

WOODLAND PARK - EUCLID IMPROVEMENTS APPLICATION - SEPTEMBER 2019



PROJECT DIRECTORY

APPLICANT:

Woodland Park Communities
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ARCHITECT:

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461 2nd Street, Loft C-127
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LANDSCAPE ARCHITECT:

Hood Design Studio
3016 Filbert Street #2
Oakland, CA 94608
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CIVIL ENGINEER:

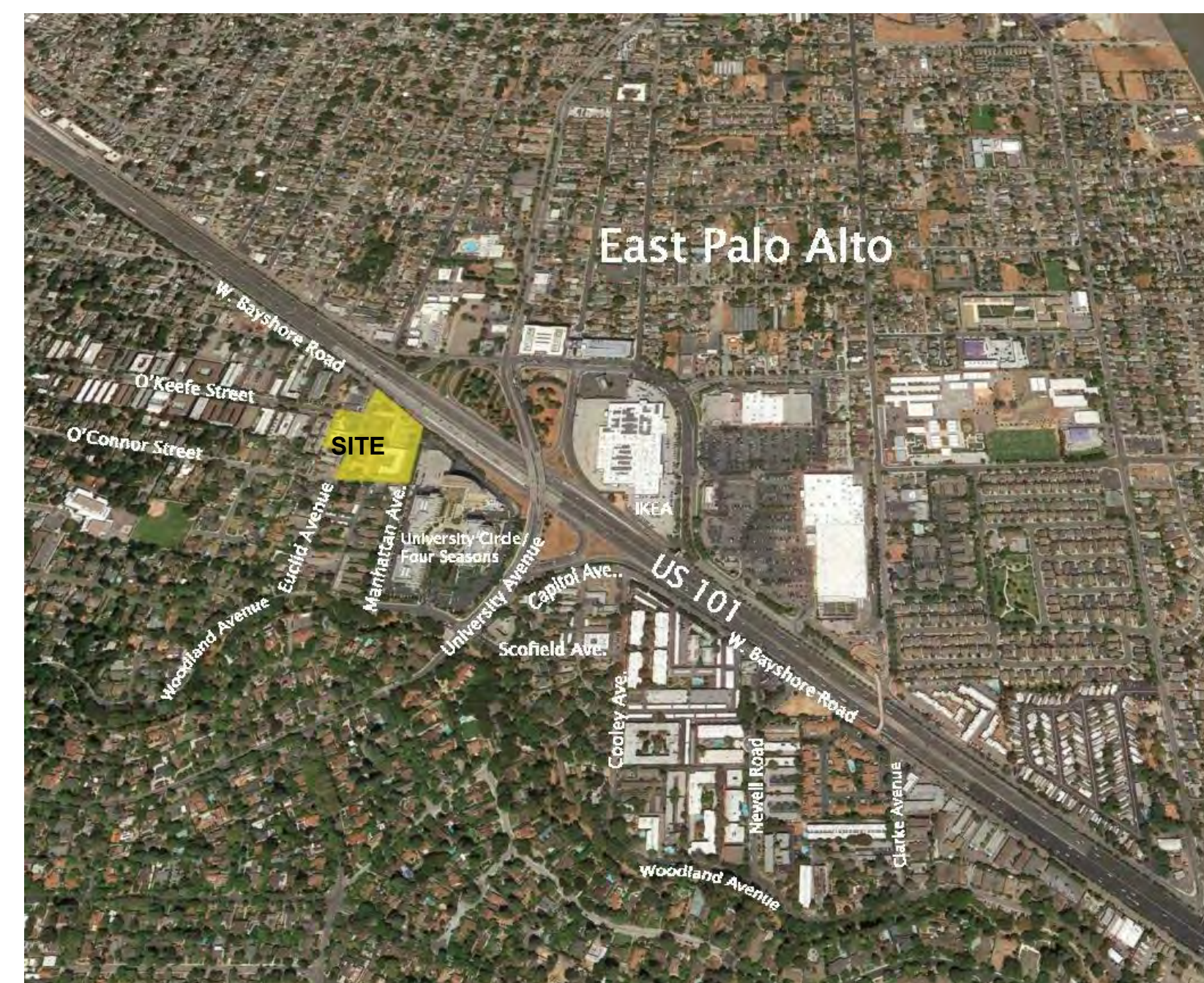
BKF Engineers
150 California Street, Ste 600
San Francisco, CA 94111
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PROJECT DESCRIPTION

With no displacement, this project proposes the replacement of several aging, outdated structures containing 160 rent-stabilized housing units and one single family rental (non-RSO) with new mixed-income buildings containing 605 apartments, 26% of which will be deed-restricted rent-controlled, replacing the existing apartments one-for-one.

Note: No portion of the property is located in a Flood Zone as designated by the Federal Emergency Management Agency (FEMA).

VICINITY MAP



PROJECT SITE

ZONING:
R-HD-5, R-UHD

GENERAL PLAN DESIGNATION:
HIGH DENSITY RESIDENTIAL /
URBAN RESIDENTIAL

TOTAL SITE AREA:
170,941 SF = 3.92 ACRES

EXISTING LOTS:

ADDRESSES:	APNS:
501 O'Connor St.	063282010
2012 Euclid Ave.	063282020
2032 Euclid Ave.	063282030
2036 Euclid Ave.	063282040
2040 & 2042 Euclid Ave.	063282050
2044 Euclid Ave.	063282060
2054 Euclid Ave.	063282070
2033 Manhattan Ave.	063282080
2001 Manhattan Ave.	063282090
2021 Euclid Ave.	063281020
2025 Euclid Ave.	063281030
2031 Euclid Ave.	063281040
2043 Euclid Ave.	063281100
2041 Euclid Ave./420 E O'Keefe St.	063281110

SHEET INDEX

GENERAL

G000	TITLE SHEET
G100	CONTEXT
G101	SKETCH PERSPECTIVE VIEWS
G102	SKETCH PERSPECTIVE VIEWS
G103	AERIAL VIEW

ARCHITECTURE

A100	SITE PLAN - EXISTING
A101	SITE PLAN - PROPOSED
A200	FLOOR PLAN - LEVEL 1
A201	FLOOR PLAN - LEVEL 2
A202	FLOOR PLAN - LEVELS 3
A203	FLOOR PLAN - LEVELS 4-9
A204	FLOOR PLAN - LEVELS 10-13
A300	BUILDING ELEVATIONS
A301	BUILDING ELEVATIONS
A302	BUILDING SECTIONS
A303	EXTERIOR MATERIALS
A400	OPEN SPACE DIAGRAMS

LANDSCAPE

L-1.1	LANDSCAPE SITE PLAN
T-0.1	TREE PROTECTION AND REMOVALS LIST AND NOTES
T-1.1	TREE PROTECTION & REMOVAL PLAN

CIVIL

C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
C6.0	PRELIMINARY FIRE ACCESS PLAN
TM-1	VESTING TENTATIVE PARCEL MAP - TITLE SHEET
TM-2	VESTING TENTATIVE PARCEL MAP - MAPPING SHEET

PROJECT DATA

GROSS AREAS

CIRCULATION	84,102 SF
COMMON	19,803 SF
GARAGE	214,111 SF
RESIDENTIAL	426,671 SF
RETAIL	3,090 SF
SERVICE	14,437 SF
STAIRS / ELEV.	37,471 SF
Total	799,684 SF

UNIT MIX

TYPE	CURRENT*	MIX	PROPOSED	MIX	AVG. AREA
STUDIO	53	33%	188	31%	405 sf
1 BR	102	64%	238	39%	650 sf
2 BR	4	2%	177	30%	960 sf
3 - 4 BR	2	<1%	2	<1%	1,825 sf
TOTAL	161		605		

* There are 160 current rent-stabilized units and one 2 BR single-family rental (non-RSO)

PARKING

STALLS	CURRENT	PROPOSED
OFF-STREET	155	625
ON-STREET	52	71
TOTAL	207	696

(13 of the proposed spaces are ADA, including 2 ADA Van spaces)
Parking Ratio = 1.03 spaces/unit

LOT COVERAGE CALCULATIONS

TOTAL SITE AREA
= 31,596 SF + 139,345 SF = 170,941 SF

TOTAL BUILDING FOOTPRINT AREA
= 96,860 SF + 170,941 sf = 96,860 SF

LOT COVERAGE = 96,860 / 170,941 SF = **57%**

F.A.R. REQUIRED: N/A

(PER DEVELOPMENT CODE SECTION 18.10 TABLE 2-2)

Woodland Park Euclid Improvements



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461 Second St, Loft c127
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415.896.6700

Description	Issuances Date
Entitlements Submission	09/25/2019

Rev.	Description	Revisions Date
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Set Title

Application -
September 2019

Drawing Title

TITLE SHEET

Sheet No.

