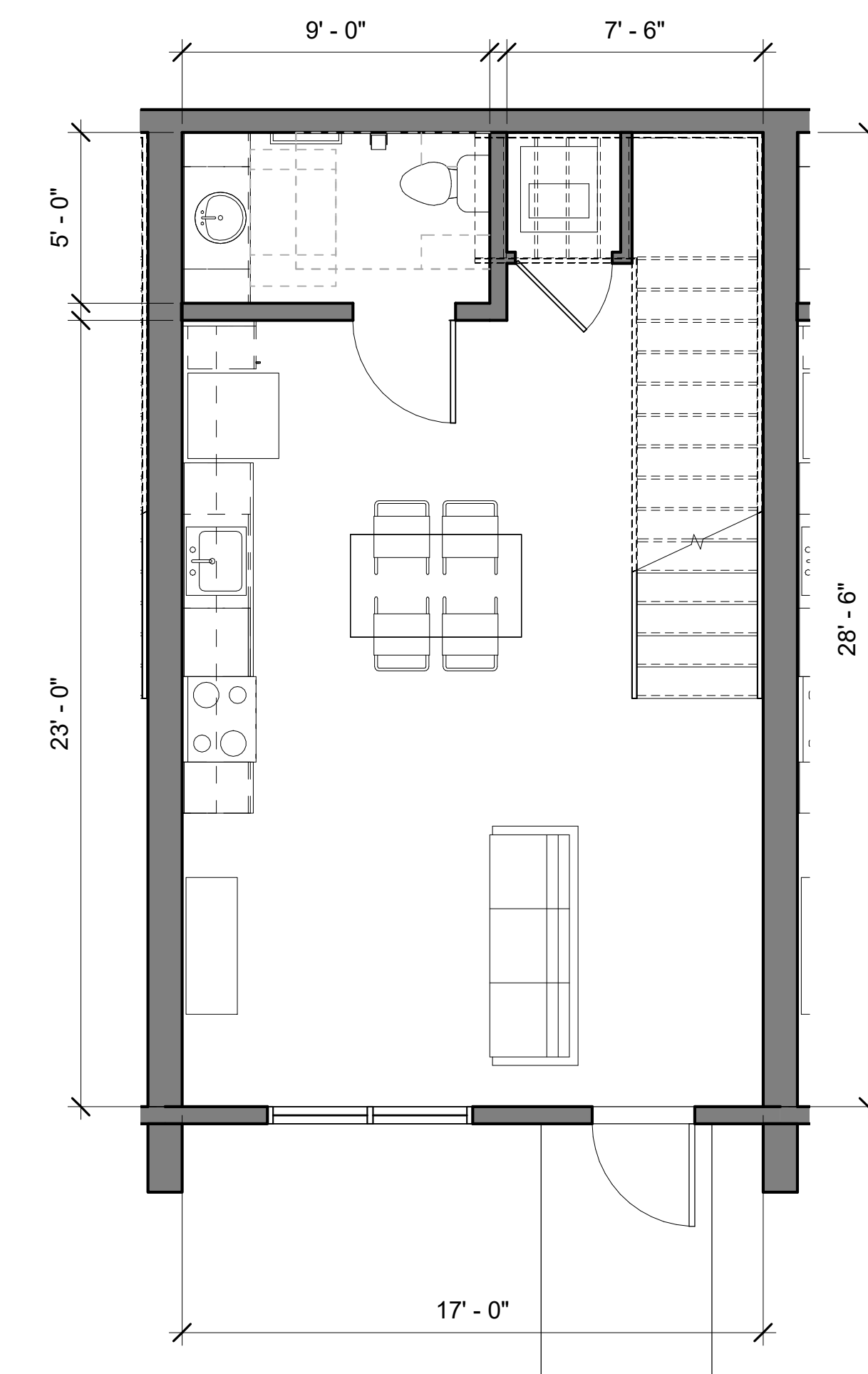
9



1/4" = 1'-0"

STUDIO - TYPICAL UPPER LEVELS

5



1/4" = 1'-0"

1 BR TOWNHOME - TYPICAL L1 PLAN

1

Issuances	
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Rev.	Description	Date
1	Response to Comments	11-20-2020

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September 2019

Drawing Title

TYPICAL UNIT
PLANS -
BUILDING B

Sheet No.

A402

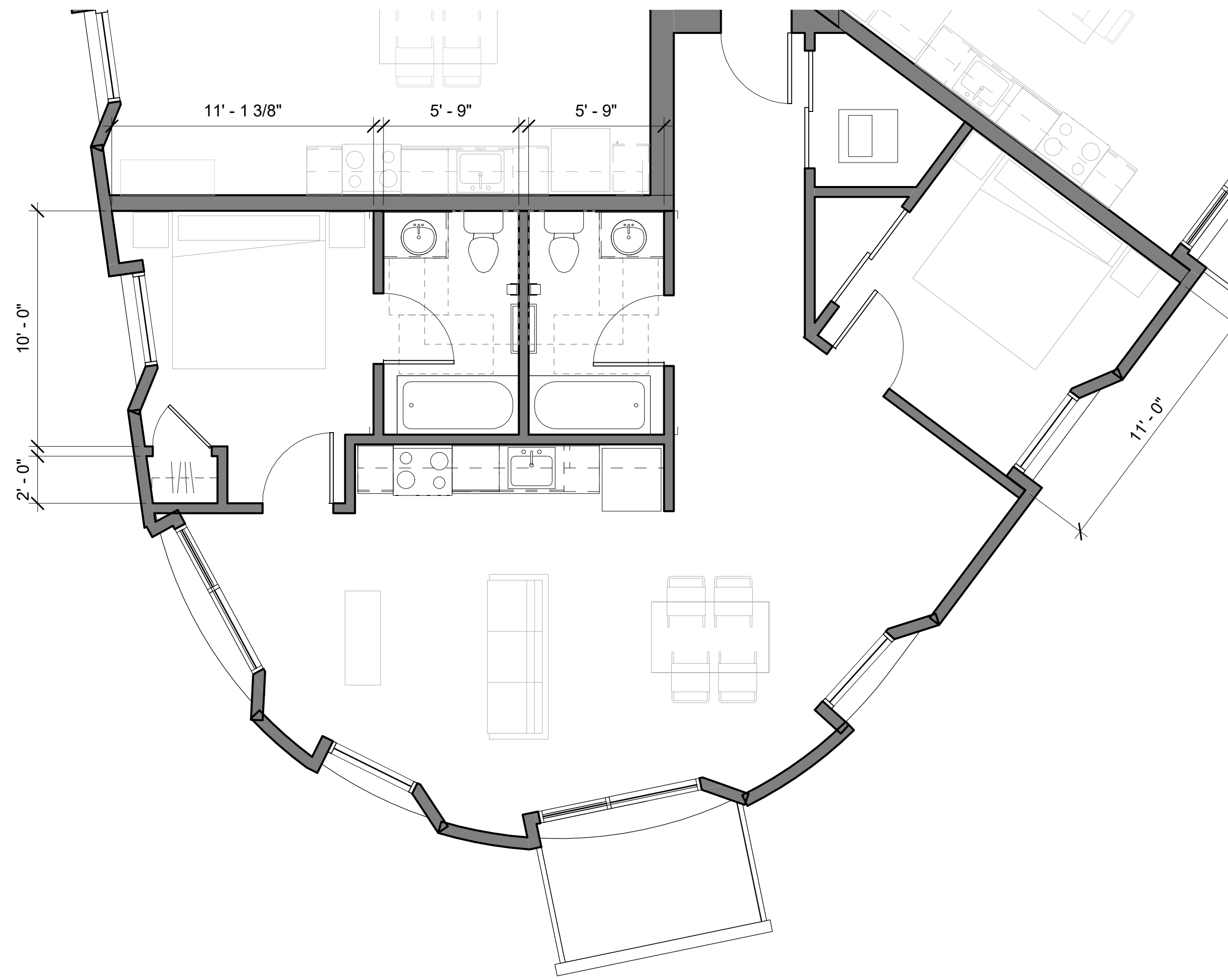
Date	01-08-2021
Project No.	21620

Woodland Park Euclid Improvements



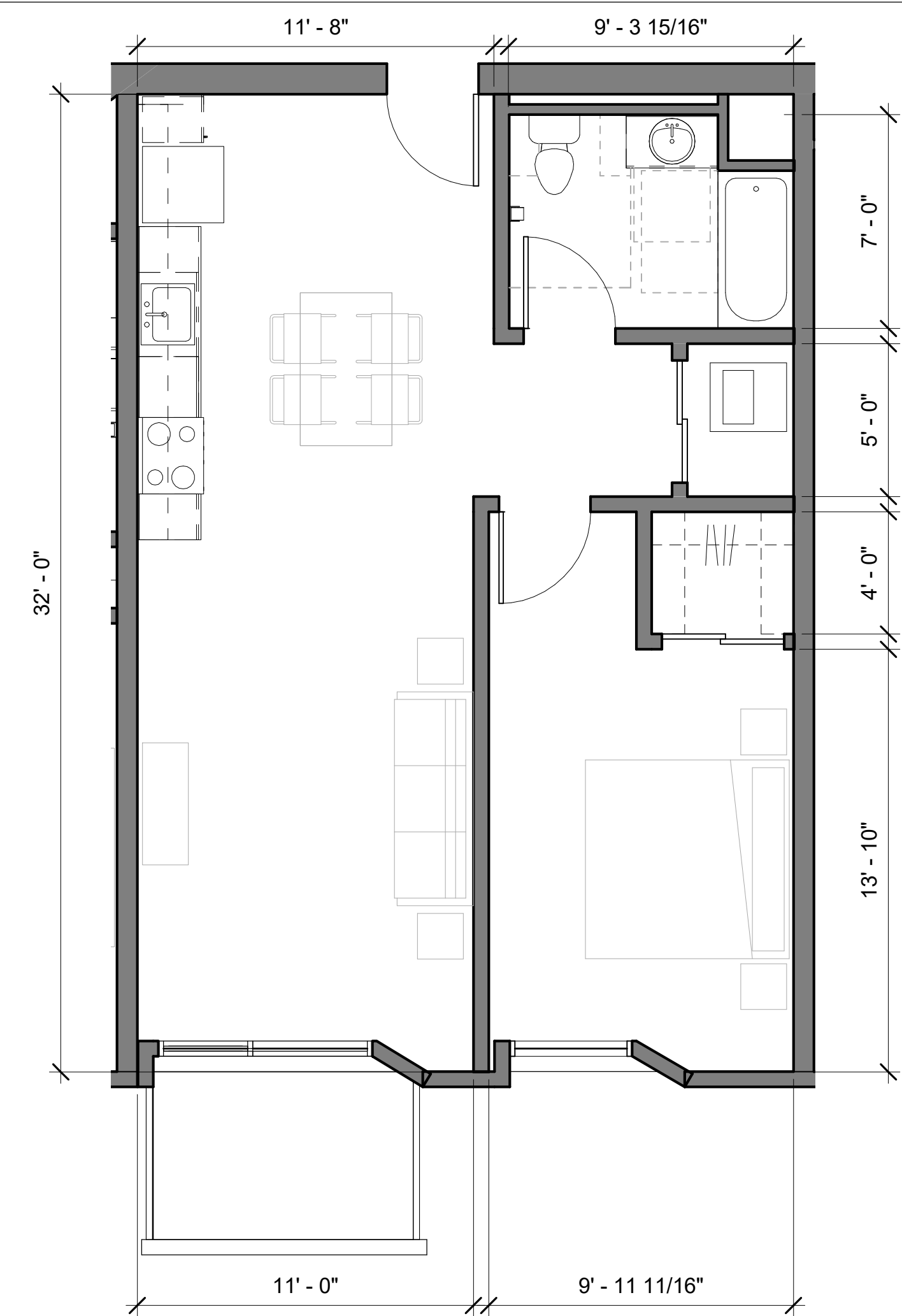
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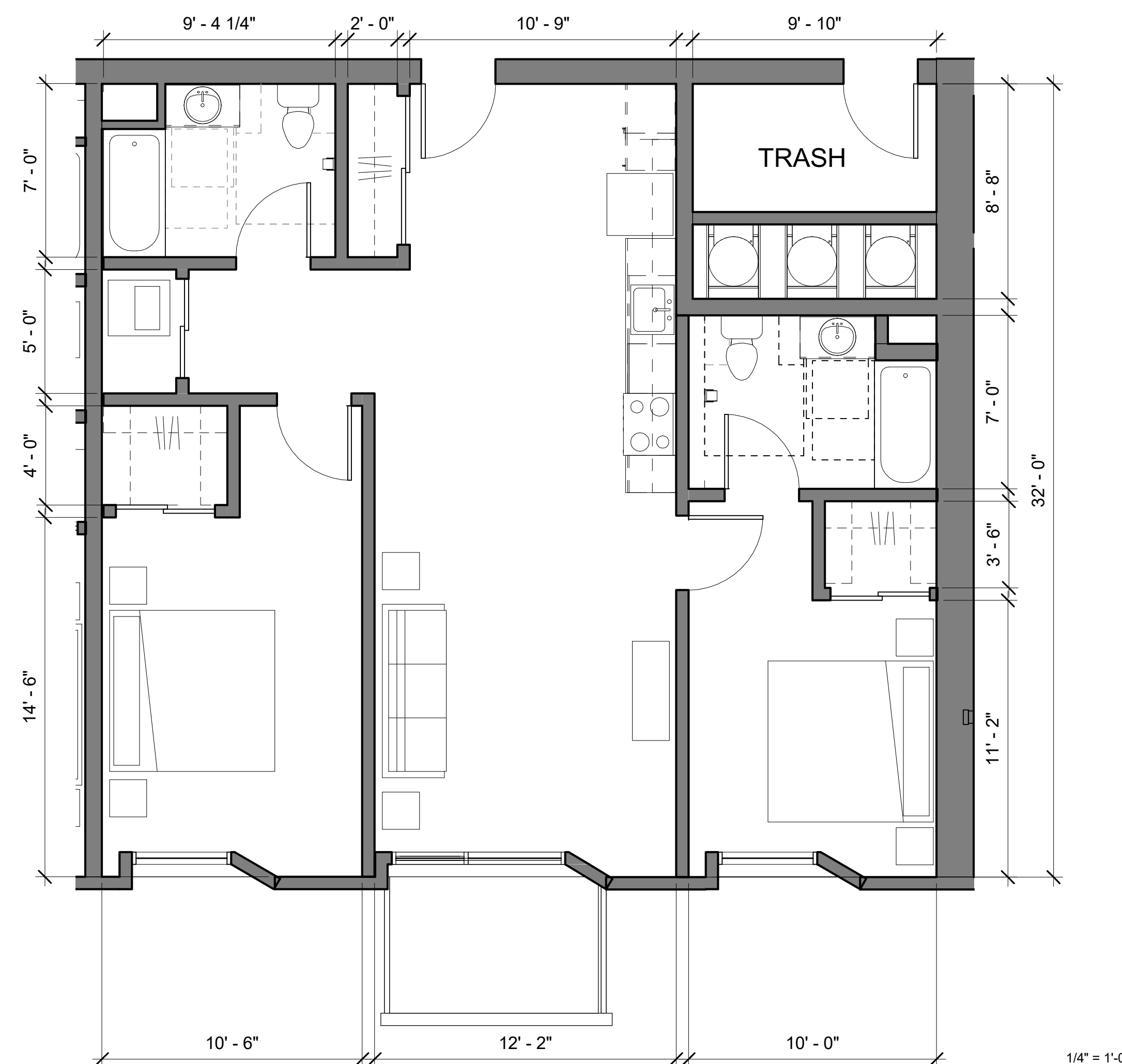
2BR - HIGH RISE TYPE 3