G000

Date 09-25-2019
Project No. 21620

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1 - Intersection of West Bayshore Road and Euclid Avenue, Looking East



2 - West Bayshore Road, Looking East



3 - Intersection of West Bayshore Road and Manhattan Avenue, Looking South



4 - Intersection of Manhattan Avenue and O'Connor Street, Looking North



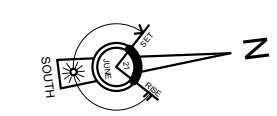
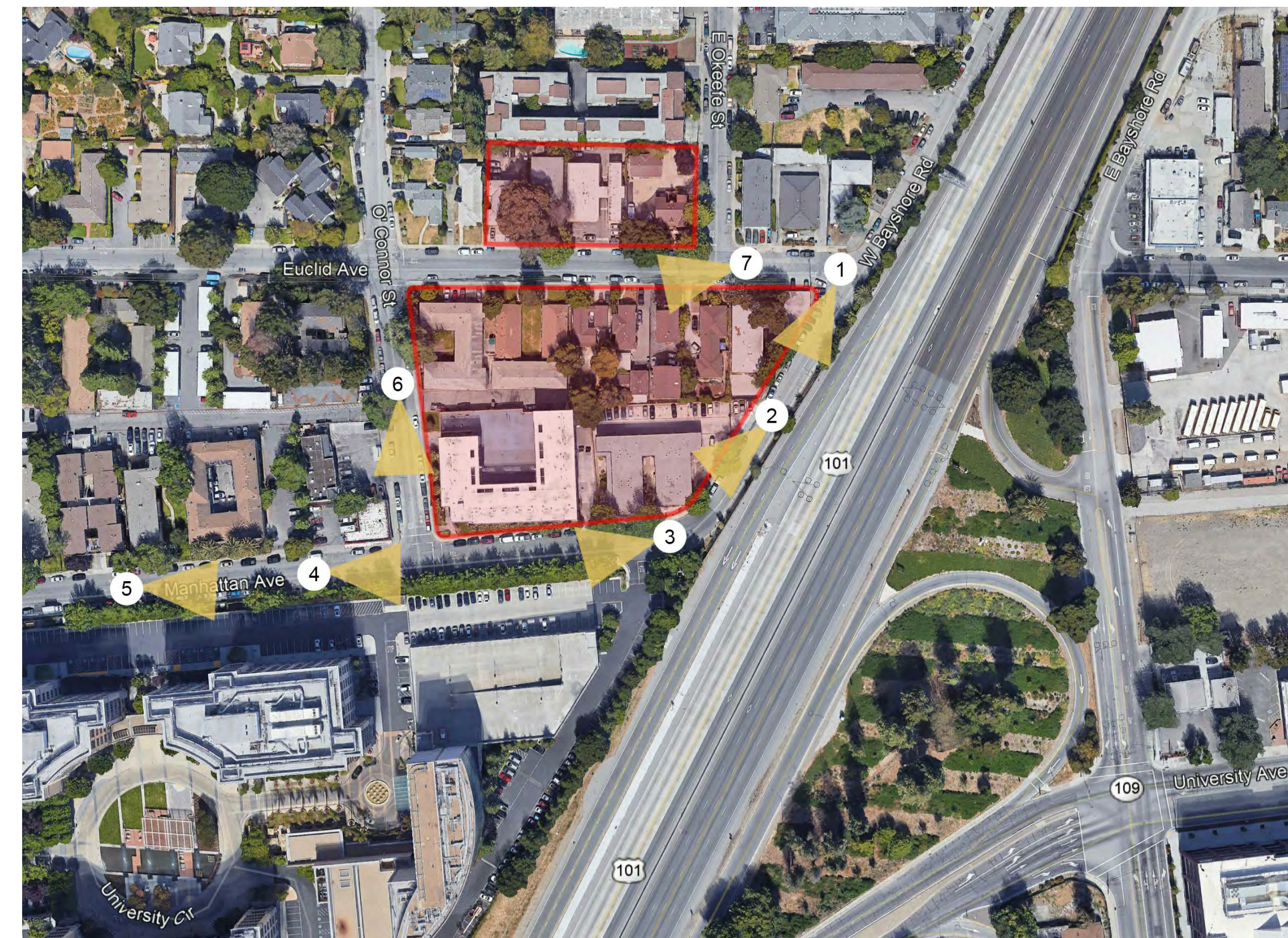
5 - Manhattan Avenue, Looking North



6 - O'Connor Street, Looking East



7 - Euclid Avenue, Looking South



Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
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Set Title
**Application -
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Drawing Title
CONTEXT

Sheet No.
G100
Date 09-25-2019
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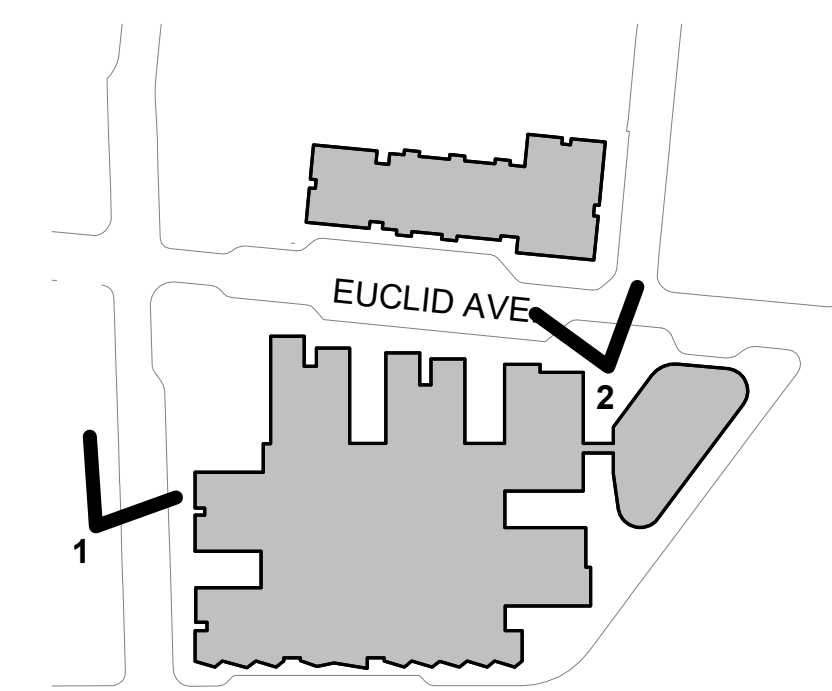
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1- VIEW OF PARK FROM O'CONNOR ST.



2- VIEW OF EUCLID FROM PLAZA



KEY PLAN

Issuances	
Description	Date
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Revisions		
Rev.	Description	Date

Set Title
Application -
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Drawing Title
SKETCH
PERSPECTIVE
VIEWS

Sheet No.

G101

Date 09-25-2019
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Woodland
Park
Euclid
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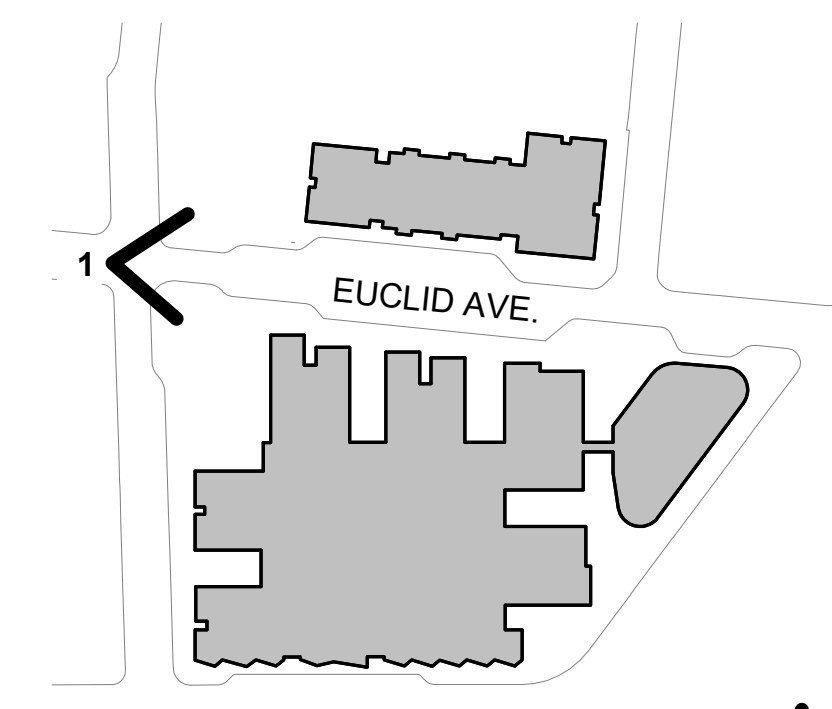
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1- VIEW DOWN EUCLID AVE. LOOKING NORTH



2- VIEW FROM US 101/ UNIVERSITY AVE OVERPASS (FOUR SEASONS HOTEL IN FOREGROUND)



KEY PLAN

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions	
Rev.	Date

Set Title
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SKETCH
PERSPECTIVE
VIEWS

Sheet No.

G102

Date 09-25-2019
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Entitlements Submission	09/25/2019

Revisions	
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PROJECT



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AERIAL VIEW

Sheet No.
G103

Date 09-25-2019
Project No. 21620

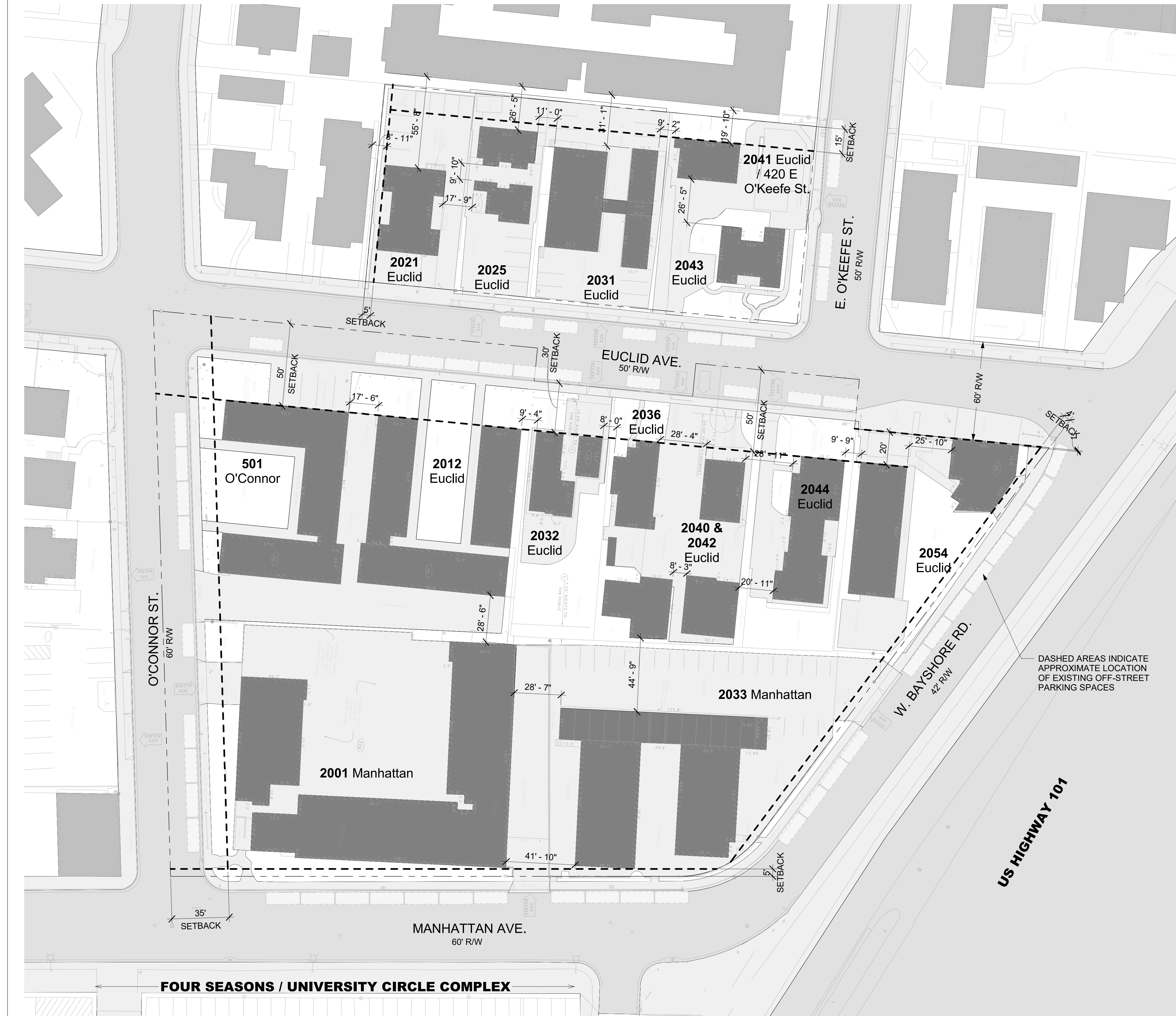
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Existing properties:

- 2021 Euclid Avenue**
(11 rent-stabilized units)
11 x Studio Units
- 2025 Euclid Avenue**
(7 rent-stabilized units)
6 x Studio Units
1 x 1 Bedroom Unit
- 2031 Euclid Avenue**
(12 rent-stabilized units)
12 x 1 Bedroom Units
- 2032 Euclid Avenue**
1 x 2 Bedroom Single-Family-House
(non-RSO)
- 2036 Euclid Avenue**
(4 rent-stabilized units)
2 x Studio Units
1 x 1 Bedroom Unit
1 x 2 Bedroom Unit
- 2040 & 2042 Euclid Avenue**
(2 rent-stabilized units)
1 x 2 Bedroom Unit
1 x 4 Bedroom Unit
- 2041 Euclid Avenue**
(also known as 420 O'Keefe)
Community Engagement Office
- 2043 Euclid Avenue**
Resident Services Office and
Community Technology Center
- 2044 Euclid Avenue**
(2 rent-stabilized units)
1 x 2 Bedroom Unit
1 x 3 Bedroom Unit
- 2054 Euclid Avenue**
(8 rent-stabilized units)
8 x 1 Bedroom Units
- 2012 Euclid Avenue/501 O'Connor Street**
(22 rent-stabilized units)
22 x 1 Bedroom Units
- 2001 Manhattan Avenue**
(60 rent-stabilized units)
8 x Studio Units
52 x 1 Bedroom Units
- 2033 Manhattan Avenue**
(32 rent-stabilized units)
26 x Studio Units
6 x 1 Bedroom Units



DASHED AREAS INDICATE APPROXIMATE LOCATION OF EXISTING OFF-STREET PARKING SPACES

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions	
Rev.	Date

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Drawing Title
**SITE PLAN -
EXISTING**

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← FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX →

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions	
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**Application -
September 2019**

Drawing Title
**SITE PLAN -
PROPOSED**

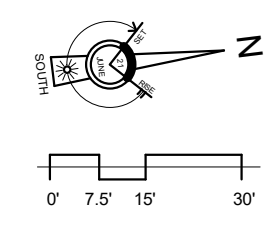
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A101

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Description	Date
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Revisions	
Rev.	Date

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Drawing Title
**FLOOR PLAN -
LEVEL 1**

Sheet No.
A200

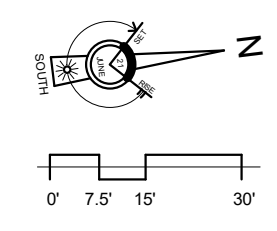
Date 09-25-2019
Project No. 21620

FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX

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Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title
**Application -
September 2019**

Drawing Title
**FLOOR PLAN -
LEVEL 2**

Sheet No.
A201

Date: 09-25-2019
Project No.: 21620

FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX

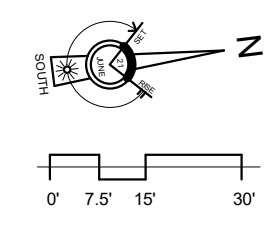
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← FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX →



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Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

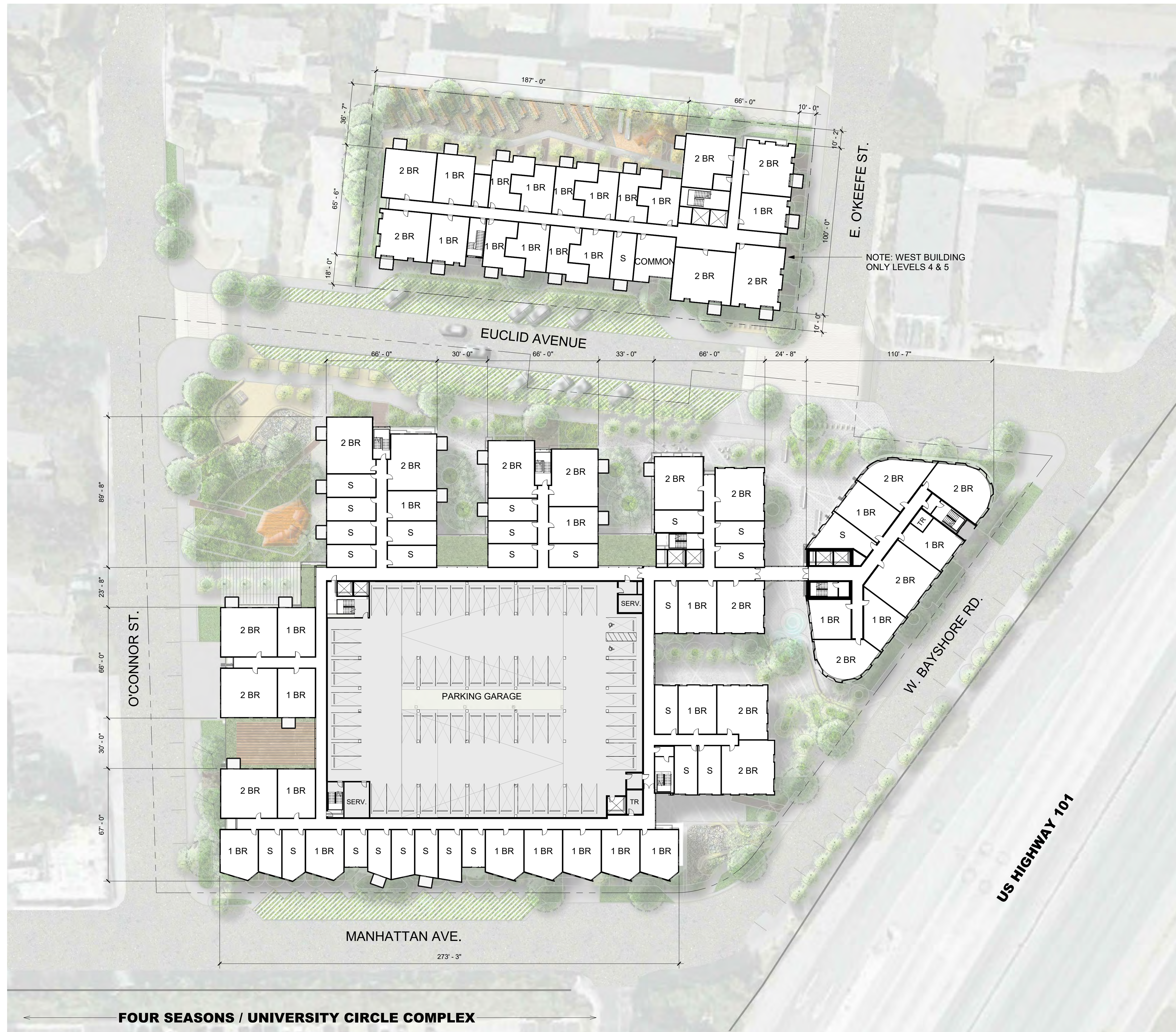
Set Title
**Application -
September 2019**
Drawing Title
**FLOOR PLAN -
LEVELS 3**

Sheet No.
A202
Date 09-25-2019
Project No. 21620

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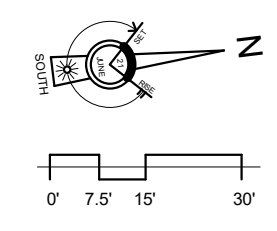


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NOTE: WEST BUILDING
ONLY LEVELS 4 & 5

← **FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX** →



Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title
**Application -
September 2019**

Drawing Title
**FLOOR PLAN -
LEVELS 4-9**

Sheet No.
A203

Date: 09-25-2019
Project No.: 21620

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Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title
**Application -
September 2019**