7



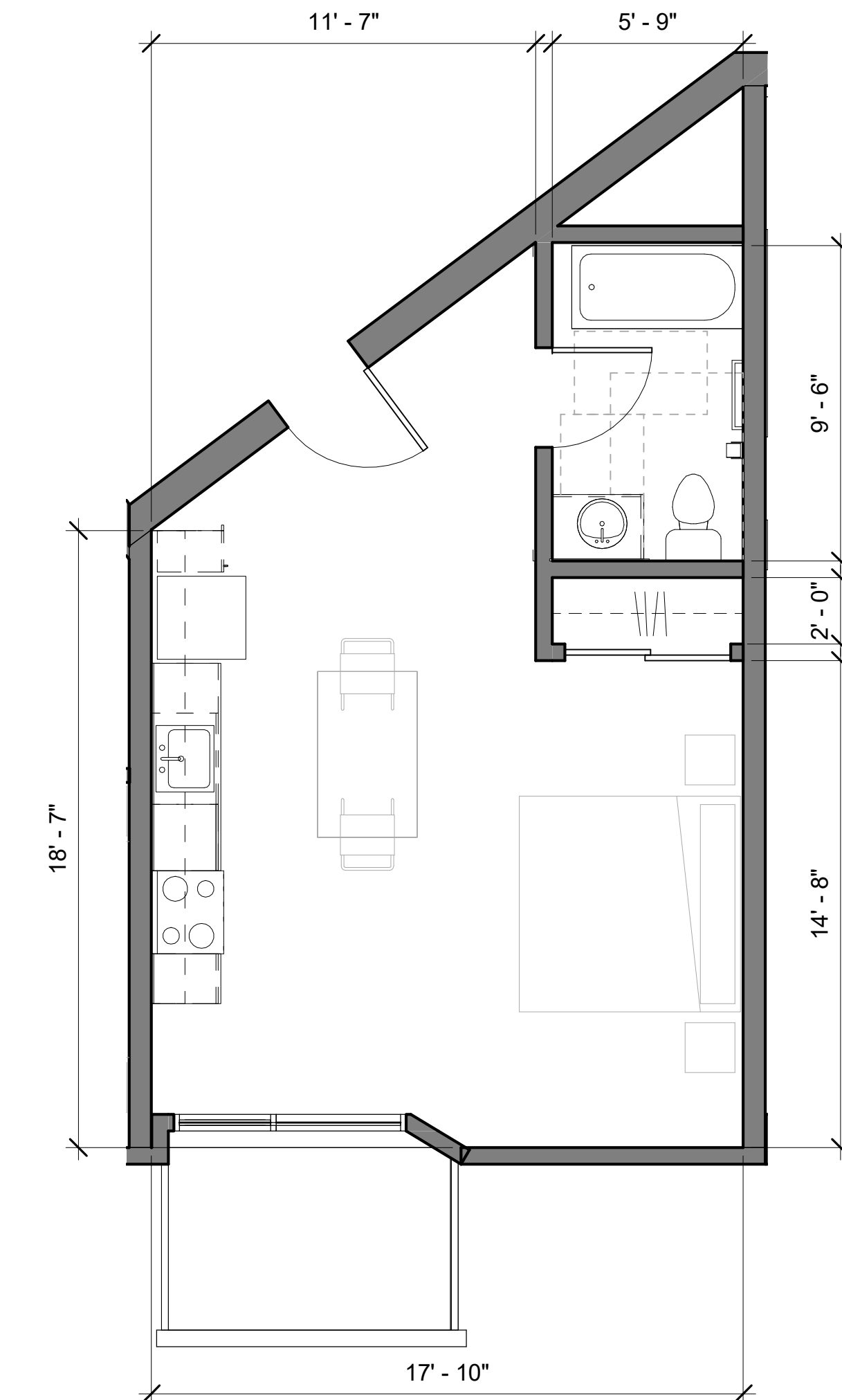
1 BR - TYPICAL HIGH RISE

3



2BR - HIGH RISE TYPE 1

5



STUDIO - TYPICAL HIGH RISE

1

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date
1	Response to Comments	11-20-2020

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Application -
September 2019

Drawing Title
TYPICAL UNIT
PLANS -
BUILDING C

Sheet No.
A403

Date 01-08-2021
Project No. 21620

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1	Response to Comments	11-20-2020

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Application -
September 2019

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UNIT
PRECEDENTS

Sheet No.

A404

Date 01-08-2021
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1 & 2 BR UNITS



STUDIO UNITS

Woodland Park Euclid Improvements



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1	Response to Comments	11-20-2020

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Application -
September 2019

Drawing Title

OPEN SPACE
DIAGRAMS

Sheet No.

A500

Date 01-08-2021
Project No. 21620

EAST PALO ALTO DEVELOPMENT CODE 18.08.010:

Common Open Space. The land area within a residential or nonresidential development not individually owned or dedicated for public use and designed, intended, and reserved exclusively for the shared enjoyment or use by all the residents and their guests. Does not include enclosed spaces/facilities (e.g., community center, meeting rooms, etc.)

Private Open Space. An outdoor or unenclosed area directly adjoining and accessible to a dwelling unit, reserved for the exclusive private enjoyment and use of residents of the dwelling unit and their guests (e.g., balcony, deck, porch, terrace, etc.). Boundaries are evident through the use of fences, gates, hedges, walls, or other similar methods of controlling access and maintaining privacy.

Publicly Accessible / Usable Open Space. An outdoor or unenclosed area within a residential development on the ground, or on a roof, balcony, deck, porch or terrace, designed and accessible for outdoor living, active or passive recreation, pedestrian access, or landscaping. Parking facilities, driveways, utility or service areas and submerged land do not constitute usable open space.

OPEN SPACE - PROVIDED

WEST PARCEL

COMMON:

Level 1	OPEN SPACE - COMMON	13,402 SF	13,402 SF
---------	---------------------	-----------	-----------

PRIVATE:

(BALCONIES)

Level 3	OPEN SPACE - PRIVATE	15	720 SF
Level 4	OPEN SPACE - PRIVATE	15	720 SF
Level 5	OPEN SPACE - PRIVATE	15	720 SF
		45	2,160 SF

EAST PARCEL

COMMON:

Level 1	OPEN SPACE - COMMON	12,851 SF	12,851 SF
Level 3	OPEN SPACE - COMMON	2,669 SF	2,669 SF
		260	11,647 SF

PRIVATE:

(BALCONIES)

Level 3	OPEN SPACE - PRIVATE	38	1,711 SF
Level 4	OPEN SPACE - PRIVATE	28	1,280 SF
Level 5	OPEN SPACE - PRIVATE	36	1,569 SF
Level 6	OPEN SPACE - PRIVATE	37	1,727 SF
Level 7	OPEN SPACE - PRIVATE	35	1,540 SF
Level 8	OPEN SPACE - PRIVATE	37	1,733 SF
Level 9	OPEN SPACE - PRIVATE	36	1,570 SF
Level 11	OPEN SPACE - PRIVATE	12	475 SF
Level 13	OPEN SPACE - PRIVATE	1	43 SF
		260	11,647 SF

USABLE / PUBLIC:

Level 1	OPEN SPACE - PUBLIC	27,666 SF	27,666 SF
---------	---------------------	-----------	-----------

HATCHED REGION INDICATES "FLEX" MULTIPURPOSE SPACE

PROJECT TOTAL:

TOTAL OPEN SPACE PROVIDED: 15,562 sf + 54,833 sf = **70,395 SF TOTAL**
 - 9,355 SF OF WHICH IS PARK SPACE (COMMUNITY BENEFIT)
 = **61,040 SF TOTAL OPEN SPACE**
 (100 SF PER UNIT)



1 LEVEL 1 PLAN - OPEN SPACE DIAGRAM
1" = 40'-0"



2 LEVEL 3 PLAN - OPEN SPACE DIGRAM
1" = 30'-0"



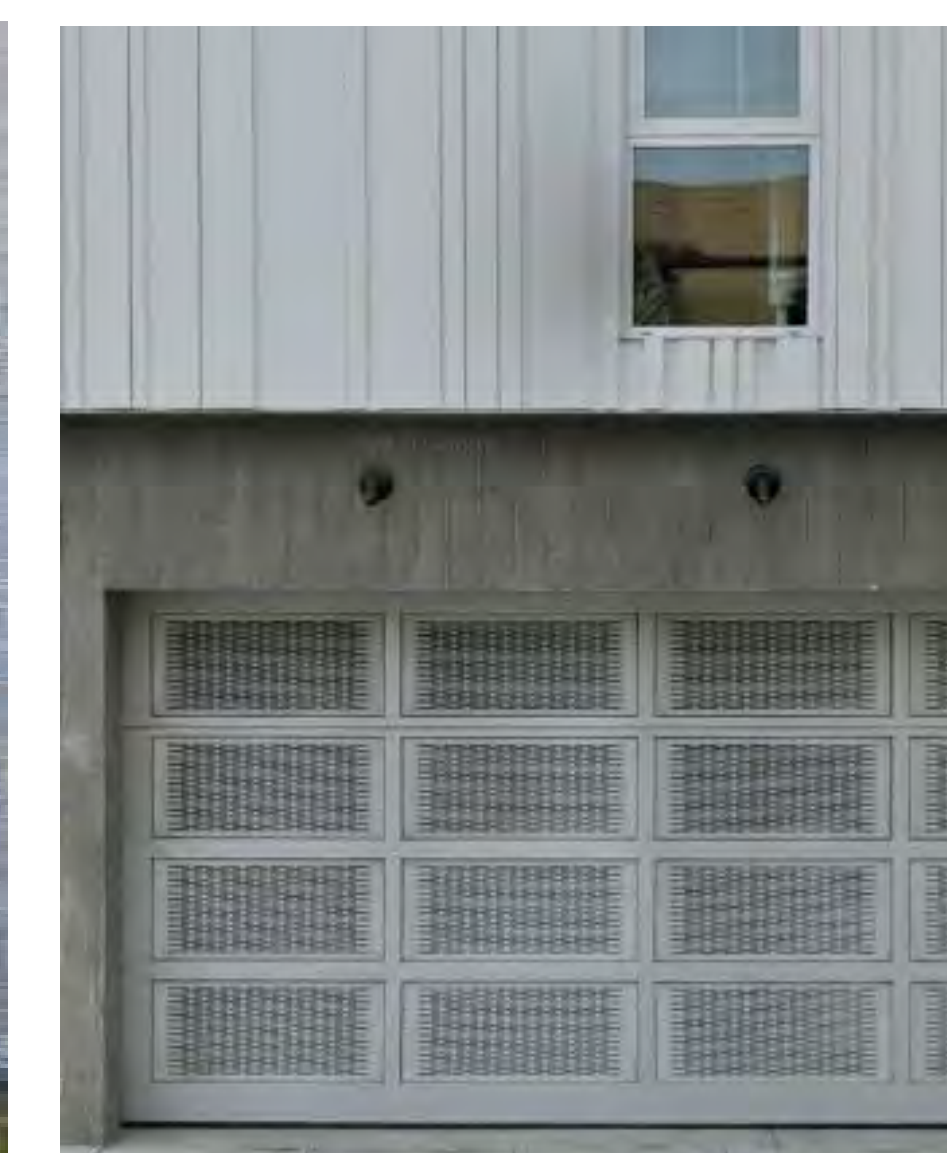
COMMUNITY SPACES/NEIGHBORHOOD SERVING RETAIL



UNIT ENTRIES



GARAGE ENTRY



LOBBY



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Issuances	
Description	Date
Entitlements Submission	09/25/2019

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Rev.	Description	Date
1	Response to Comments	11-20-2020

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**Application -
September 2019**

Drawing Title
**GROUND FLOOR
CHARACTER**

Sheet No.
A501

Date 01-08-2021
Project No. 21620

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510.365.0999
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LEGEND:

PAVING		
KEY	SYMBOL	DESCRIPTION / LOCATION
P1		DECOMPOSED GRANITE
P2		GRAVEL
P3		CIP CONCRETE
P4		ASPHALT BLOCK PAVER
P5		CIP COLORED CONCRETE
P6		STONE PAVERS
P7		ECO GRID PAVERS AT PARKING
FURNISHINGS		
KEY	SYMBOL	DESCRIPTION / LOCATION
F1		WOOD BENCH
F2		PICNIC TABLE
F3		BBQ GRILL
F4		CUSTOM PLAY AND SEATING STRUCTURE
F5		CURVED CONCRETE BENCH
F6		GARDEN BED
F7		BIKE RACK / BOLLARD

PLANT LIST		
TREES		
KEY	SYMBOL	COMMON NAME
		PROTECTED TREE
FRAM		WHITE ASH
ARMA		MARINA STRAWBERRY TREE
QUDO		BLUE OAK
PIXR		RED PUSH PISTACHE
QUKI		KINDRED SPIRIT OAK
PAPE		IRONWOOD

PA PLANTING AREA

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions	
Rev.	Description / Date
1	Response to Comments 10/05/2020

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Application -
September 2019

Drawing Title

Landscape
Site Plan

Sheet No.

L-1.0

Date	25 September, 2019
Project No.	21620



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Description	Date
Entitlements Submission	09/25/2019

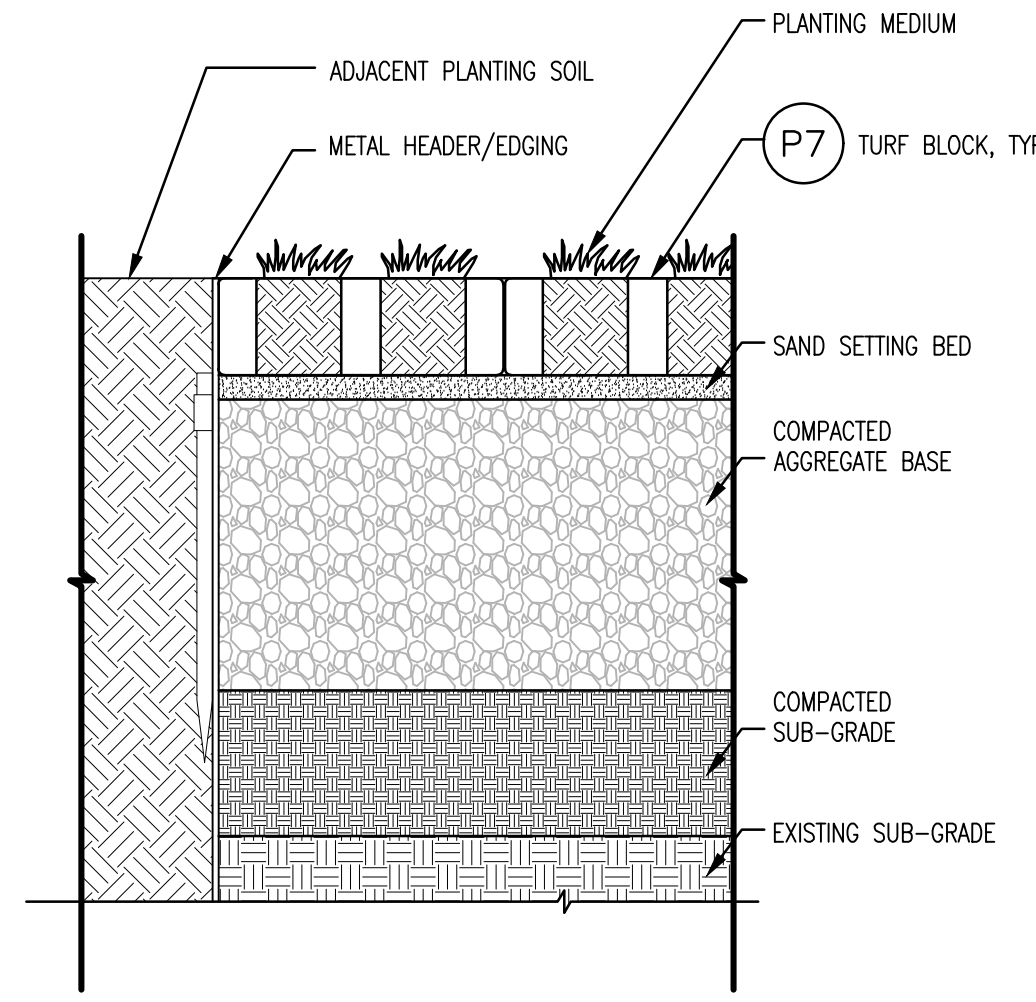
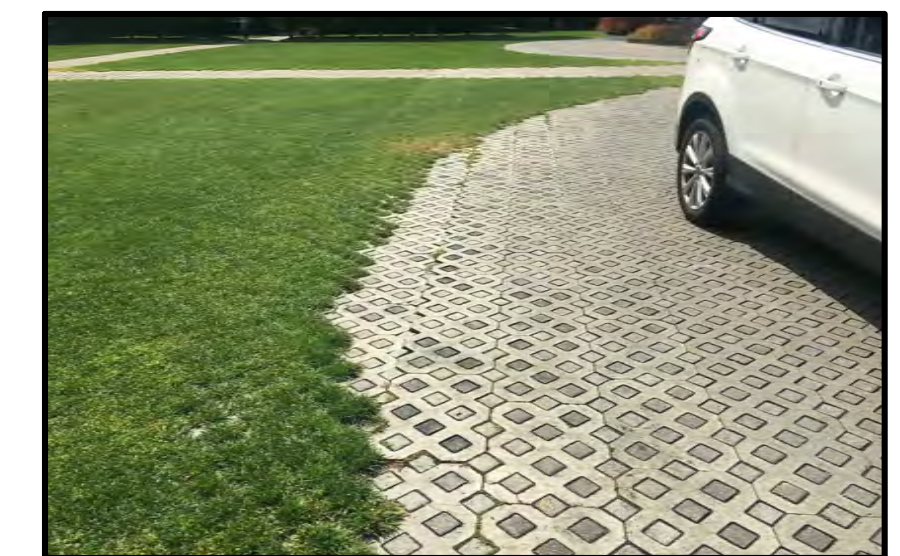
Revisions	
Rev.	Date
1	10/05/2020

Set Title
Application -
September 2019

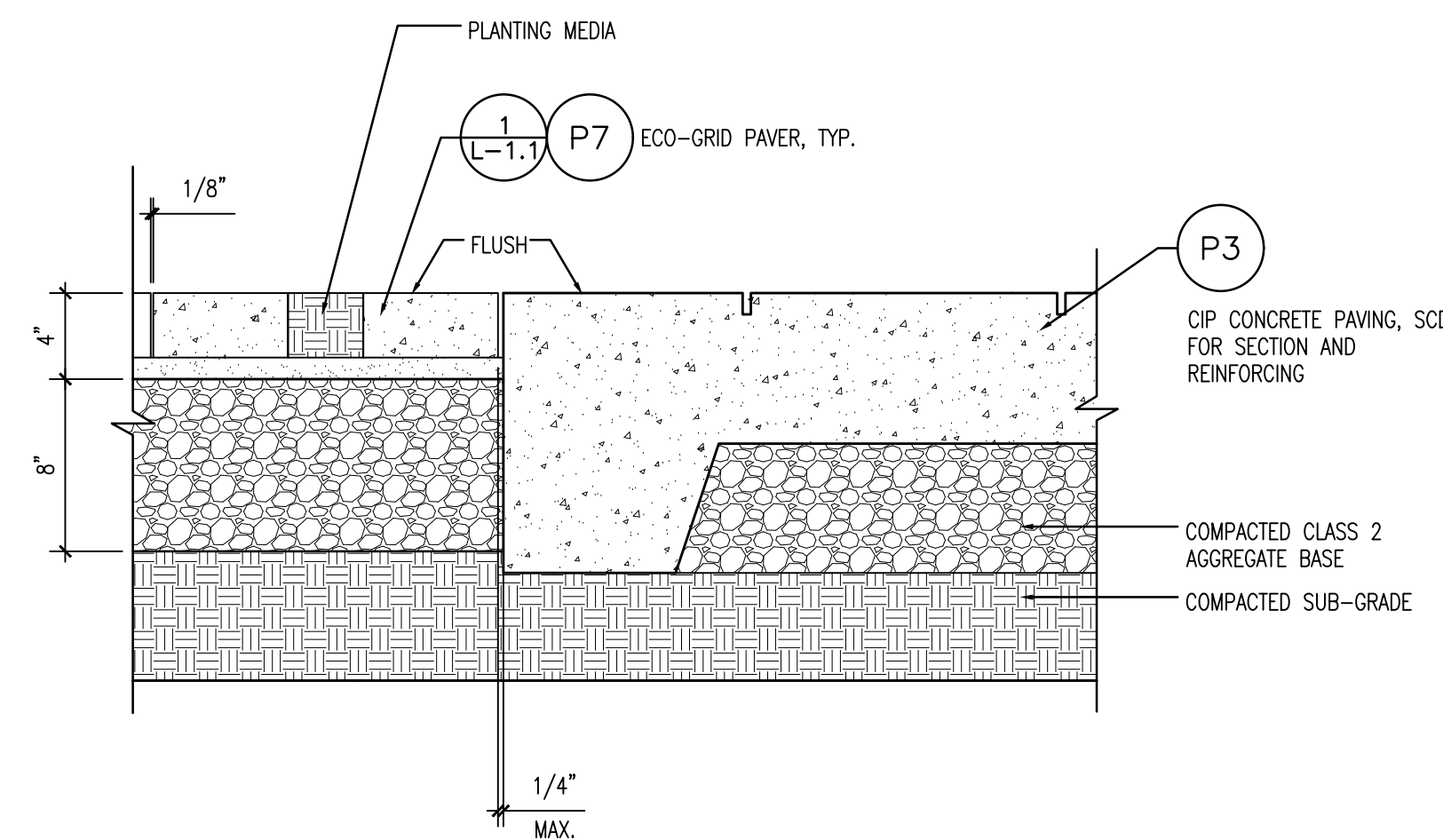
Drawing Title
Landscape
Details

Sheet No.
L-1.1

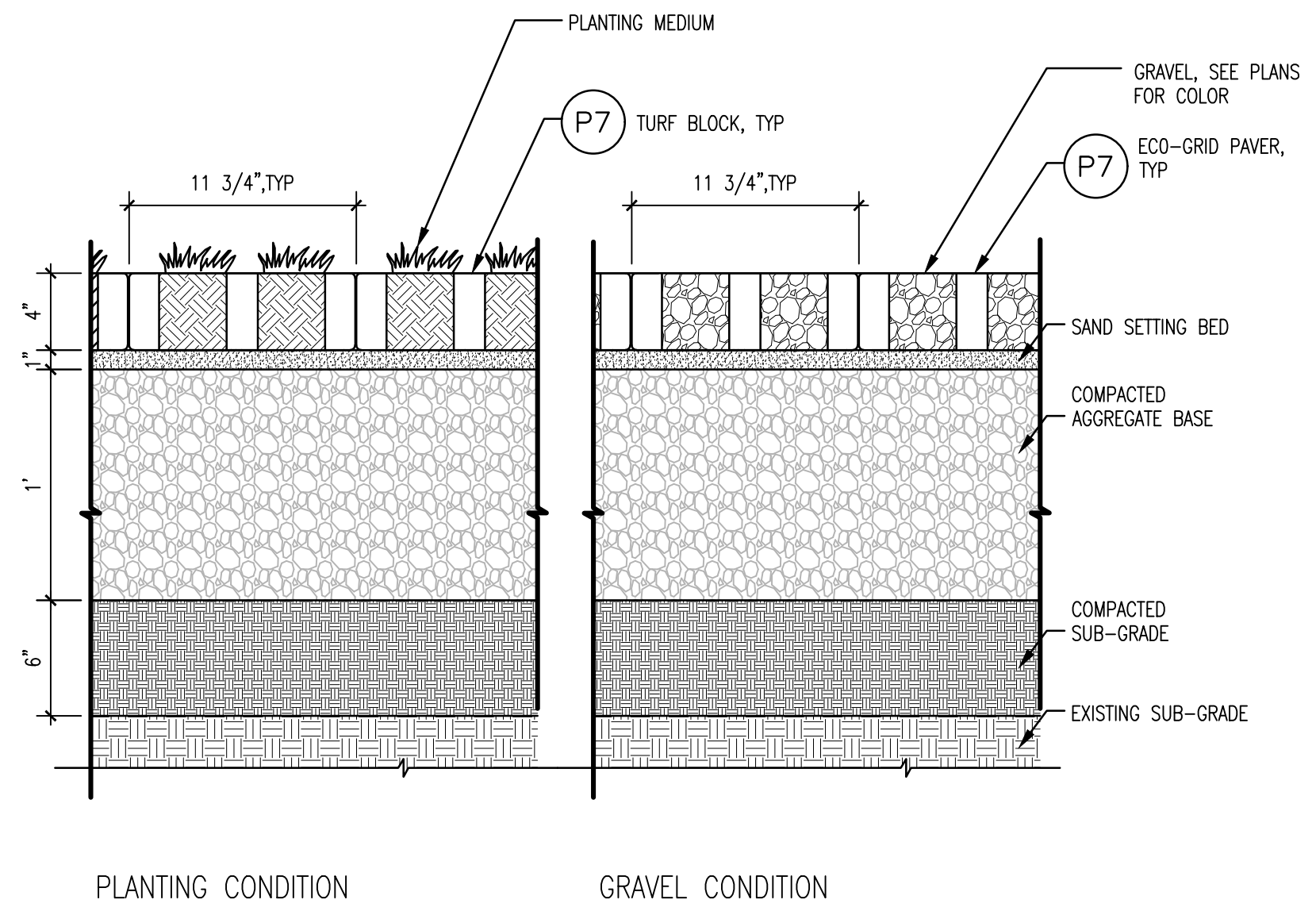
Date 25 September, 2019
Project No. 21620



5 P7 - ECO-GRID PAVER AT PLANTING
SCALE: 1-1/2" = 1' - 0"

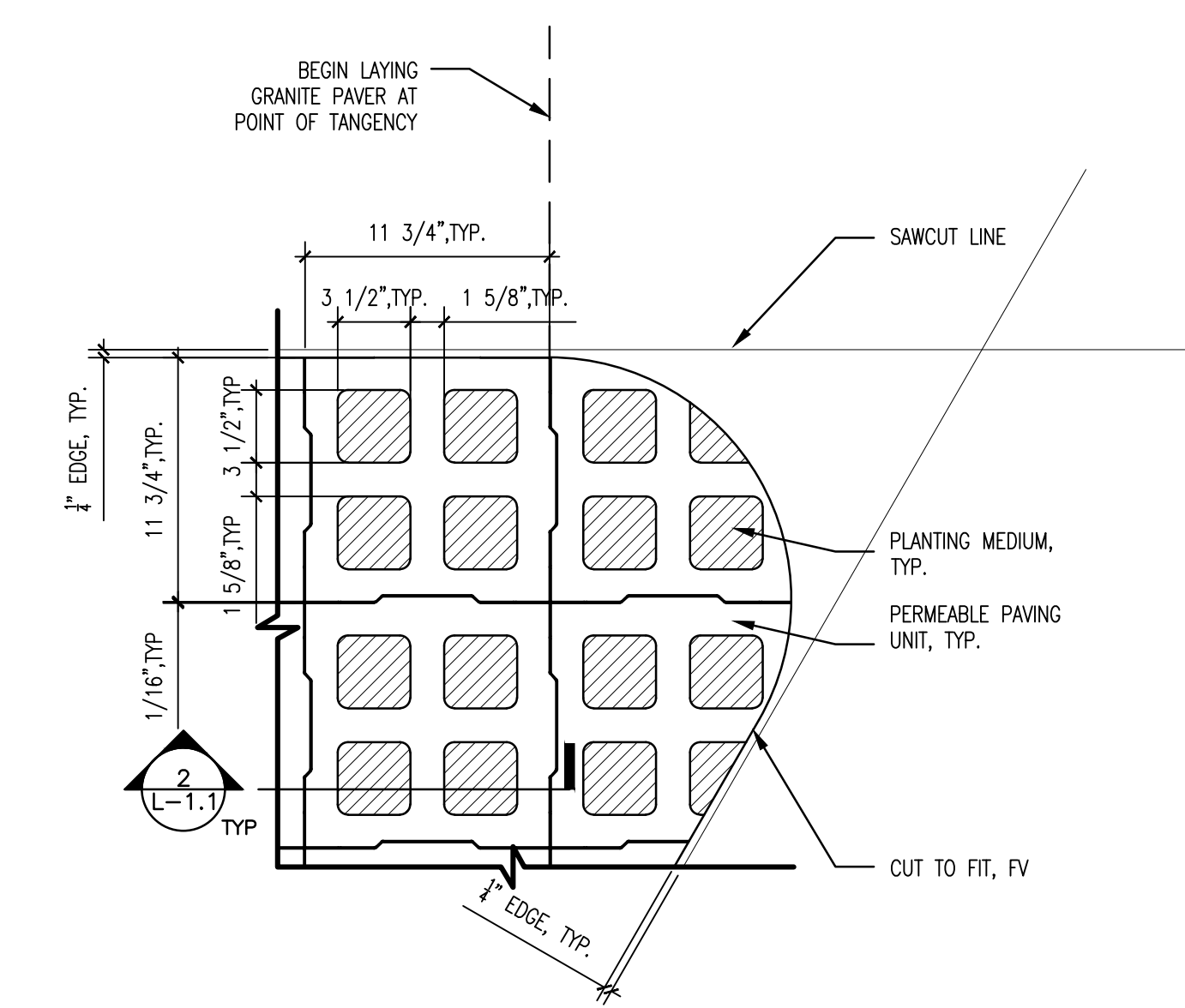


4 P7 - ECO-GRID PAVER AT CONCRETE PAVING
SCALE: 1-1/2" = 1' - 0"



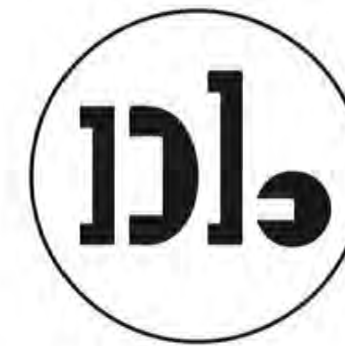
3 P7 - ECO-GRID PAVER, TYPICAL
SCALE: 1-1/2" = 1' - 0"

2 P7 - ECO-GRID PAVER (REFERENCES)
SCALE: N/A



1 P7 - ECO-GRID PAVERS FOR FLEX PARKING AREA
SCALE: 1-1/2" = 1' - 0"

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LEGEND:

- #000 PROTECTED TREE TO BE PRESERVED
- #000 PROTECTED TREE TO BE REMOVED
- NEW REPLACEMENT TREE
- TREE QUANTITY IN AREA
TREE SPECIES KEY, REFER TO
PLANT LIST FOR TREE SPECIES

NOTES:

1. FOR LANDSCAPE MATERIALS, REFER TO SITE PLAN.
2. FOR FULL PLANT LIST, REFER TO LANDSCAPE SCHEDULES.
3. FOR TREE PRESERVATION LIST, REFER TO TREE PROTECTION AND REMOVALS LIST.