Drawing Title
**FLOOR PLAN -
LEVELS 10-13**

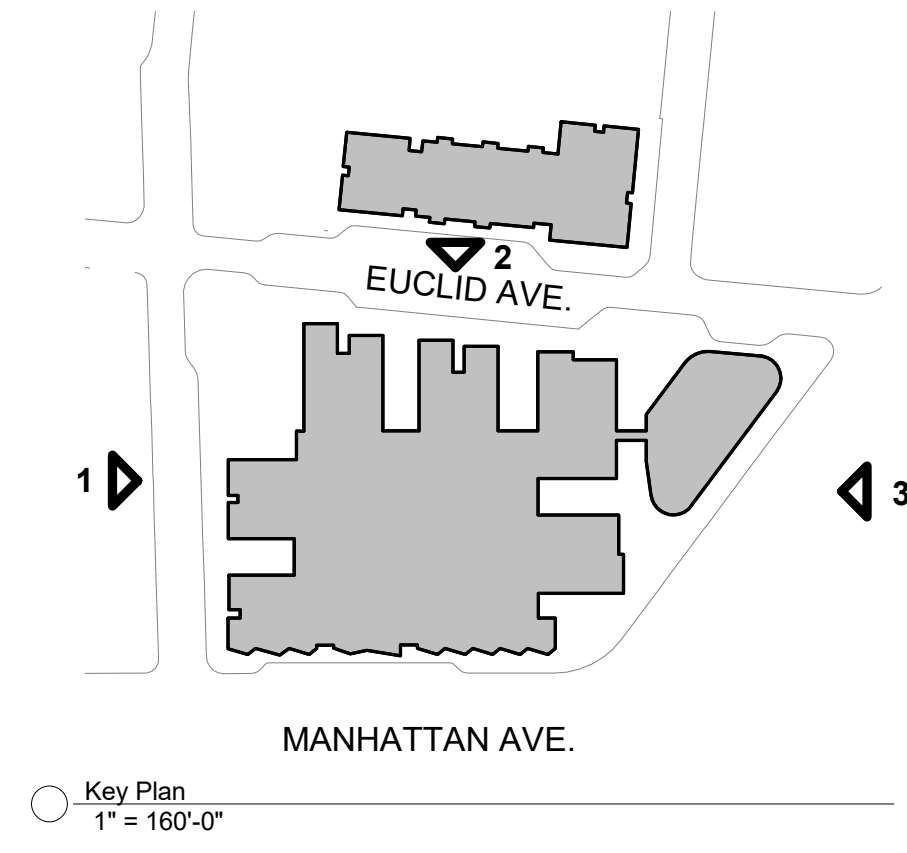
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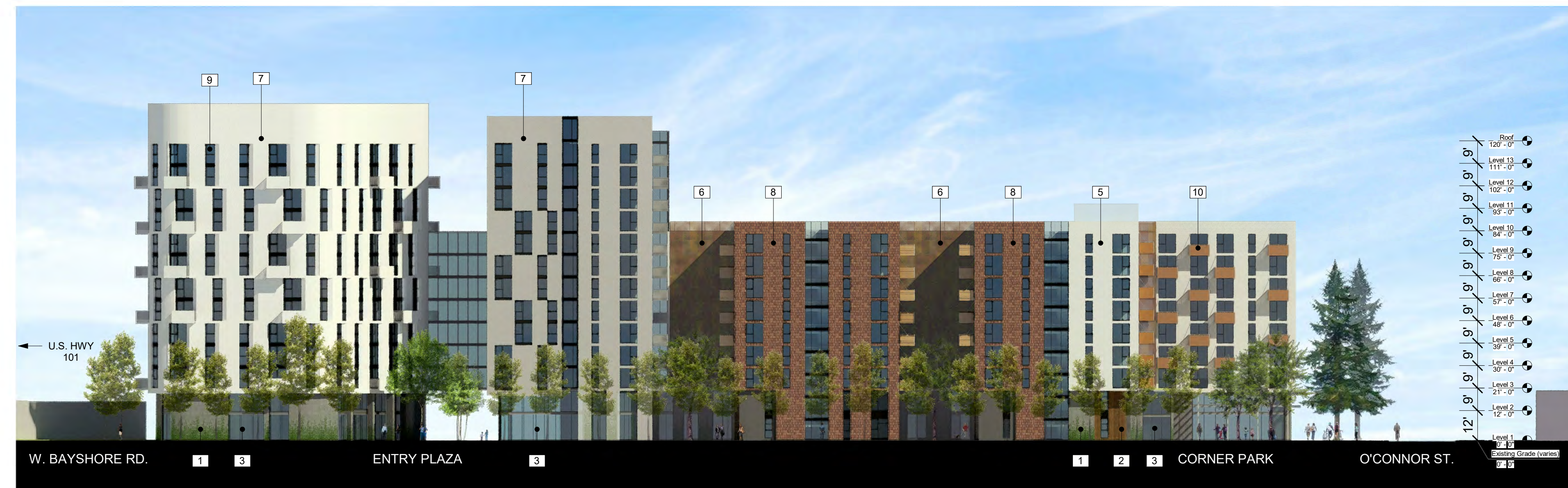
Date 09-25-2019
Project No. 21620

MATERIAL LEGEND

- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
- 10 - Balconies with Perforated Metal Guardrails
- 11 - Corten Steel Panels
- 12 - Smooth Concrete



③ W. Bayshore Rd. Elevation - East Building
1" = 30'-0"



② Euclid Ave. Elevation - East Building
1" = 30'-0"



① O'Connor St. Elevation - East Building
1" = 30'-0"

Woodland Park
Euclid
Improvements



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Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title
Application -
September 2019

Drawing Title
BUILDING
ELEVATIONS

Sheet No.
A300

Date 09-25-2019
Project No. 21620

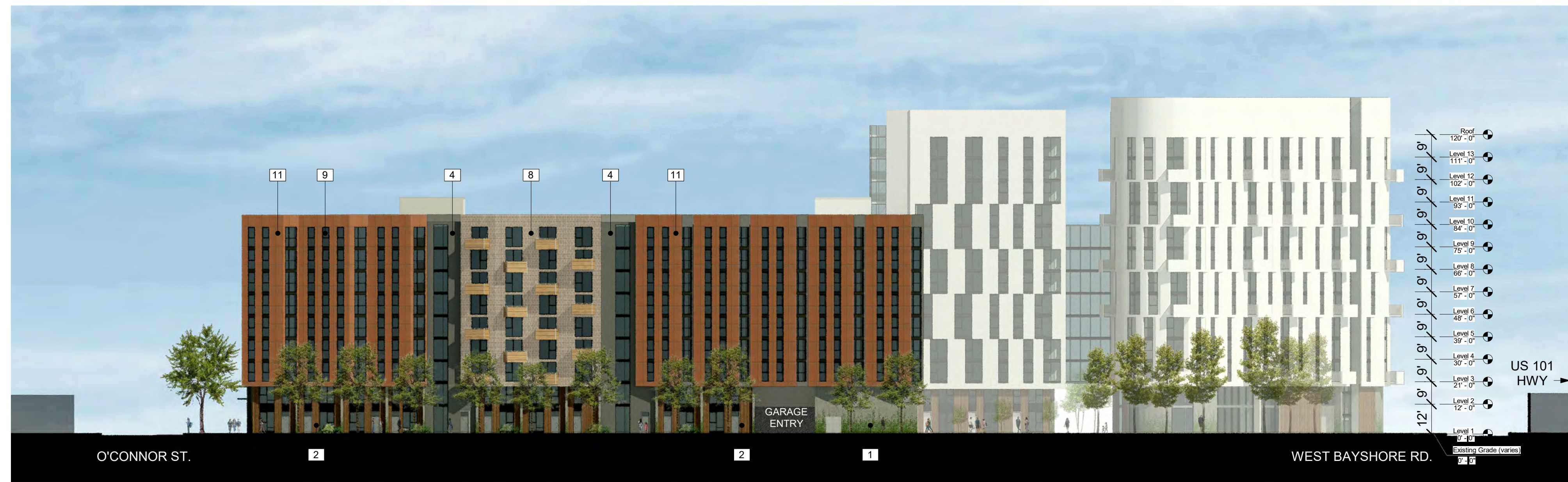
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MATERIAL LEGEND

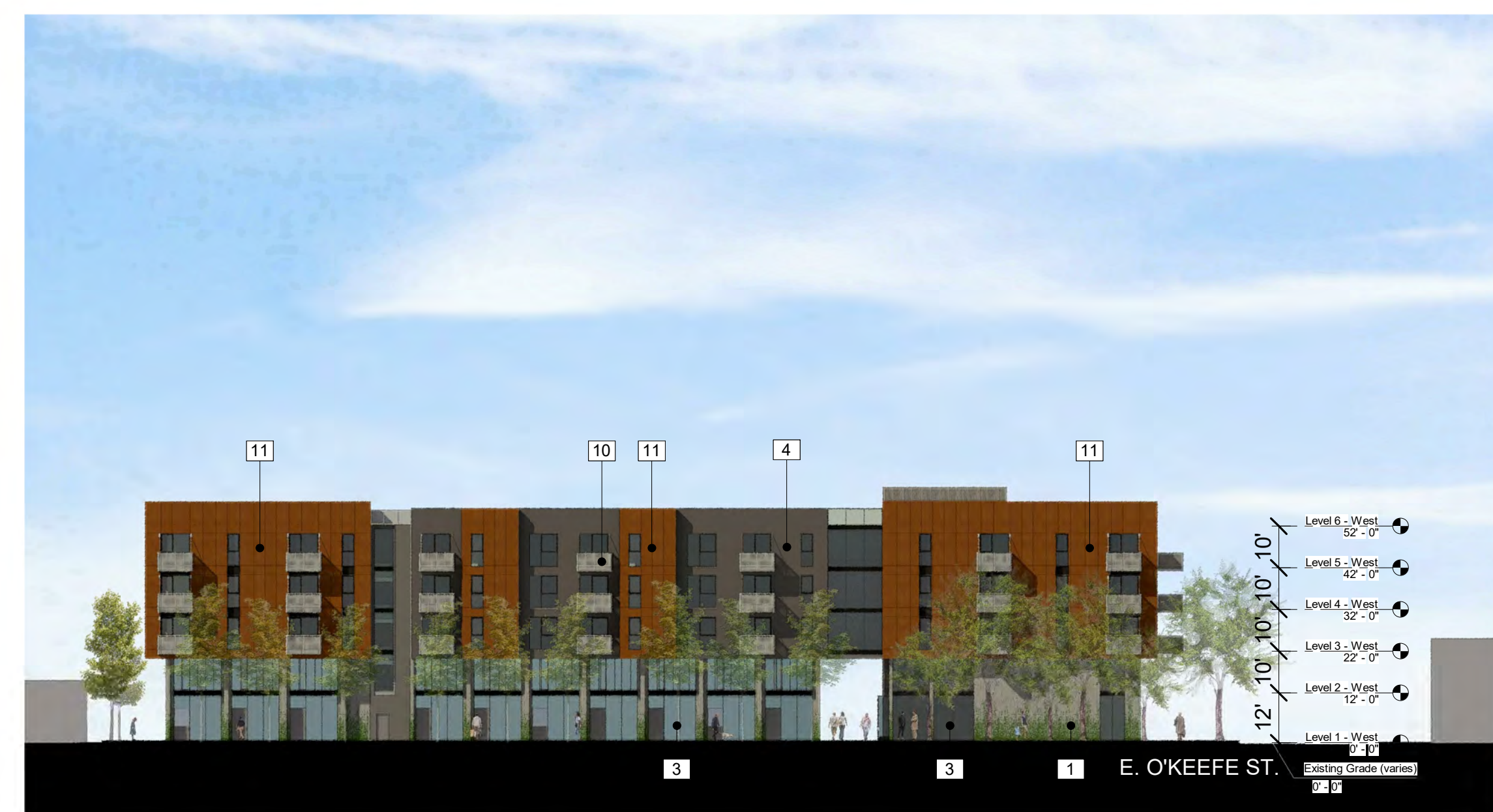
- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
- 10 - Balconies with Perforated Metal Guardrails
- 11 - Corten Steel Panels
- 12 - Smooth Concrete