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1	Response to Comments

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Application -
September 2019

Drawing Title

Tree Protection
& Removal Plan

Sheet No.

T-1.1

Date 25 September, 2019
Project No. 21620



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Issuances

Description	Date
Entitlements Submission	09/25/2019

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Rev.	Description	Date
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Application -
September 2019

Drawing Title

EXISTING
CONDITIONS AND
DEMOLITION PLAN

Sheet No.

C1.0

Date 2020-11-17
Project No. 20166089-20

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- EASEMENT
- W --- (E)WATER LINE
- SS --- (E)SANITARY SEWER LINE
- SD --- (E)STORM DRAIN LINE
- (E)CATCH BASIN
- (E)FIRE HYDRANT
- (E)MANHOLE

ABBREVIATIONS:

- (B) BOUNDARY
- (E) EXISTING
- (T) TOTAL
- TYP TYPICAL
- CB CATCH BASIN
- FH, HYD FIRE HYDRANT
- MH MANHOLE
- MISC MISCELLANEOUS
- W WATER
- SS SANITARY SEWER

BASIS OF BEARING:

THE BEARING NORTH 88°27'00" EAST OF THE NORTHERLY LINE OF WEEKS STREET AS SAID BEARING IS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON SEPTEMBER 6, 1995 IN BOOK 16 OF L.L.S. MAPS AT PAGE 25, RECORDS OF SAN MATEO COUNTY, WAS HELD AS THE BASIS OF BEARINGS OF THIS SURVEY.

BENCHMARK:

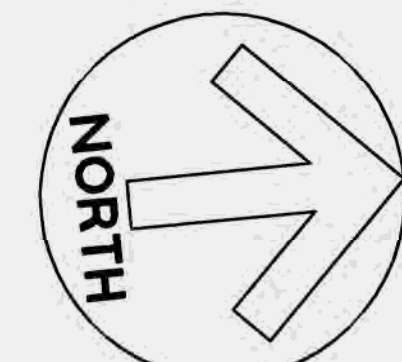
CITY OF EAST PALO ALTO BENCHMARK: BM-5

DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN LANDSCAPING AT SOUTH EDGE OF NEWBRIDGE STREET SIDEWALK NEAR INTERSECTION WITH BAY ROAD AND 100' WESTERLY OF BUS STOP.

ELEVATION = 16.81 FEET, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

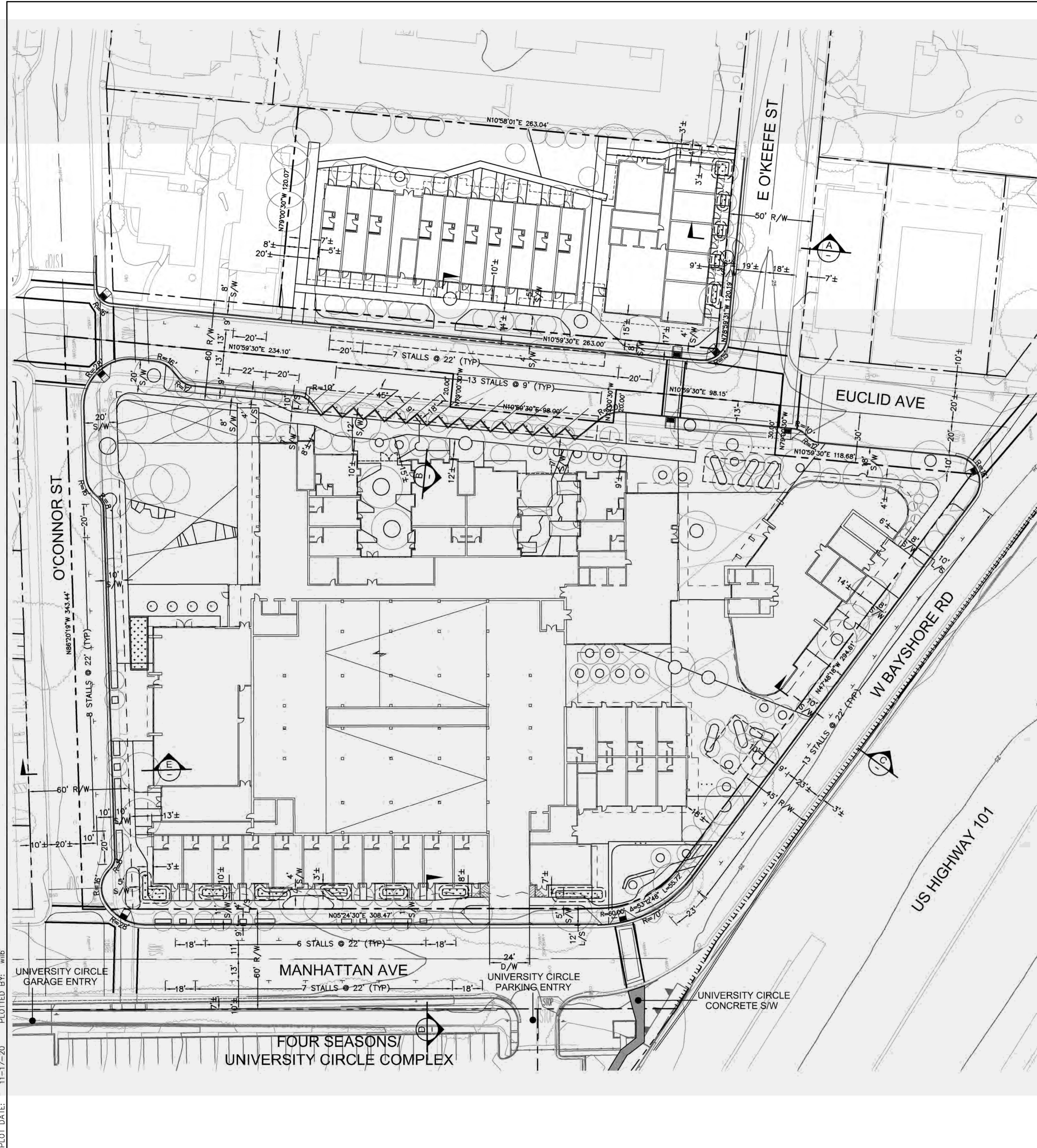
NOTES:

- EXISTING CONDITIONS OBTAINED FROM AERIAL SURVEY DATED 11/09/2016.
- FEMA FLOOD HAZARD INFORMATION: FLOOD ZONE X, AREAS OF MINIMAL FLOOD HAZARD, PER MAP NUMBER 06081C0309F, PANEL 309 OF 510, DATED APRIL 5, 2019.
- PROPERTY LINES ARE SHOWN FOR REFERENCE AND ARE NOT RESOLVED.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
- SEE LANDSCAPING TREE DISPOSITION PLAN FOR ALL EXISTING TREES TO BE REMOVED OR TO REMAIN.



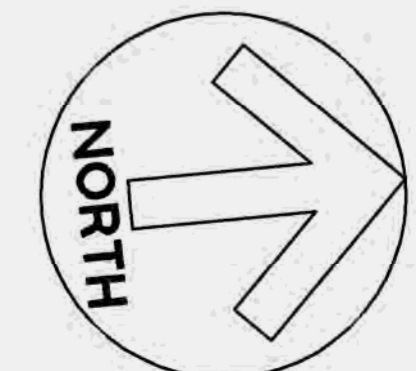
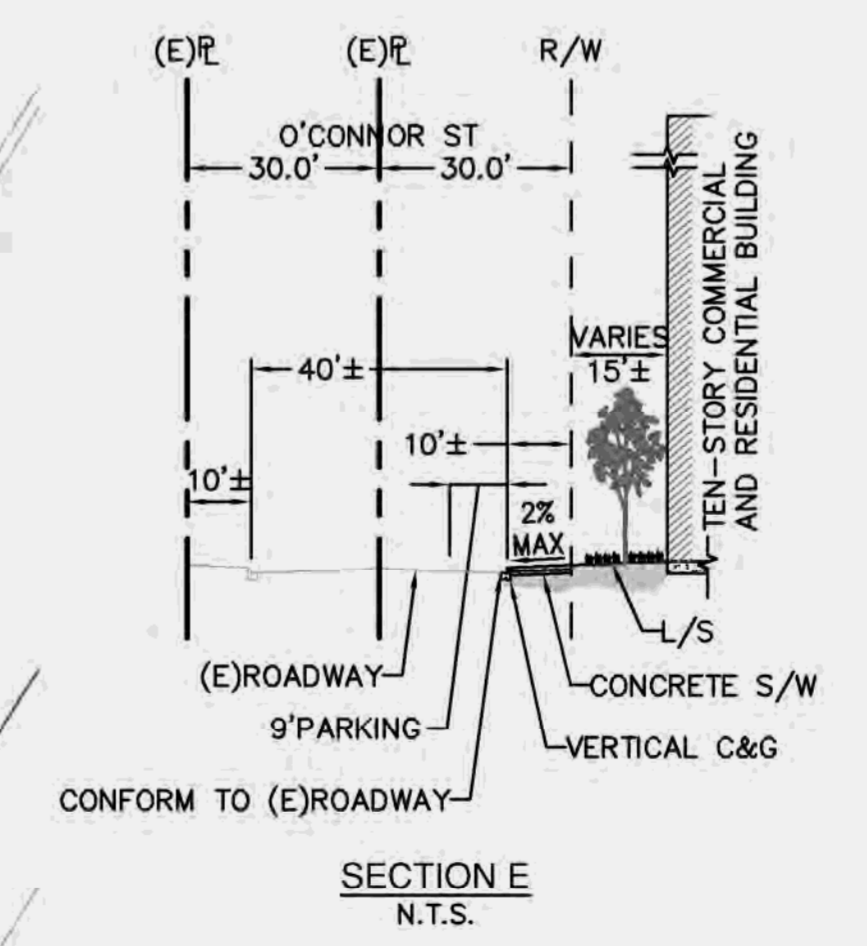
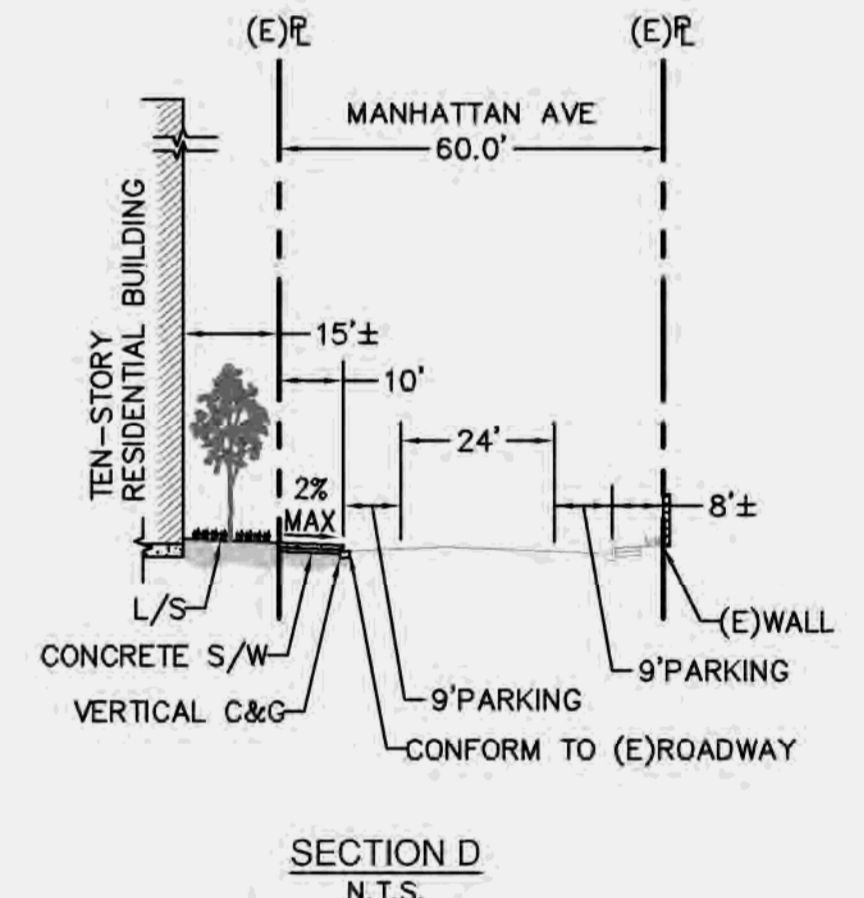
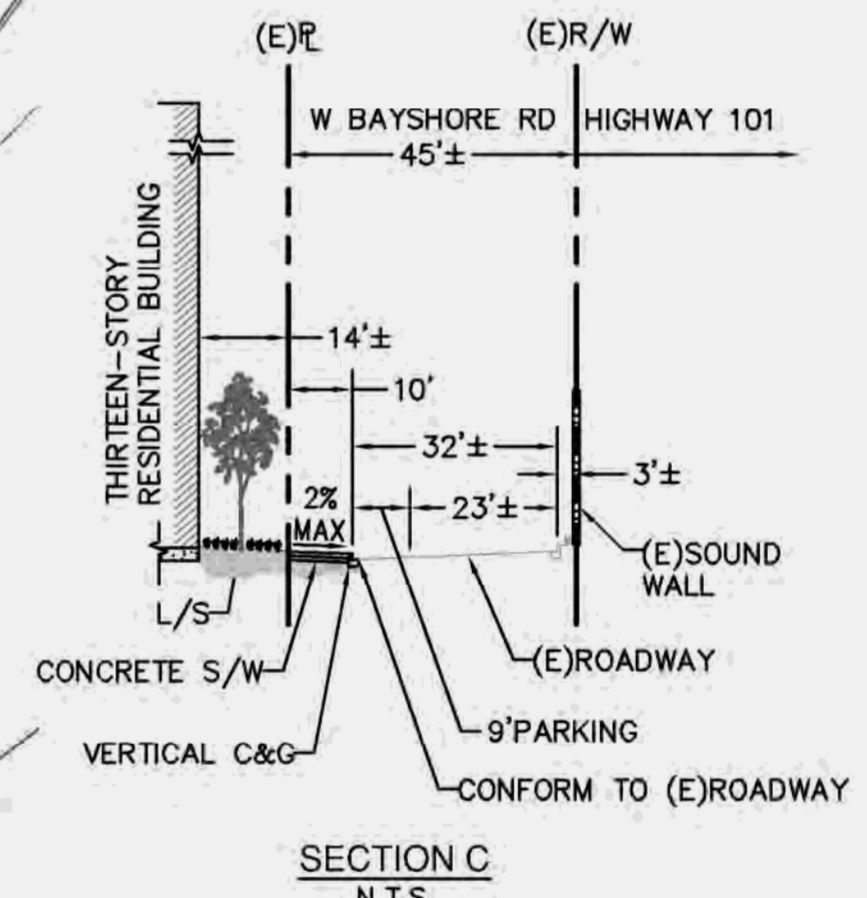
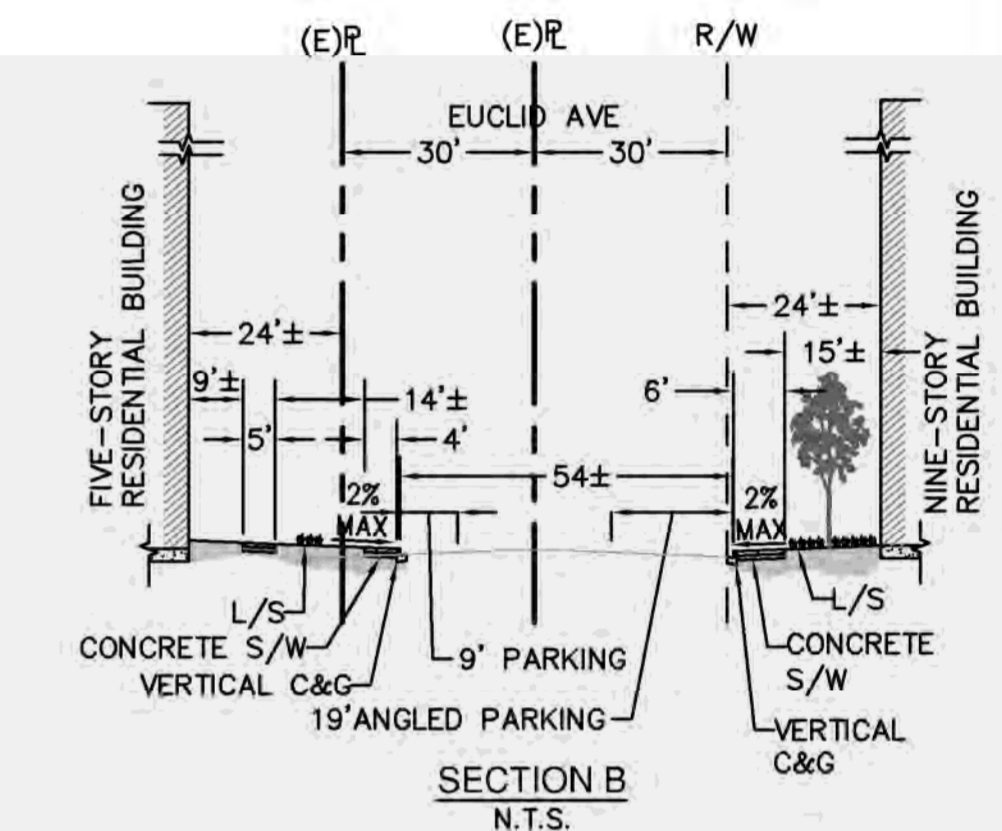
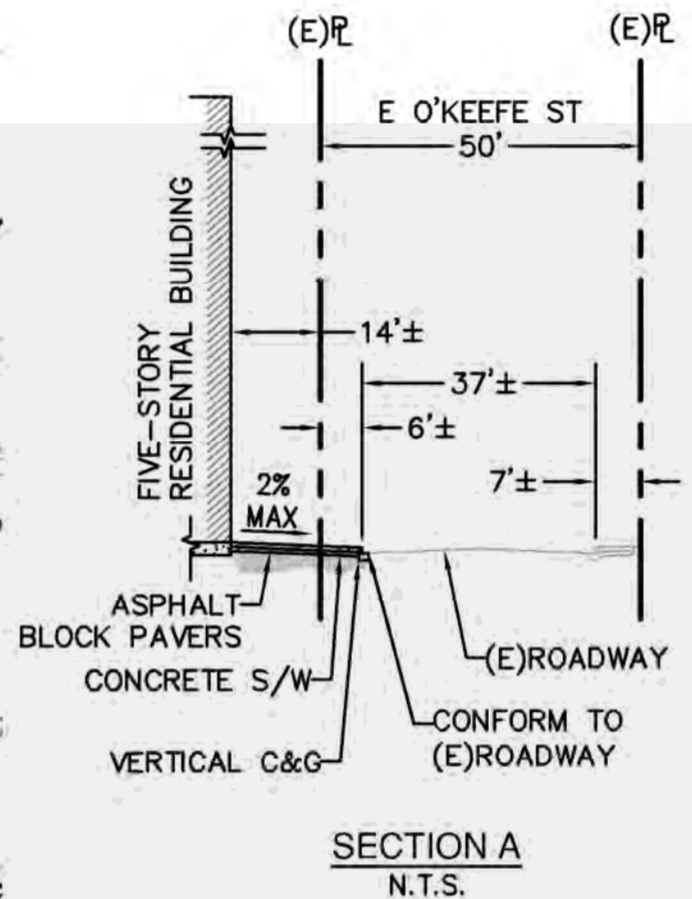
DRAWING NAME: \\BKF-SI\vol4\2016\166089_Woodland_Park_ENG\EUCLID\PLANNING\SHEETS\C1-EI-EXCON.dwg
PLOT DATE: 11-17-20 PLOTTED BY: wilb