3 Manhattan Ave. Elevation - East Building
1" = 30'-0"



2 East O'Keefe St. Elevation - West Building
1" = 30'-0"



1 Euclid Ave. Elevation - West Building
1" = 30'-0"

Issuances	
Description	Date
Entitlements Submission	09/25/2019

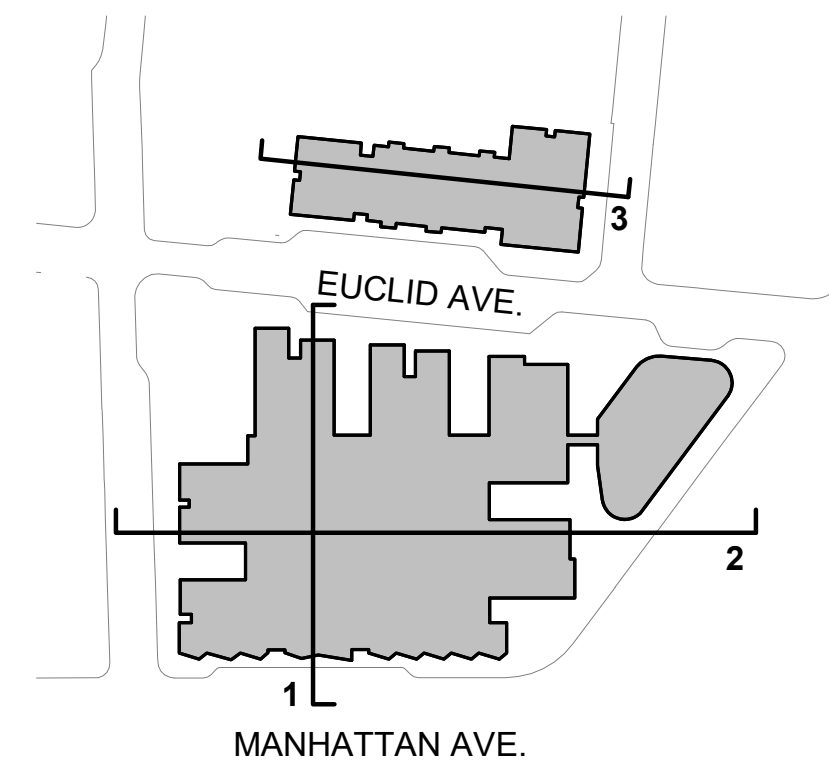
Revisions	
Rev.	Date

Set Title
Application -
September 2019

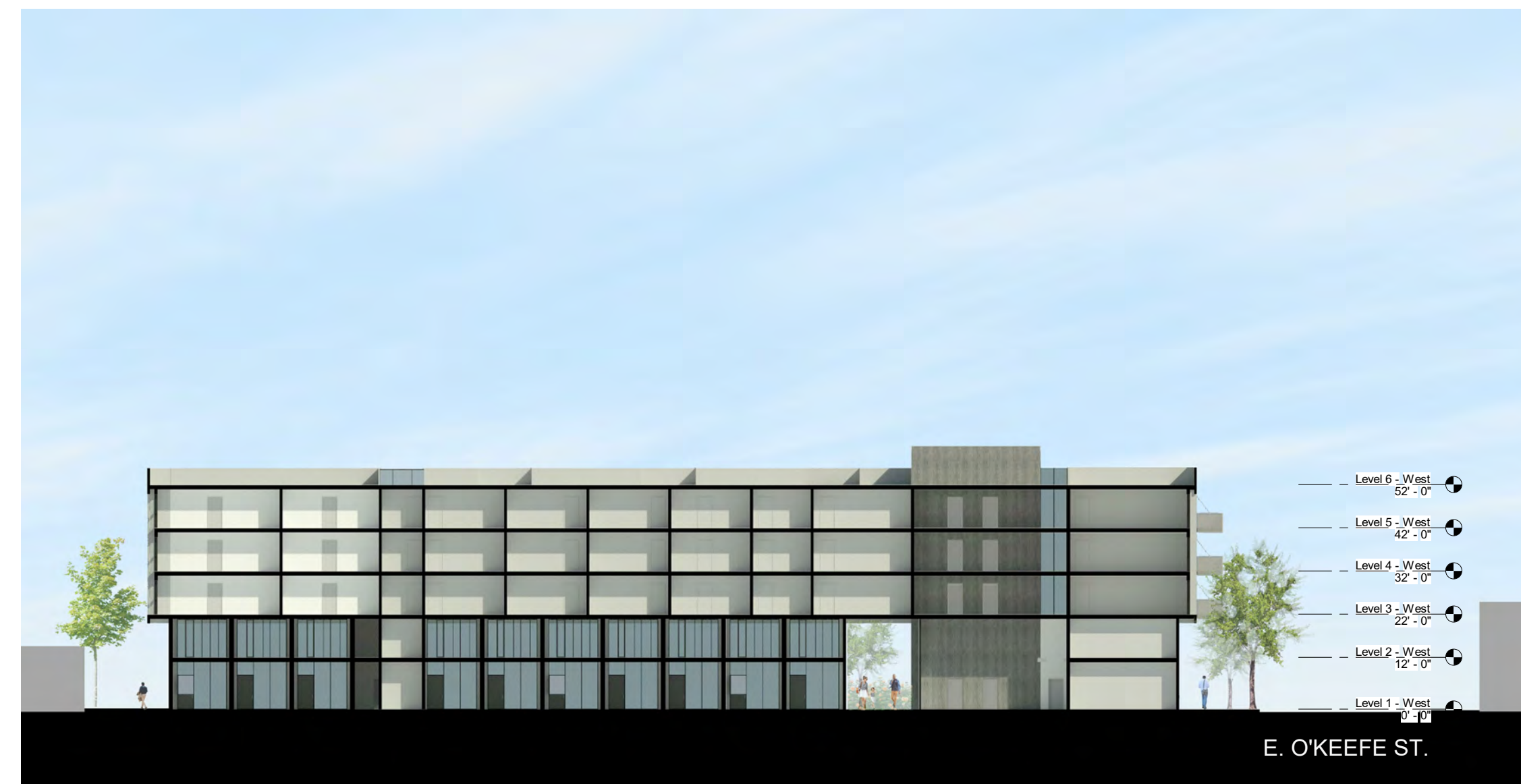
Drawing Title
BUILDING
ELEVATIONS

Sheet No.
A301

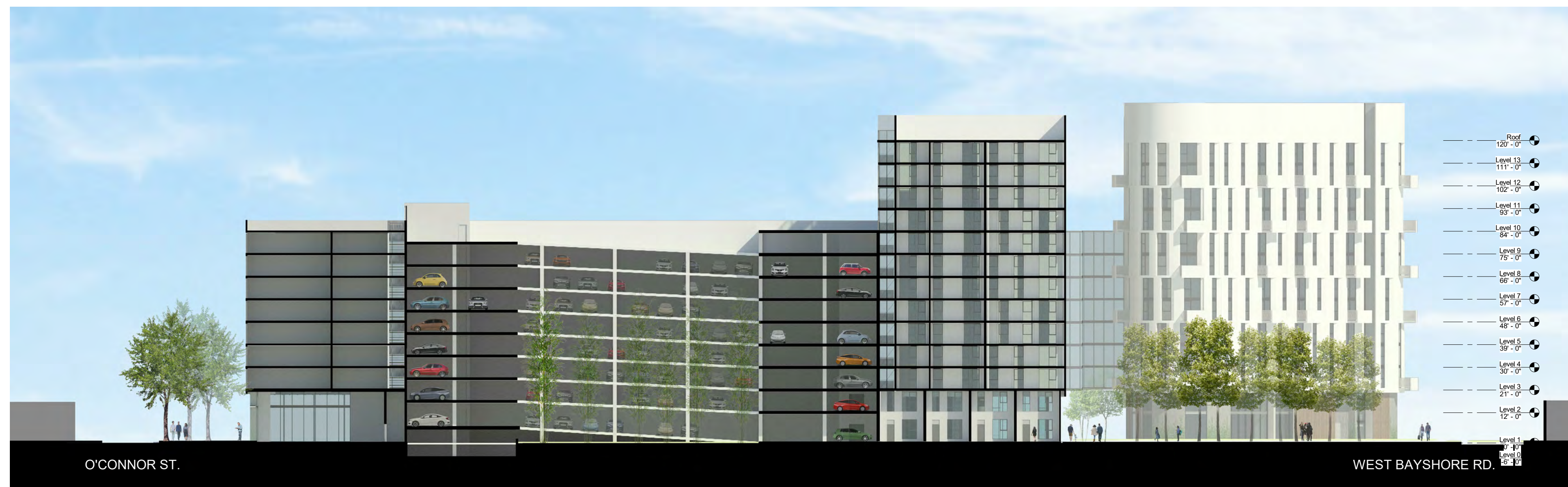
Date 09-25-2019
Project No. 21620



Key Plan
1" = 160'-0"



3 Building Section - N/S West Building
1" = 30'-0"



2 Building Section - N/S
1" = 30'-0"



1 Building Section - EW
1" = 30'-0"

Woodland Park Euclid Improvements



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Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title
Application -
September 2019

Drawing Title
**BUILDING
SECTIONS**

Sheet No.
A302

Date 09-25-2019
Project No. 21620

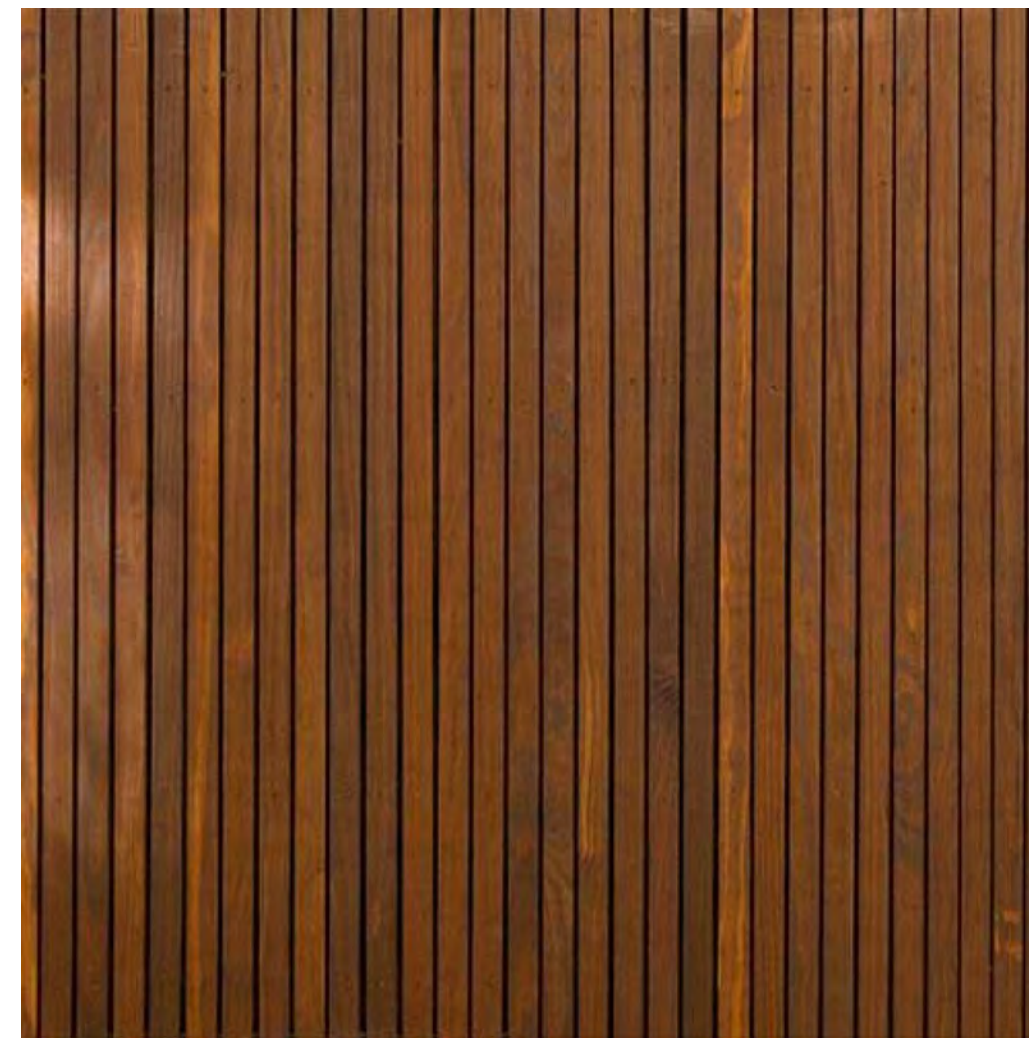
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1 - Textured Concrete with Vine Cover



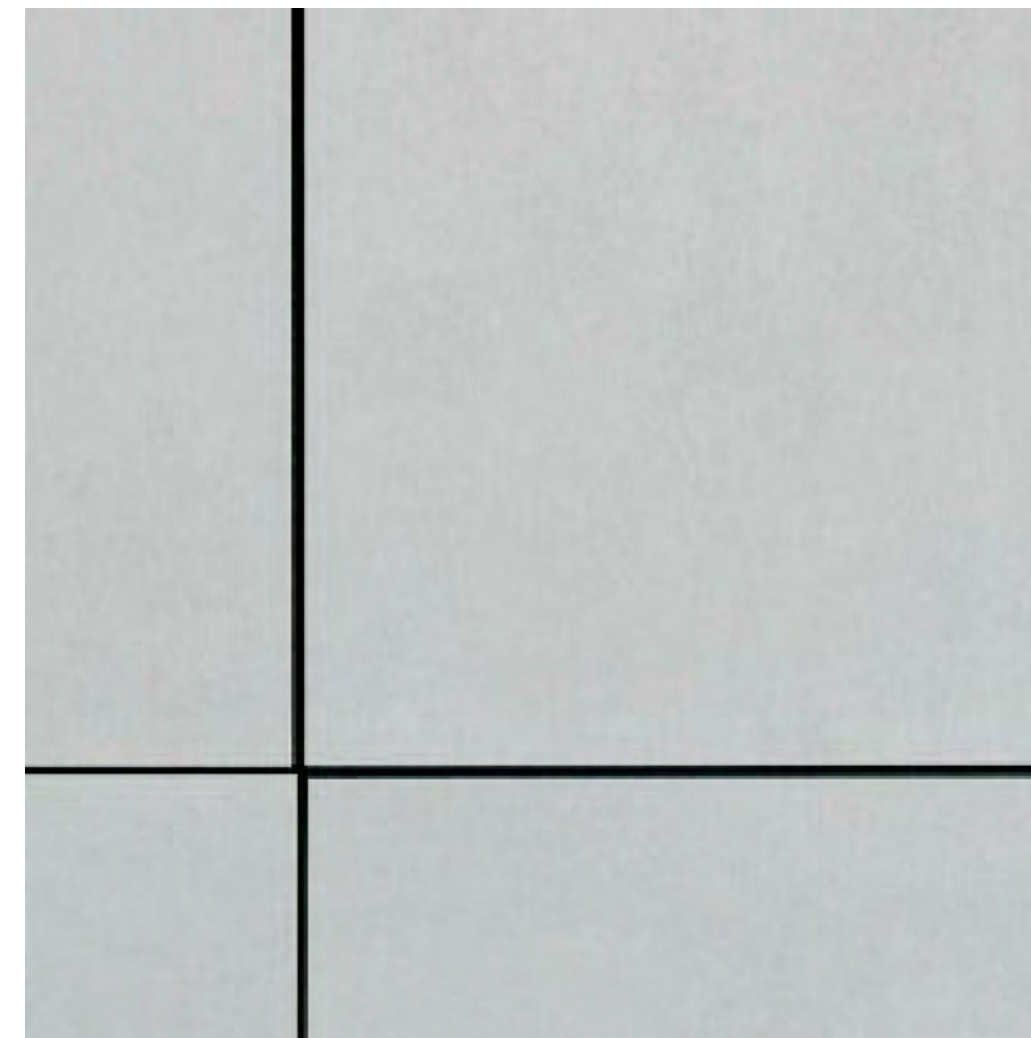
2 - Vertical Wood Siding



3 - Storefront System



4 - Cement Board (Dark)



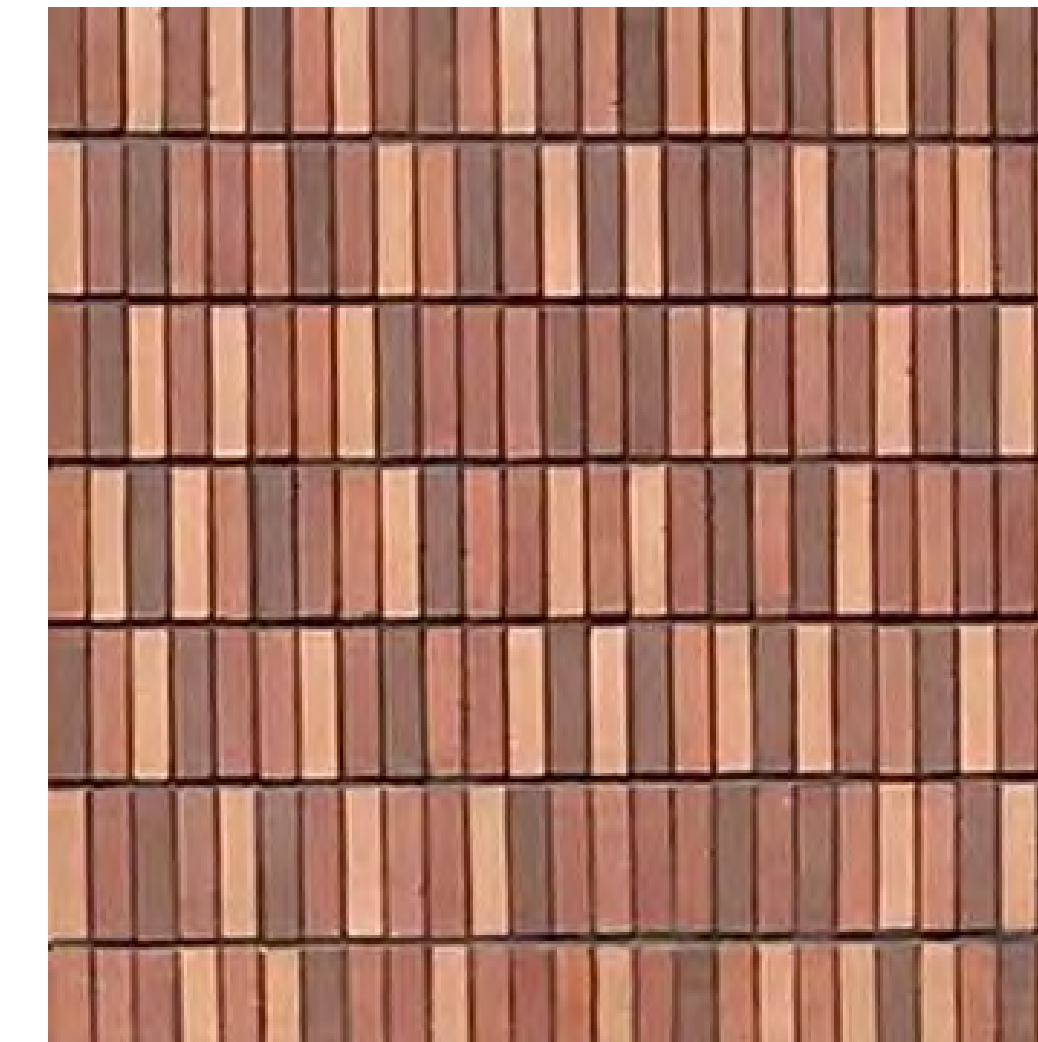
5 - Cement Board (Light)