DRAWING NAME: \\BKF-SI\vol4\2016\16089-Woodland_Park\ENG\EUCID\PLANNING\SHEETS\C2-EI-SITE.dwg
 PLOT DATE: 11-17-20 PLOTTED BY: wilb



- ABBREVIATIONS:**
- C&G CURB AND GUTTER
 - D/W DRIVEWAY
 - E EAST
 - (E) EXISTING
 - L/S LANDSCAPING
 - NTS NOT TO SCALE
 - PL PROPERTY LINE
 - R/W RIGHT OF WAY
 - SLP SEE LANDSCAPE PLANS
 - S/W SIDEWALK
 - W WEST

- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - - - EASEMENT
 - ▭ CONCRETE (SLP)
 - ▨ PAVERS (SLP)
 - ▩ BIORETENTION
 - ▧ GRAVEL (SLP)



Woodland Park

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Entitlements Submission	09/25/2019

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Rev.	Description	Date

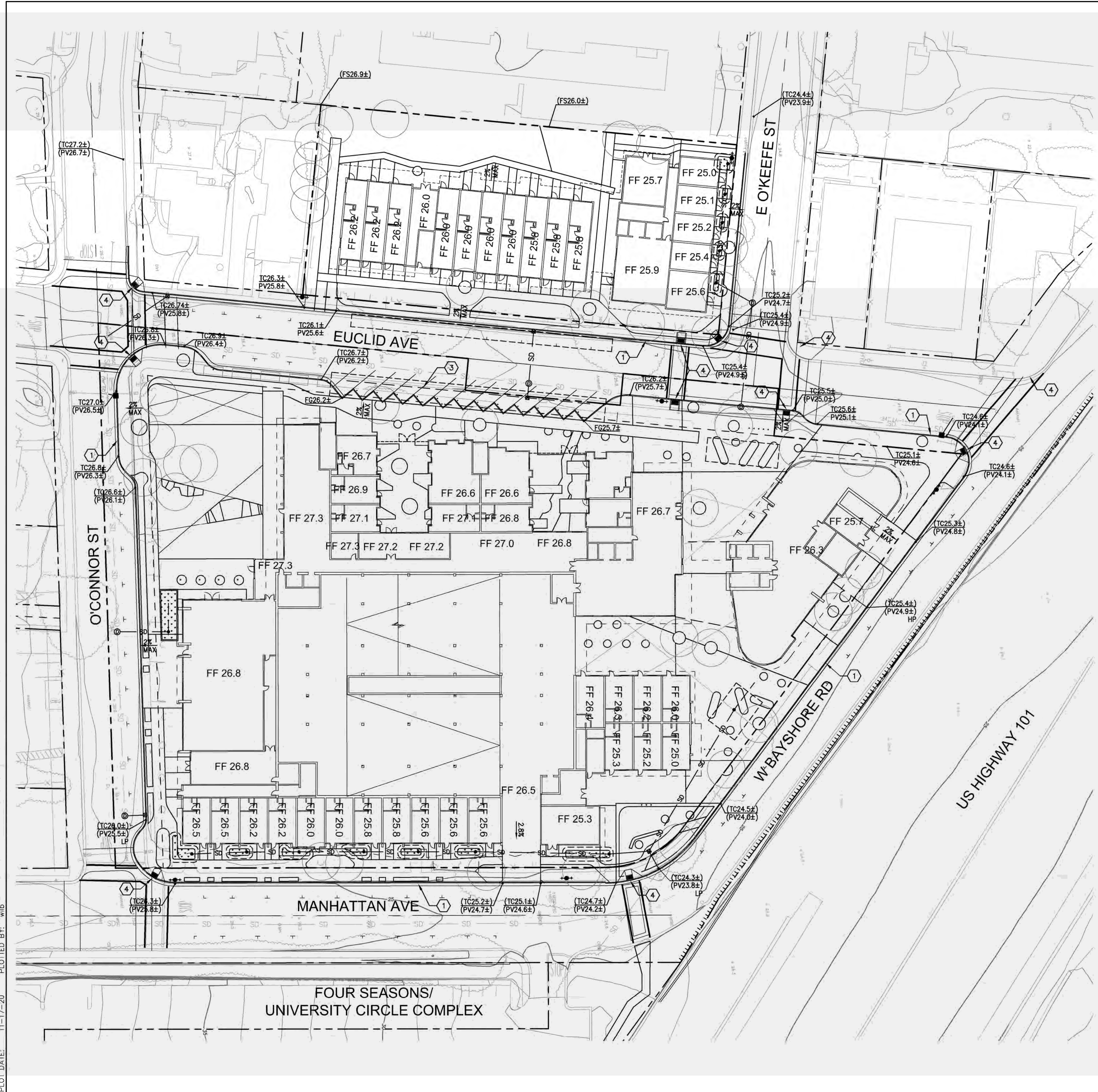
Set Title
**Application -
 September 2019**

Drawing Title
**PRELIMINARY SITE
 PLAN**

Sheet No.
C2.0

Date: 2020-11-17
 Project No.: 20166089-20

DRAWING NAME: \\bks-s\166089_woodland\eng\euclid\planning\sheets\C3-1-GRAD.dwg
 PLOT DATE: 11-17-20
 PLOTTED BY: wilb

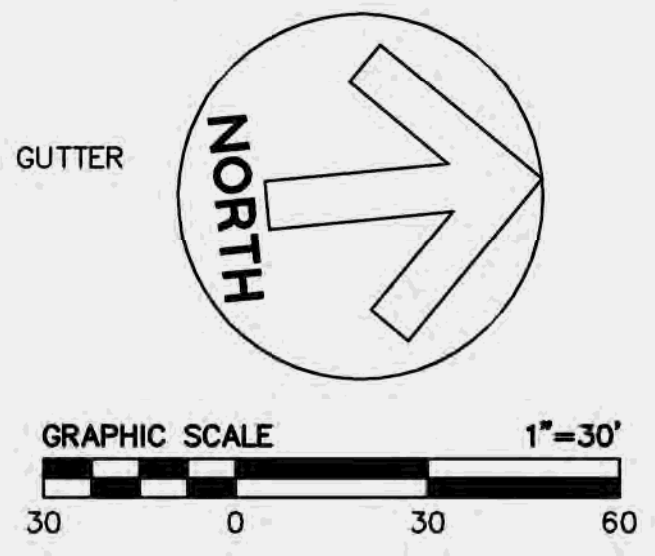


- LEGEND:**
- GRADE BREAK
 - X% SLOPE
 - PV26.5 SPOT ELEVATION
 - (PV26.0±) SPOT ELEVATION, CONFORM TO EXISTING
 - SD SD JUNCTION BOX
 - SD OVERFLOW DRAIN
 - BIORETENTION AREA
 - PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT

- ABBREVIATIONS:**
- ADA AMERICANS WITH DISABILITIES ACT
 - BLDG BUILDING
 - BW BACK OF SIDEWALK
 - EX EXISTING
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FL FLOWLINE
 - FS FINISHED SURFACE
 - HP HIGH POINT
 - LP LOW POINT
 - MA MATCH
 - MAX MAXIMUM
 - MIN MINIMUM
 - PV PAVEMENT
 - TC TOP OF CURB

- GRADING NOTES:**
- UNLESS OTHERWISE NOTED, ALL EXTERIOR DOORWAYS AND ACCESSIBLE PATHS OF TRAVEL SHALL BE ADA COMPLIANT.
 - SLOPES ALONG ACCESSIBLE PATHS OF TRAVEL SHALL NOT EXCEED A RUNNING SLOPE OF 1:20 OR A CROSS SLOPE OF 1:48. ACCESSIBLE WALKS AND SIDEWALKS SHALL BE 48" WIDE, MINIMUM. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.
 - CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO PERFORM CORRECTIVE GRADING AT NO EXTRA COST TO THE OWNER.
 - IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
 - LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 8" BELOW WOOD FRAMING AND SHEATHING THAT IS NOT NATURALLY DURABLE OR PRESERVATIVE-TREATED.
 - LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 5% FOR THE FIRST 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALE USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.
 - IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
 - UNDERGROUND SERVICE ALERT (USA) SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
 - ANY LAND DISTURBING ACTIVITIES OCCURRING BETWEEN OCTOBER 1ST AND APRIL 30TH ARE RESTRICTED BY THE CITY. A DETAILED EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED FOR ACTIVITIES OCCURRING DURING THIS PERIOD AND APPROVAL IN WRITING BY THE CITY ENGINEER.
 - GRADING ACTIVITIES AND ASSOCIATED NOISE SHALL BE LIMITED TO WEEK DAYS BETWEEN THE HOURS OF 8AM TO 5PM. NO GRADING ACTIVITIES ARE TO OCCUR ON SATURDAYS AND SUNDAYS, WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
 - ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
 - PER THE GEOTECHNICAL FEASIBILITY STUDY PREPARED BY GEOSPHERE CONSULTANTS, INC, DATED DECEMBER 27, 2017: THE HISTORICAL HIGH GROUNDWATER DEPTH IS ESTIMATED TO BE ON THE ORDER OF 13 FEET AT THE PROJECT SITE. DURING SITE INVESTIGATIONS, GROUNDWATER WAS ENCOUNTERED AT DEPTHS OF 15 TO 16 FEET BELOW EXISTING SURFACE (APPROXIMATE ELEVATION OF 7-10 FEET).