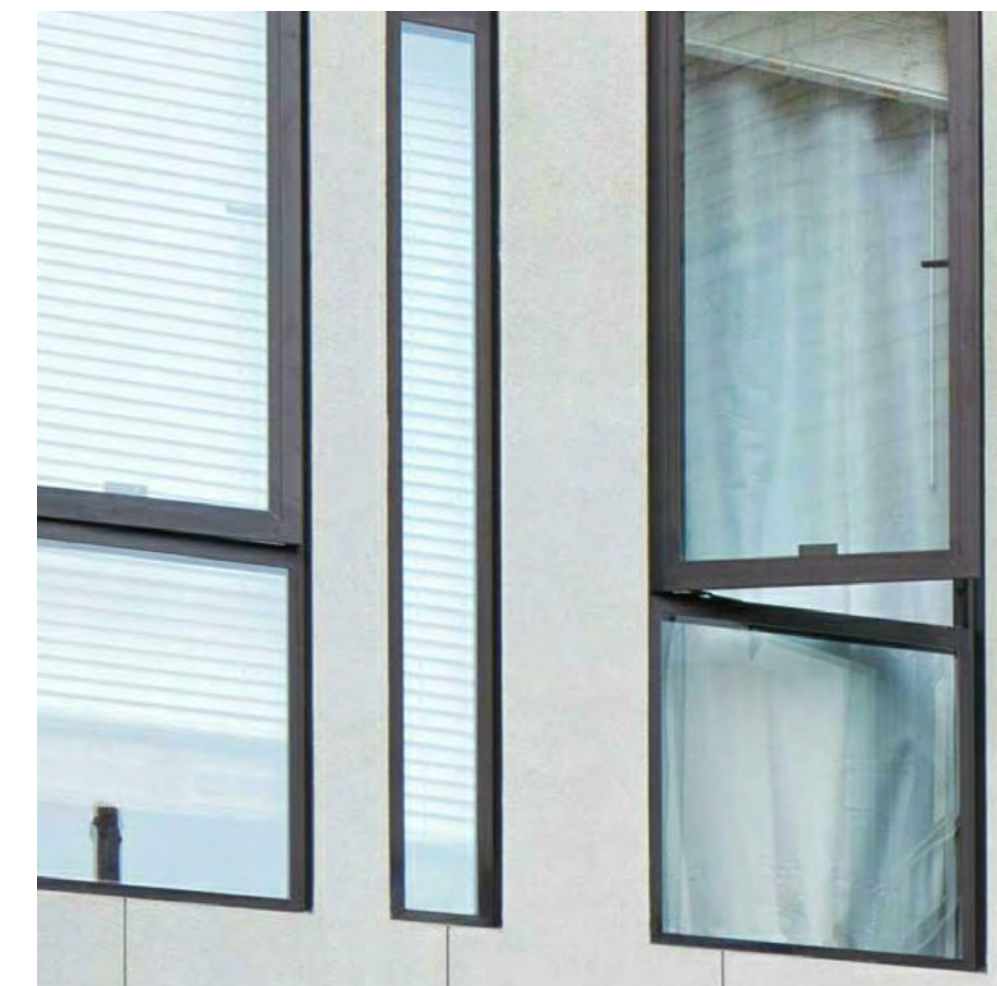
6 - Perforated Metal Screen (Painted)



7 - GFRC



8 - Thin Brick



9 - Aluminum Windows



10 - Balconies with Perforated Metal Guardrails



11 - Corten Steel Panels



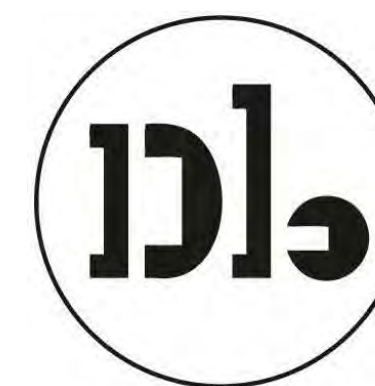
12 - Smooth Concrete

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title
Application -
September 2019
Drawing Title
EXTERIOR
MATERIALS

Sheet No.
A303
Date 09-25-2019
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EAST PALO ALTO DEVELOPMENT CODE 18.08.010:

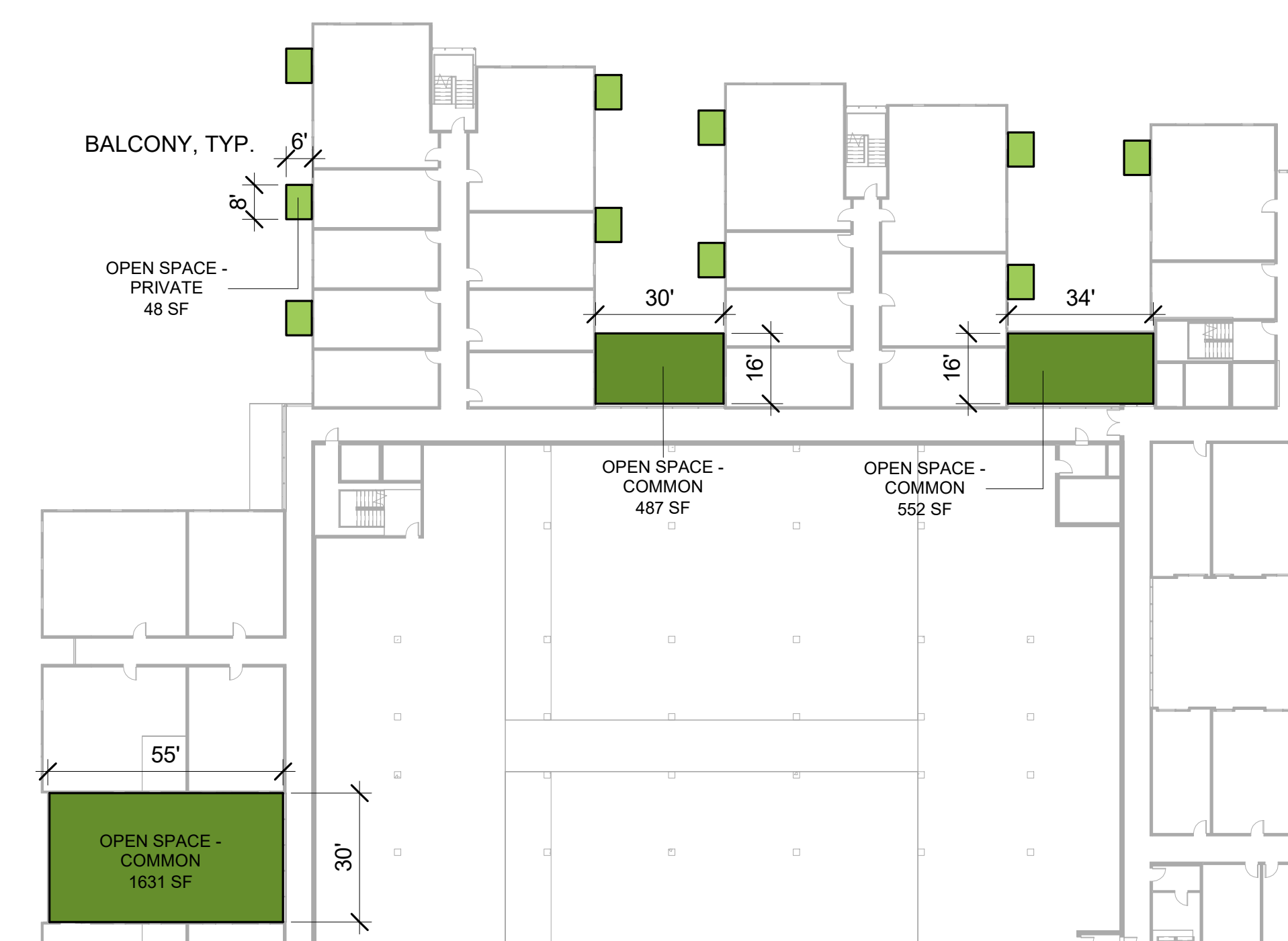
Common Open Space. The land area within a residential or nonresidential development not individually owned or dedicated for public use and designed, intended, and reserved exclusively for the shared enjoyment and use by all the residents and their guests. Does not include enclosed spaces/facilities (e.g., community center, meeting rooms, etc.)

Private Open Space. An outdoor or unenclosed area directly adjoining and accessible to a dwelling unit, reserved for the exclusive private enjoyment and use of residents of the dwelling unit and their guests (e.g., balcony, deck, porch, terrace, etc.). Boundaries are evident through the use of fences, gates, hedges, walls, or other similar methods of controlling access and maintaining privacy.

Publicly Accessible / Usable Open Space. An outdoor or unenclosed area within a residential development on the ground, or on a roof, balcony, deck, porch or terrace, designed and accessible for outdoor living, active or passive recreation, pedestrian access, or landscaping. Parking facilities, driveways, utility or service areas and submerged land do not constitute usable open space.