- KEY NOTES:**
- ① NEW VERTICAL CURB AND GUTTER
 - ② NEW VERTICAL CURB
 - ③ NEW VALLEY GUTTER
 - ④ NEW CURB RAMP



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Revisions

Rev.	Description	Date
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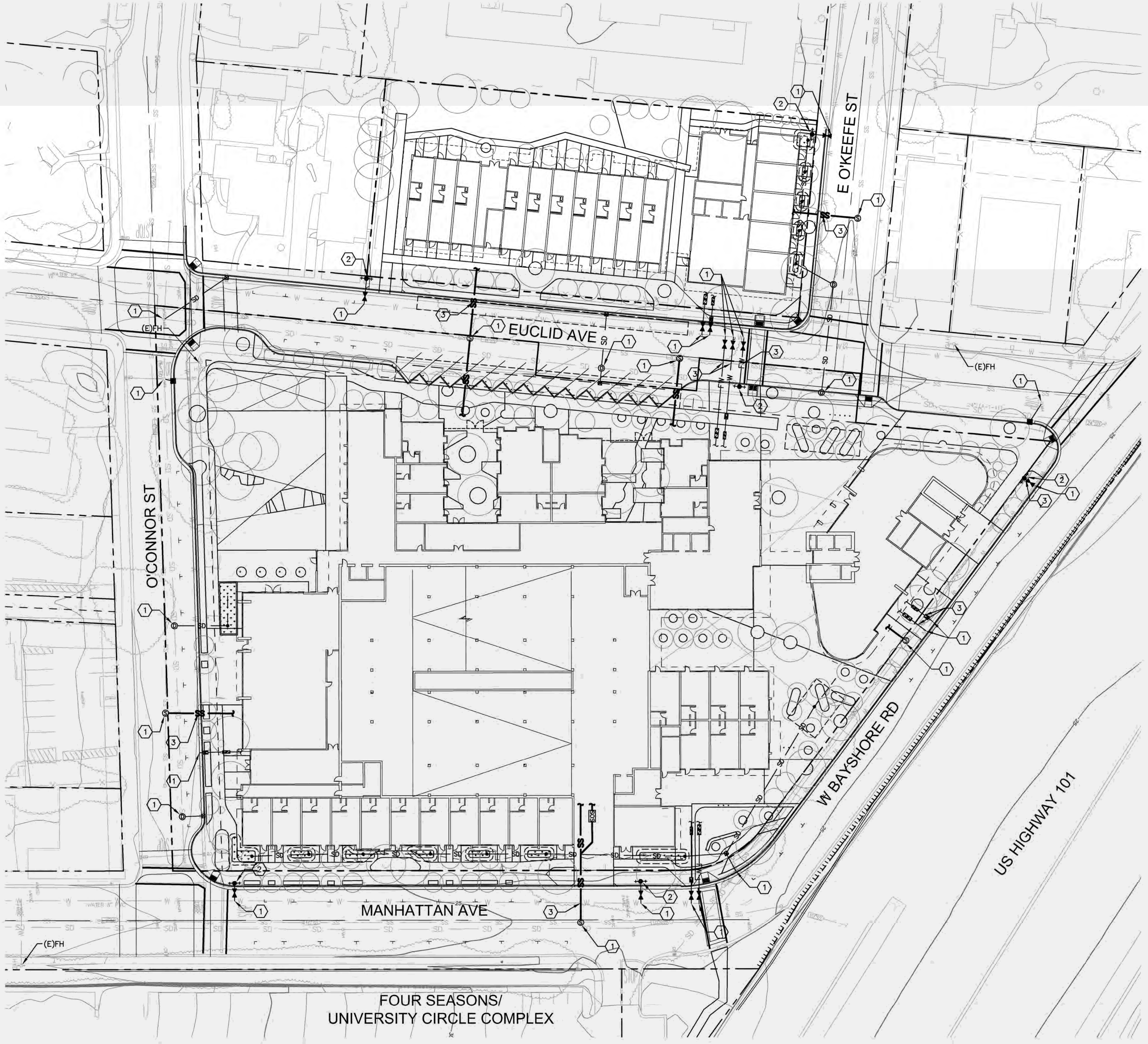
Set Title
**Application -
 September 2019**

Drawing Title
**PRELIMINARY
 GRADING AND
 DRAINAGE PLAN**

Sheet No.
C3.0

Date 2020-11-17
 Project No. 20166089-20

DRAWING NAME: \\BKF-SI\vol4\2016\160689_Woodland_Park\ENG\EUCLID\PLANNING\SHEETS\C4-E-UTIL.dwg
 PLOT DATE: 11-17-20 PLOTTED BY: wlb

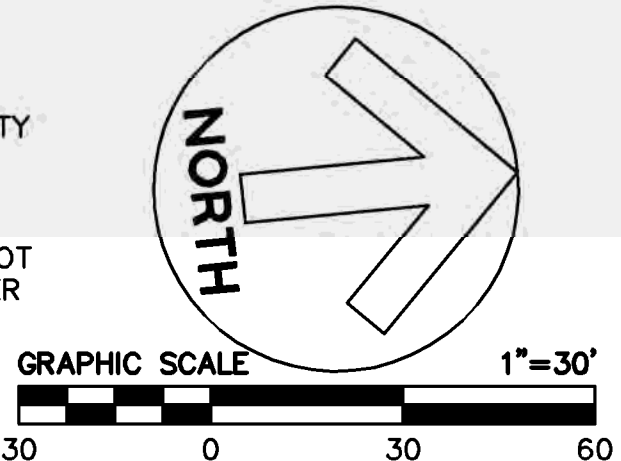


- LEGEND:**
- SS — SANITARY SEWER LINE
 - ⊙ SANITARY SEWER MANHOLE
 - SD — STORM DRAIN LINE
 - - - SD PERFORATED PIPE
 - SD CATCH BASIN
 - SD JUNCTION BOX
 - SD OVERFLOW DRAIN
 - ⊙ STORM DRAIN MANHOLE
 - W — DOMESTIC WATER LINE
 - FW — FIRE WATER LINE, SEE NOTE 6
 - ⊠ BACKFLOW PREVENTER
 - ⊞ WATER METER
 - ⊕ WATER VALVE
 - ⊕+ FIRE HYDRANT
 - ▨ BIORETENTION AREA

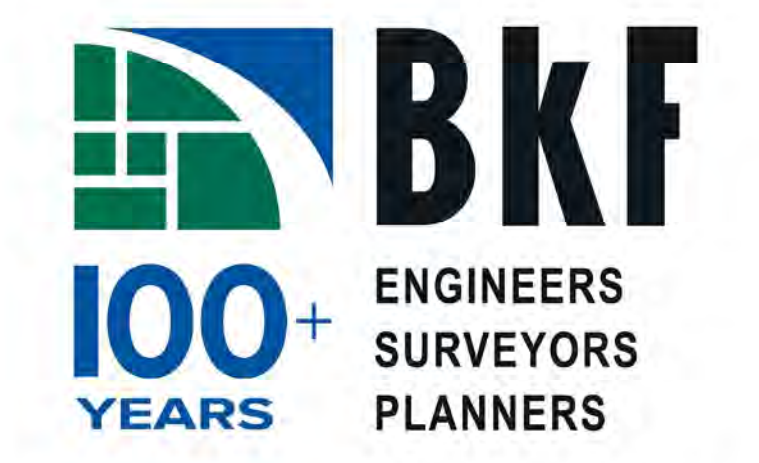
- ABBREVIATIONS:**
- BFP BACKFLOW PREVENTOR
 - CB CATCH BASIN
 - EX (E) EXISTING
 - FW FIRE WATER
 - HYD, FH FIRE HYDRANT
 - MH MANHOLE
 - PVC POLYVINYL CHLORIDE
 - SD STORM DRAIN
 - SDCO STORM DRAIN CLEANOUT
 - SDMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - W WATER
 - WM WATER METER

- UTILITY NOTES:**
1. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
 2. NO EXISTING UTILITY SERVICES WILL BE REUSED. ALL EXISTING SERVICES WILL BE REMOVED TO THE PROPERTY LINE AND ABANDONED OR REMOVED PER CITY STANDARDS.
 3. ALL WORK DONE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER SEPARATE PERMIT.
 4. SEE JOINT TRENCH PLANS FOR ALL DRY UTILITIES AND JOINT TRENCH INFORMATION.
 5. SEE MEP PLANS FOR CONTINUATION AT BUILDING POINT OF CONNECTION.
 6. NEW FIRE WATER SERVICE FOR REFERENCE ONLY. FINAL DESIGN BY FIRE PROTECTION ENGINEER.
 7. CONTRACTOR TO VERIFY ALL (E)UTILITY TIE-IN LOCATIONS AND CROSSINGS BY POTHOLING PRIOR TO INSTALLATION.
 8. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
 9. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES AND 1 FOOT VERTICAL WATER ABOVE SEWER WHERE LINES CROSS. WATER AND SEWER LINES SHALL NOT CROSS AT LESS THAN 45 DEGREES TO EACH OTHER.
 10. UTILITY TRENCHES SHALL USE TRENCH SAND AROUND ALL UTILITIES CONFORMING TO APPROPRIATE STANDARDS SUCH AS PG&E, CALIFORNIA AMERICAN WATER COMPANY STANDARDS, AND SAN MATEO COUNTY PUBLIC WORKS STANDARDS.
 11. THE CITY OF EAST PALO ALTO ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OR CONNECTION FOR INSPECTION OF ANY UTILITIES CONNECTING TO MUNICIPAL FACILITIES.
 12. EAST PALO ALTO SANITARY DISTRICT SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OF CONNECTION FOR INSPECTION OF SEWER LINES AND CONNECTIONS. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 13. PACIFIC GAS & ELECTRIC, COMCAST, AT&T, AND ALL OTHER APPROPRIATE UTILITIES COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO INSTALLATION TO SCHEDULE ANY REQUIRED INSPECTIONS, OR AS REQUIRED BY SAID UTILITIES. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 14. ALL EXISTING WATER MAINS SHALL BE REPAIRED AND TESTED TO THE SATISFACTION OF AMERICAN WATER ENTERPRISES AND THE CITY ENGINEER.
 15. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO EAST PALO ALTO SUBDIVISION REGULATIONS, SAN MATEO COUNTY STANDARD DETAILS FOR PUBLIC WORKS, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS, GREEN BOOK STANDARD SPECIFICATIONS, AMERICAN WATER COMPANY CODE, EAST PALO ALTO SANITARY DISTRICT SEWER CODE, FIRE CODE, AND OTHER APPLICABLE UTILITY STANDARDS WITHIN THEIR RESPECTIVE JURISDICTIONS.

- KEY NOTES:**
- ① CONNECT TO EXISTING UTILITY
 - ② NEW FIRE HYDRANT
 - ③ MAINTAIN MINIMUM OF 1 FOOT SEPARATION BETWEEN WATER OVER SEWER



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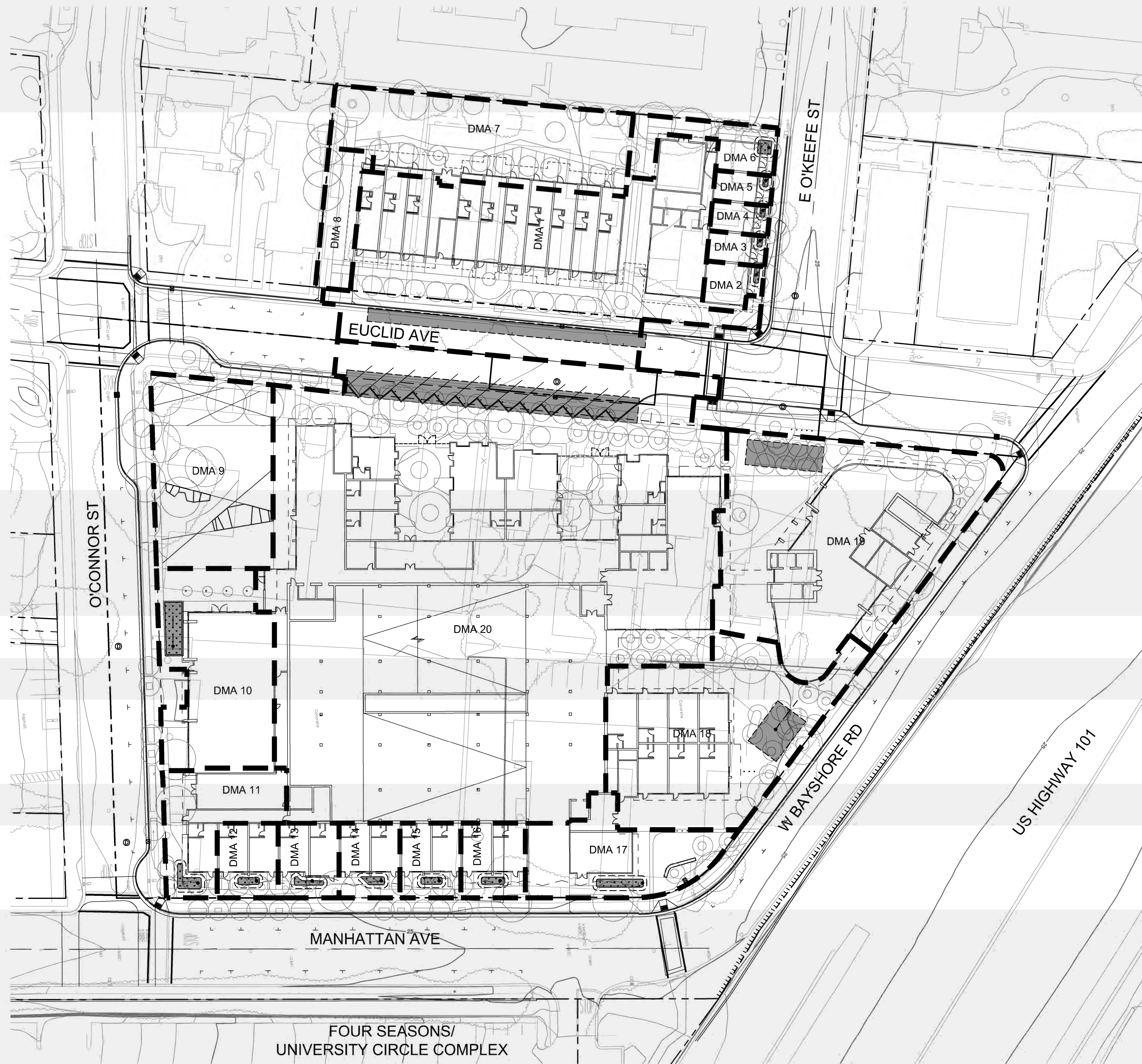
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**Application -
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**PRELIMINARY
UTILITY PLAN**

Sheet No.
C4.0

Date: 2020-11-17
Project No.: 20166089-20

DRAWING NAME: \\BKF-SI\vol4\2016\166089_Woodland_Park\ENG\EUCID\PLANNING\SHEETS\C5-EI-SWMP.dwg
PLOT DATE: 11-17-20 PLOTTED BY: wib



- LEGEND**
- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
 - ▨ INTEGRATED MANAGEMENT PRACTICE (IMP)
 - - - SD PERFORATED PIPE
 - SD CATCH BASIN
 - SD JUNCTION BOX
 - SD OVERFLOW DRAIN

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**PRELIMINARY
STORMWATER
MANAGEMENT PLAN**

Sheet No.

C5.0

Date: 2020-11-17
Project No.: 20166089-20



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TREATMENT CONTROL MEASURE SUMMARY								
DRAINAGE AREAS	DRAINAGE AREA SIZE (SF)	EXISTING CONDITION		PROPOSED CONDITION		TREATMENT MEASURE SIZE		TREATMENT MEASURE TYPE
		PERVIOUS SURFACE (SF)	IMPERVIOUS SURFACE (SF)	PERVIOUS SURFACE (SF)	IMPERVIOUS SURFACE (SF)	REQUIRED (SF)	PROVIDED (SF)	
DMA-1	22,160	LANDSCAPE 2,340	STREETS/PARKING 9,260 ROOF/SIDEWALK 10,560	LANDSCAPE 2,185	STREETS/PARKING 5,655 ROOF/SIDEWALK 14,320	799	1,320	MODULAR GRID BIORETENTION (E.G. SILVA CELL)
DMA-2	880	LANDSCAPE 240	ROOF/SIDEWALK 640	LANDSCAPE 100	ROOF/SIDEWALK 780	31	31	NON-STRUCTURAL BIORETENTION AREA
DMA-3	620	LANDSCAPE 200	ROOF/SIDEWALK 420	LANDSCAPE 110	ROOF/SIDEWALK 510	22	22	NON-STRUCTURAL BIORETENTION AREA
DMA-4	620	LANDSCAPE 40	STREETS/PARKING 480 ROOF/SIDEWALK 100	LANDSCAPE 110	ROOF/SIDEWALK 510	20	22	NON-STRUCTURAL BIORETENTION AREA
DMA-5	620	LANDSCAPE 125	STREETS/PARKING 495	LANDSCAPE 110	ROOF/SIDEWALK 510	20	22	NON-STRUCTURAL BIORETENTION AREA
DMA-6	1,925	LANDSCAPE 1,090	STREETS/PARKING 455 ROOF/SIDEWALK 390	LANDSCAPE 350	ROOF/SIDEWALK 1,575	63	63	NON-STRUCTURAL BIORETENTION AREA
DMA-7	8,410	LANDSCAPE 1,030	STREETS/PARKING 3,810 ROOF/SIDEWALK 3,570	LANDSCAPE 1,810	ROOF/SIDEWALK 6,600	336	336	STRUCTURAL BIORETENTION AREA
DMA-8	1,795	LANDSCAPE 190	STREETS/PARKING 515 ROOF/SIDEWALK 1,090	N/A	N/A	N/A	N/A	PERMEABLE PAVERS
DMA-9	7,905	LANDSCAPE 3,065	STREETS/PARKING 640 ROOF/SIDEWALK 4,200	N/A	N/A	N/A	N/A	PARK: SELF-TREATING AREA
DMA-10	7,405	LANDSCAPE 860	STREETS/PARKING 2,000 ROOF/SIDEWALK 4,545	N/A	ROOF/SIDEWALK 7,405	296	300	STRUCTURAL BIORETENTION AREA
DMA-11	3,705	LANDSCAPE 980	ROOF/SIDEWALK 2,725	LANDSCAPE 980	ROOF/SIDEWALK 2,725	109	115	NON-STRUCTURAL BIORETENTION AREA
DMA-12	1,585	LANDSCAPE 450	ROOF/SIDEWALK 1,135	LANDSCAPE 310	ROOF/SIDEWALK 1,275	51	51	NON-STRUCTURAL BIORETENTION AREA
DMA-13	1,585	LANDSCAPE 335	ROOF/SIDEWALK 1,250	LANDSCAPE 310	ROOF/SIDEWALK 1,275	51	51	NON-STRUCTURAL BIORETENTION AREA
DMA-14	1,585	LANDSCAPE 270	ROOF/SIDEWALK 1,315	LANDSCAPE 310	ROOF/SIDEWALK 1,275	51	51	NON-STRUCTURAL BIORETENTION AREA
DMA-15	1,585	LANDSCAPE 170	ROOF/SIDEWALK 1,415	LANDSCAPE 310	ROOF/SIDEWALK 1,275	51	51	NON-STRUCTURAL BIORETENTION AREA
DMA-16	1,675	LANDSCAPE 25	ROOF/SIDEWALK 1,650	LANDSCAPE 285	ROOF/SIDEWALK 1,390	56	56	NON-STRUCTURAL BIORETENTION AREA
DMA-17	4,875	LANDSCAPE 15	ROOF/SIDEWALK 4,860	LANDSCAPE 1,645	ROOF/SIDEWALK 3,230	129	129	NON-STRUCTURAL BIORETENTION AREA
DMA-18	11,730	LANDSCAPE 120	STREETS/PARKING 6,710 ROOF/SIDEWALK 4,900	N/A	ROOF/SIDEWALK 11,730	469	490	STRUCTURAL BIORETENTION AREA
DMA-19	16,730	LANDSCAPE 6,520	STREETS/PARKING 100 ROOF/SIDEWALK 10,110	LANDSCAPE 3,675	ROOF/SIDEWALK 13,055	522	680	MODULAR GRID BIORETENTION (E.G. SILVA CELL)
DMA-20	64,930	LANDSCAPE 10,415	STREETS/PARKING 12,520 ROOF/SIDEWALK 41,995	N/A	STREETS/PARKING 29,270 ROOF/SIDEWALK 35,660	2,597	2,604	MODULAR GRID BIORETENTION (E.G. SILVA CELL)
TOTAL	162,325	28,480	133,845	12,600	140,025	5,673	6,406	

NOTES

1) TREATMENT AREAS WERE SIZED USING THE "4 PERCENT METHOD" FLOW-BASED SIZING CRITERIA IN THE 2014 SAN MATEO COUNTY C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK.

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Application -
September 2019

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**PRELIMINARY
STORMWATER
MANAGEMENT PLAN**

Sheet No.

C5.1

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

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**Application -
September 2019**

Drawing Title
**PRELIMINARY FIRE
ACCESS PLAN**

LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- ▭ FIRE TRUCK STAGING AREA
- ⊕ FIRE HYDRANT
- ⊕ EXISTING FIRE HYDRANT

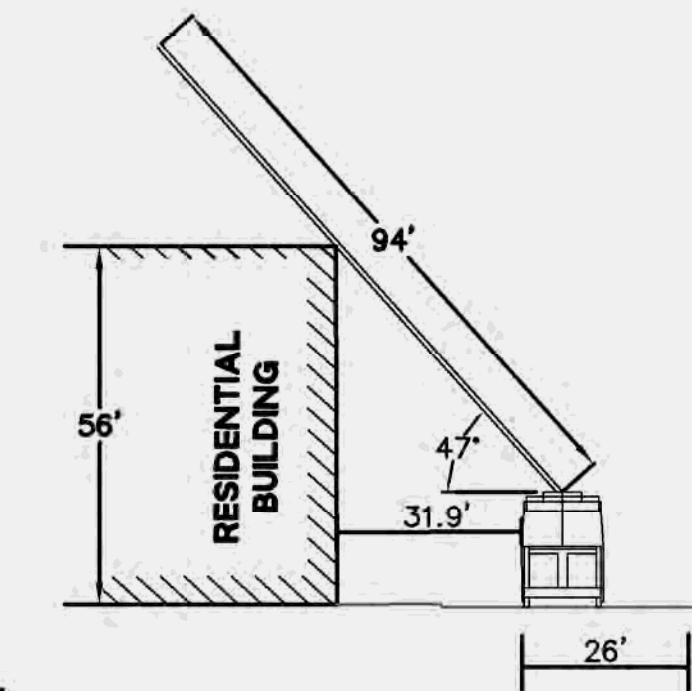
ABBREVIATIONS:

- E EAST
- (E) EXISTING
- FH FIRE HYDRANT
- NTS NOT TO SCALE
- W WEST

NOTES:

- ON-SITE WIDTH FOR AERIAL LADDER TRUCK SHALL BE 26 FEET. THE SET UP AREAS SHALL BE A MAXIMUM OF 30 FEET FROM THE BUILDINGS AND NO CLOSER THAN 15 FEET TO THE BUILDING.
- FIRE PUMP SHALL BE PROVIDED FOR ALL HIGH RISE BUILDINGS. THE PUMP SHALL BE RATED TO PUMP 150% OF THE REQUIRED DEMAND.
- ALL HIGH RISE BUILDINGS SHALL HAVE STAND BY POWER GENERATORS.
- ALL PUBLIC AND ON-SITE CURBS TO BE PAINTED, LETTERED, AND SIGNED AS FIRE LANES, FIRE ACCESS, AND AERIAL LADDER TRUCK ACCESS FOR RESCUE AND FIREFIGHTING OPERATIONS.
- SPACING FOR FIRE HYDRANTS IS 300 FEET. THE MINIMUM ACCEPTED MENLO PARK FIRE DISTRICT FIRE FLOW IS 2000 GPM AT 20 PSI RESIDUAL PRESSURE.
- ALL PUBLIC STREETS WHERE STREET WIDTHS ARE LESS THAN 26 FEET TO HAVE NO PARKING AND RED CURBS, ALL STREETS LESS THAN 32 FEET AND MORE THAN 26 FEET MAY HAVE PARKING ON ONE SIDE AND RED CURBS ON THE OTHER, STREETS 32 FEET OR GREATER MAY HAVE PARKING ON BOTH SIDES.
- FIRE LANES/EMERGENCY VEHICLE ACCESS TO HAVE RED PAINTED CURBS, CURB LETTERING AND POSTED SIGNS AS REQUIRED BY THE CVC, CFC AND MPFPD.
- ALL TURNING RADII TO BE CAPABLE OF A SINGLE INLINE VEHICLE OF 42 FEET IN LENGTH MAKING ALL TURNING MANEUVERS.
- FIRE HYDRANTS AND FIRE APPLIANCES (FIRE DEPARTMENT CONNECTIONS AND POST INDICATOR VALVES) TO BE CLEARLY ACCESSIBLE AND FREE FROM OBSTRUCTION.
- FIRE HYDRANT TO BE WET BARREL STANDARD STEAMER TYPE WITH ONE 4 1/2" AND TWO 2 1/2" OUTLETS (MPFPD CFC SEC. 507.5.1 APPENDIX C).
- DISCHARGE FIRE SPRINKLER TEST WATER TO ONSITE VEGETATED AREAS, OR TO THE SANITARY SEWER SYSTEM SUBJECT TO THE LOCAL SANITARY SEWER AGENCY'S AUTHORITY AND STANDARDS.

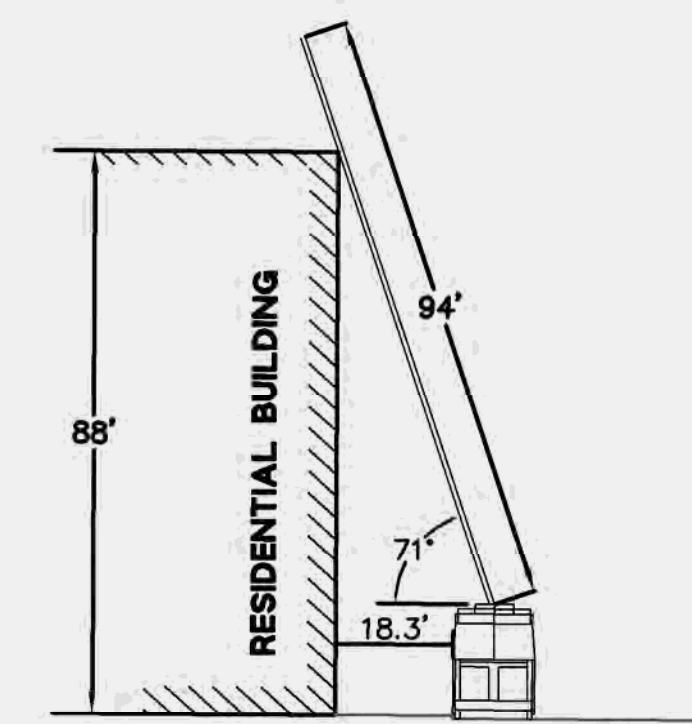
EXAMPLE STAGING CROSS SECTIONS:



NOTE:

- MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

1 EUCLID AVENUE FIRE STAGING
NTS



NOTE:

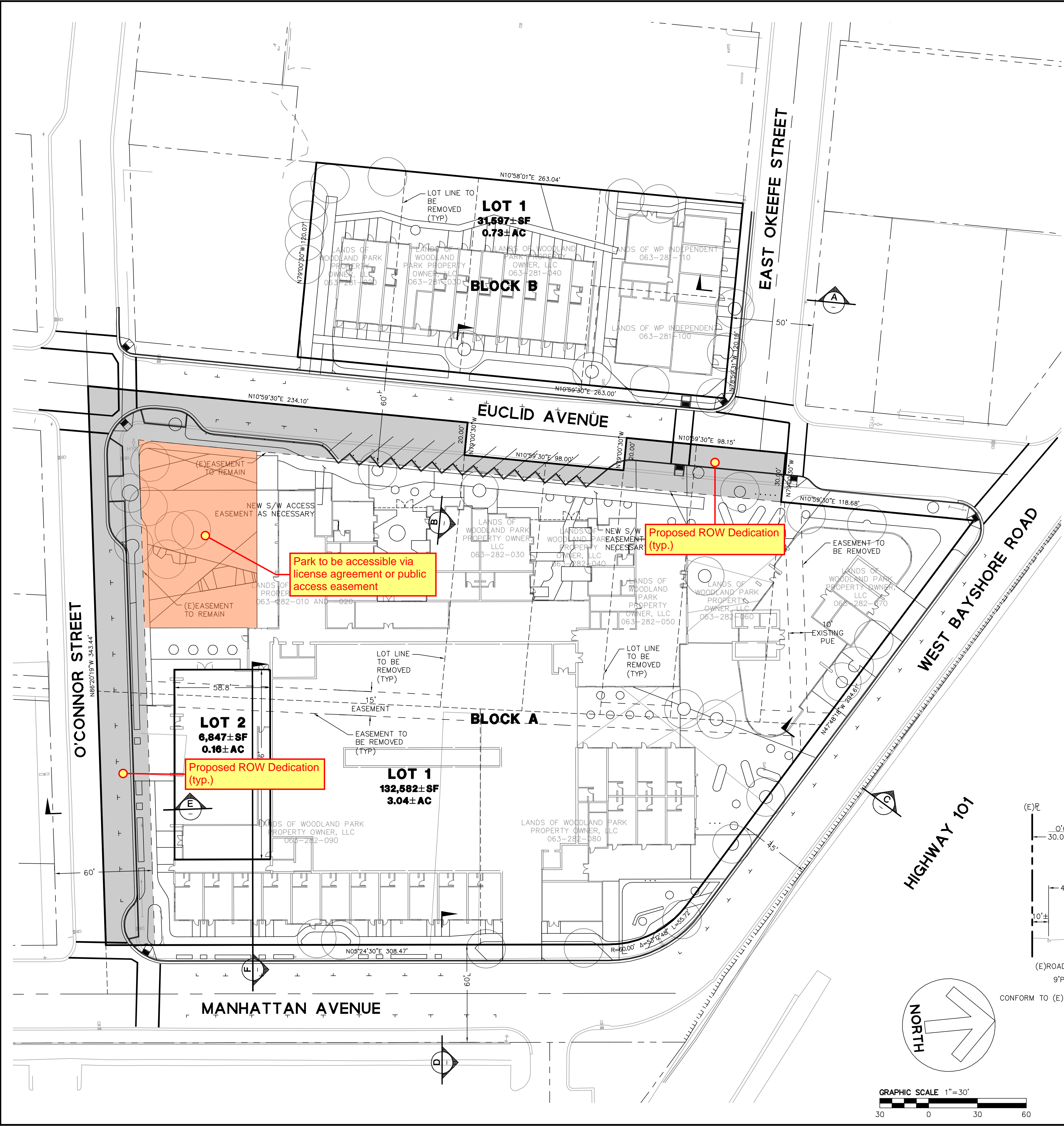
- MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

2 MANHATTAN AVE FIRE STAGING
NTS



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PLOT DATE: 11-17-20
PLOTTED BY: wilb

DRAWING NAME: K:\2016\166089_Woodland_Park\ENG\EUCLID\TMAPP\01-WP-TMAP.dwg
PLOT DATE: 05-03-22
PLOT BY: hers



LEGEND:

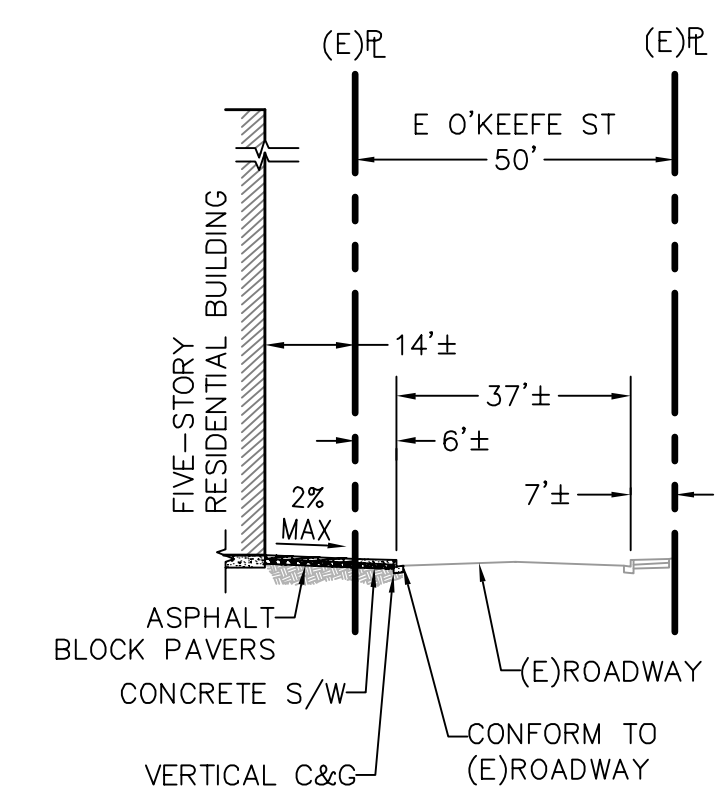
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- EASEMENT
- RELINQUISHMENT OF ABUTTER'S RIGHTS
- LOT LINE TO BE REMOVED
- EASEMENT TO BE QUITCLAIMED
- PROJECT BOUNDARY LINE
- PROPOSED ROW DEDICATION

NOTES:

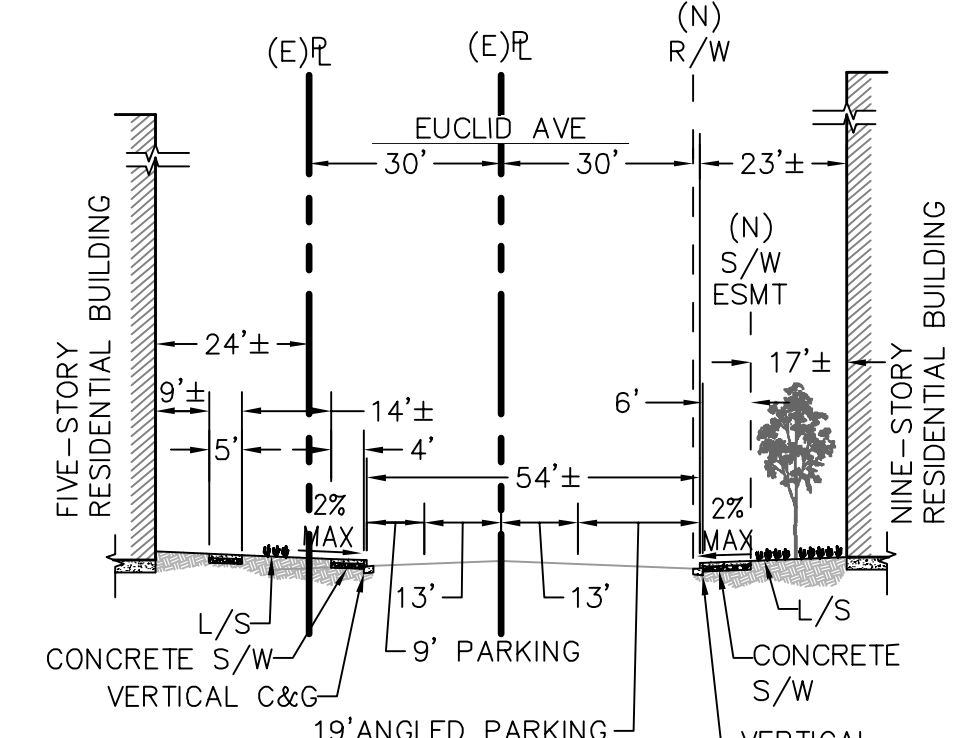
1. LOT 2 OF BLOCK A HAS A FINISH FLOOR ELEVATION OF 26.8' AND A CEILING ELEVATION OF 46.8'.
2. BLOCK A IS LOCATED IN ZONE R-UHD WITH PROPOSED NCO OVERLAY (SEE GENERAL NOTE 5 OF TM-1).
3. BLOCK B IS LOCATED IN ZONE R-HD-5 WITH PROPOSED NCO OVERLAY (SEE GENERAL NOTE 5 OF TM-1).

ABBREVIATIONS

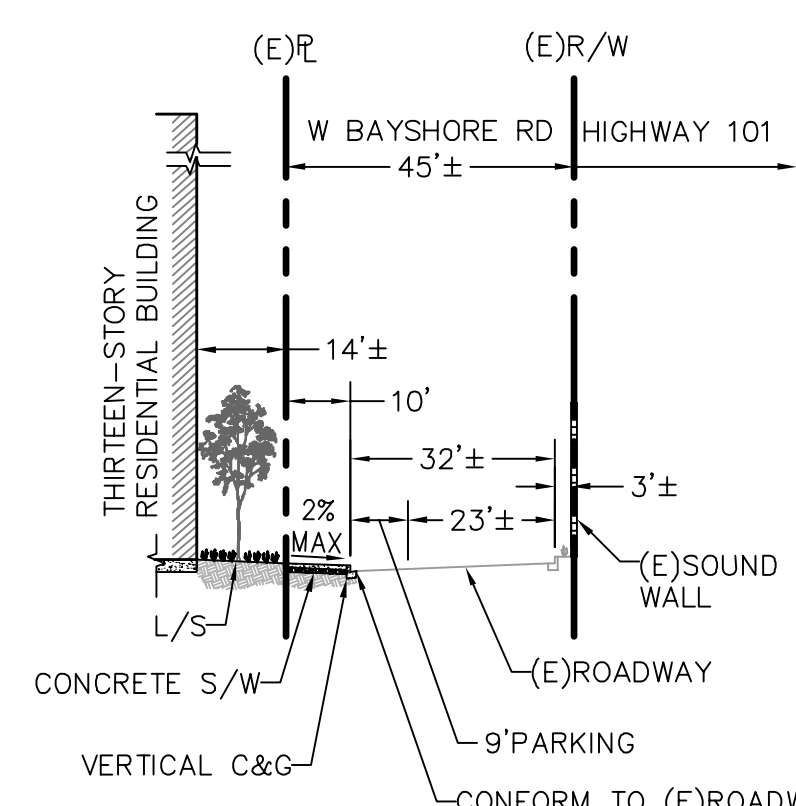
- | | |
|---------|--------------|
| AC | ACRES |
| CB | CATCH BASIN |
| (E) | EXISTING |
| E | EAST |
| ELEV | ELEVATION |
| FF | FINISH FLOOR |
| L | LENGTH |
| L/S | LANDSCAPING |
| N | NORTH |
| NTS | NOT TO SCALE |
| R | RADIUS |
| S (TYP) | SOUTH |
| W | TYPICAL WEST |



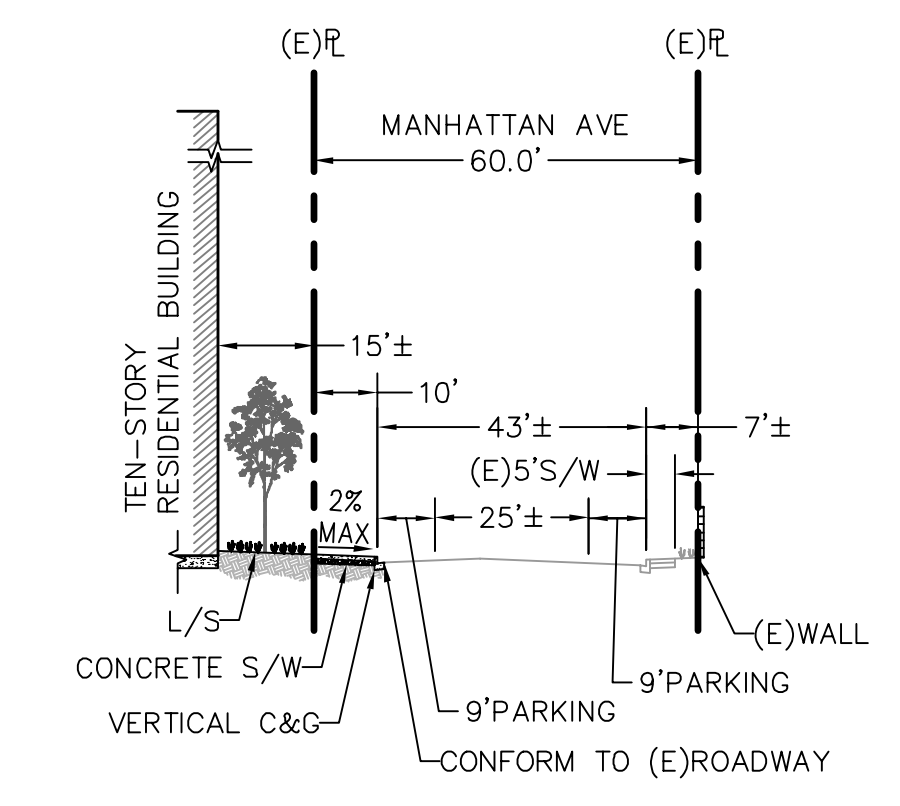
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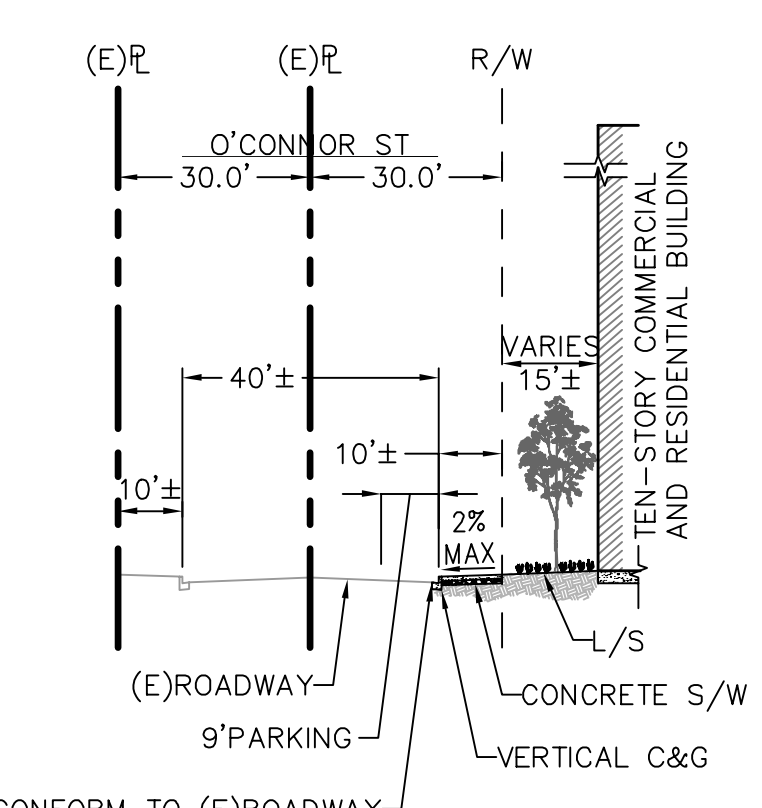
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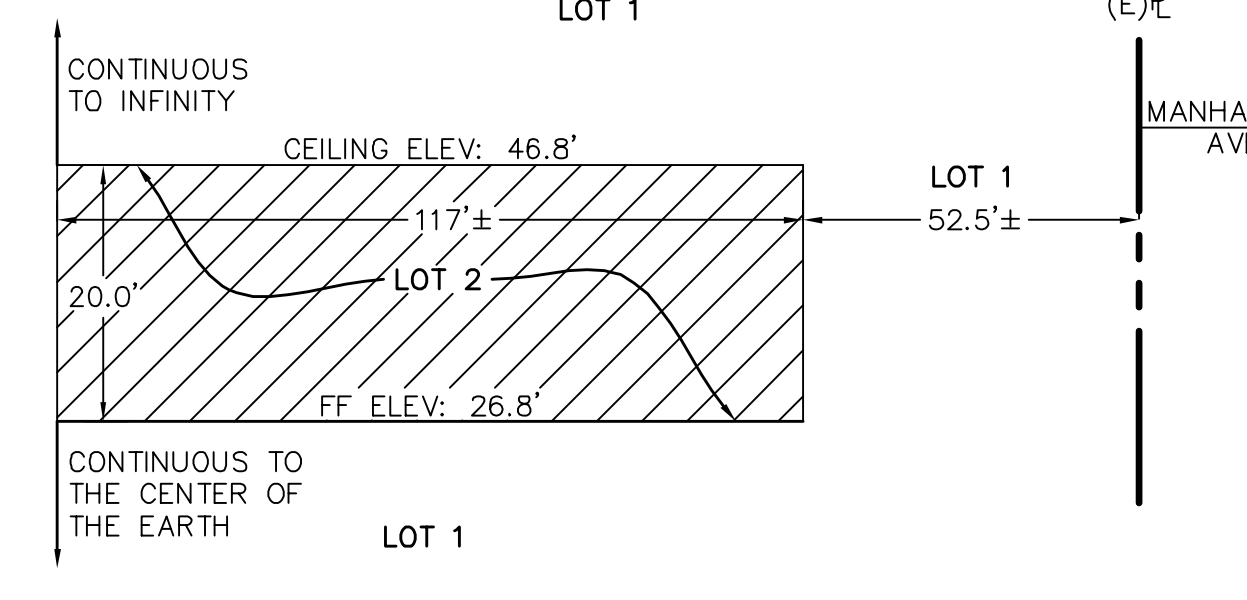
SECTION C
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SECTION D
N.T.S.



SECTION E
N.T.S.



SECTION F-F
N.T.S.