① LEVEL 1 PLAN - OPEN SPACE DIAGRAM
1" = 40'-0"



② LEVEL 3 PLAN - OPEN SPACE DIGRAM
1" = 30'-0"

OPEN SPACE - PROVIDED

COMMON:

Level 1	OPEN SPACE - COMMON	9,102 SF
Level 3	OPEN SPACE - COMMON	2,669 SF
		11,771 SF

PRIVATE:

UNIT ENTRIES

Level 1	OPEN SPACE - PRIVATE	8,314 SF
		8,314 SF

PRIVATE BALCONIES

Level 3	OPEN SPACE - PRIVATE	36	1,694 SF
Level 4	OPEN SPACE - PRIVATE	30	1,434 SF
Level 5	OPEN SPACE - PRIVATE	31	1,482 SF
Level 6	OPEN SPACE - PRIVATE	24	1,169 SF
Level 7	OPEN SPACE - PRIVATE	16	762 SF
Level 8	OPEN SPACE - PRIVATE	24	1,168 SF
Level 9	OPEN SPACE - PRIVATE	16	762 SF
Level 10	OPEN SPACE - PRIVATE	9	455 SF
Level 12	OPEN SPACE - PRIVATE	9	454 SF
		195	9,379 SF

USABLE / PUBLIC:

Level 1	OPEN SPACE - USABLE	38,678 SF
		38,678 SF

HATCHED REGION INDICATES "FLEX" MULTIPURPOSE PUBLIC OPEN SPACE
 LEVEL 1 - 14,930 SF PROVIDED

TOTAL OPEN SPACE PROVIDED: 68,142 SF + 14,930 SF* = 83,072 SF TOTAL

* "FLEX" MULTIPURPOSE PUBLIC OPEN SPACE

Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title

Application -
September 2019

Drawing Title

OPEN SPACE
DIAGRAMS

Sheet No.

A400

Date 09-25-2019
Project No. 21620



LEGEND:

PAVING		
KEY	SYMBOL	DESCRIPTION / LOCATION
P1		DECOMPOSED GRANITE
P2		GRAVEL
P3		CIP CONCRETE
P4		ASPHALT BLOCK PAVER
P5		CIP COLORED CONCRETE
P6		STONE PAVERS
P7		ECO GRID PAVERS AT PARKING
FURNISHINGS		
KEY	SYMBOL	DESCRIPTION / LOCATION
F1		WOOD BENCH
F2		PICNIC TABLE
F3		BBQ GRILL
F4		CUSTOM PLAY AND SEATING STRUCTURE
F5		CURVED CONCRETE BENCH
F6		GARDEN BED
F7		BIKE RACK / BOLLARD
PLANT LIST		
TREES		
KEY	SYMBOL	COMMON NAME
		PROTECTED TREE
FRAM		WHITE ASH
ARMA		MARINA STRAWBERRY TREE
QUDO		BLUE OAK
PIXR		RED PUSH PISTACHE
QUKI		KINDRED SPIRIT OAK
PAPE		IRONWOOD
GROUNDCOVERS, PERENNIALS, SHRUBS		
KEY	SYMBOL	COMMON NAME
		GROUND COVER
		GRASSES
		SHRUBS
		ECO TURF
		TURF

PA PLANTING AREA

NOTES:

- FOR PLANTING SPECIES, REFER TO PLANTING PLAN AND PLANT LIST.

Woodland Park Euclid Improvements



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Application - September 2019
 Drawing Title
Landscape Site Plan

Sheet No.
L-1.1

Date	25 September, 2019
Project No.	21620

Woodland Park Euclid Improvements



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Application -
September 2019

Drawing Title

Tree Protection
& Removal Plan

Sheet No.

T-1.1

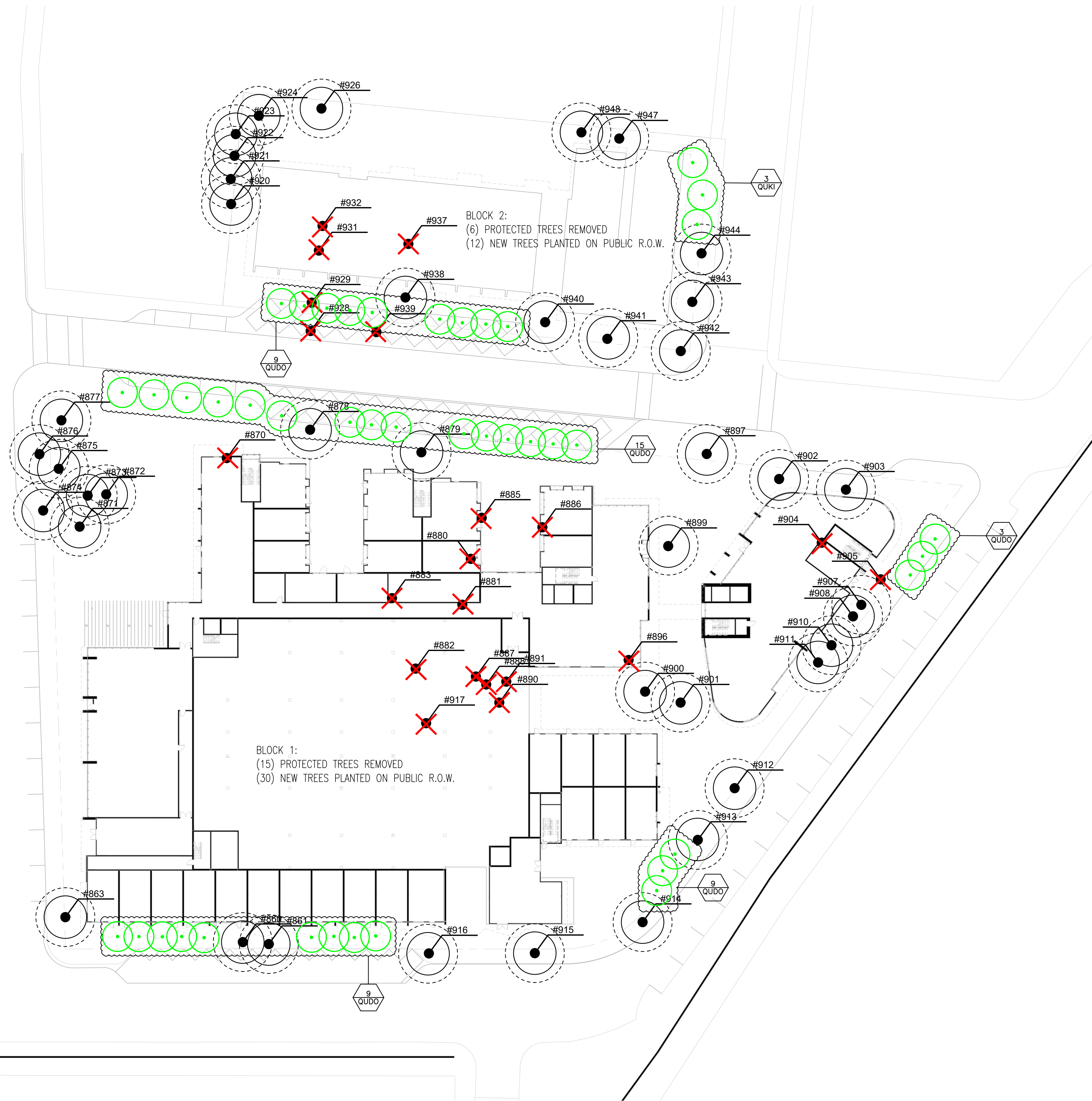
Date 25 September, 2019
Project No. 21620

LEGEND:

- #000 PROTECTED TREE TO BE PRESERVED
- #000 PROTECTED TREE TO BE REMOVED
- NEW REPLACEMENT TREE
- TREE QUANTITY IN AREA
- TREE SPECIES KEY, REFER TO PLANT LIST FOR TREE SPECIES

NOTES:

1. FOR LANDSCAPE MATERIALS, REFER TO SITE PLAN.
2. FOR FULL PLANT LIST, REFER TO LANDSCAPE SCHEDULES.
3. FOR TREE PRESERVATION LIST, REFER TO TREE PROTECTION AND REMOVALS LIST.



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LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- W - W (E)WATER LINE
- SS - SS (E)SANITARY SEWER LINE
- SD - SD (E)STORM DRAIN LINE
- (E)CATCH BASIN
- (E)FIRE HYDRANT
- (E)MANHOLE

ABBREVIATIONS:

- (E) EXISTING
- TYP TYPICAL
- CB CATCH BASIN
- FH, HYD FIRE HYDRANT
- MH MANHOLE
- MISC MISCELLANEOUS
- W WATER
- SS SANITARY SEWER
- SD STORM DRAIN

BASIS OF BEARING:

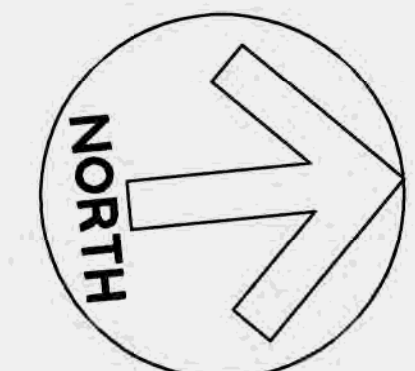
THE BEARING NORTH 88°27'00" EAST OF THE NORTHERLY LINE OF WEEKS STREET AS SAID BEARING IS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON SEPTEMBER 6, 1995 IN BOOK 16 OF L.L.S. MAPS AT PAGE 25, RECORDS OF SAN MATEO COUNTY, WAS HELD AS THE BASIS OF BEARINGS OF THIS SURVEY.

BENCHMARK:

CITY OF EAST PALO ALTO BENCHMARK: BM-5
 DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN LANDSCAPING AT SOUTH EDGE OF NEWBRIDGE STREET SIDEWALK NEAR INTERSECTION WITH BAY ROAD AND 100' WESTERLY OF BUS STOP.
 ELEVATION = 16.81 FEET, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

NOTES:

- EXISTING CONDITIONS OBTAINED FROM AERIAL SURVEY DATED 11/09/2016.
- FEMA FLOOD HAZARD INFORMATION: FLOOD ZONE X, AREAS OF MINIMAL FLOOD HAZARD, PER MAP NUMBER 06081C0309F, PANEL 309 OF 510, DATED APRIL 5, 2019.
- PROPERTY LINES ARE SHOWN FOR REFERENCE AND ARE NOT RESOLVED.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
- SEE LANDSCAPING TREE DISPOSITION PLAN FOR ALL EXISTING TREES TO BE REMOVED OR TO REMAIN.



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**EXISTING
 CONDITIONS AND
 DEMOLITION PLAN**

Sheet No.
C1.0

Date 2019-09-18
 Project No. 20166089-20



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Application -
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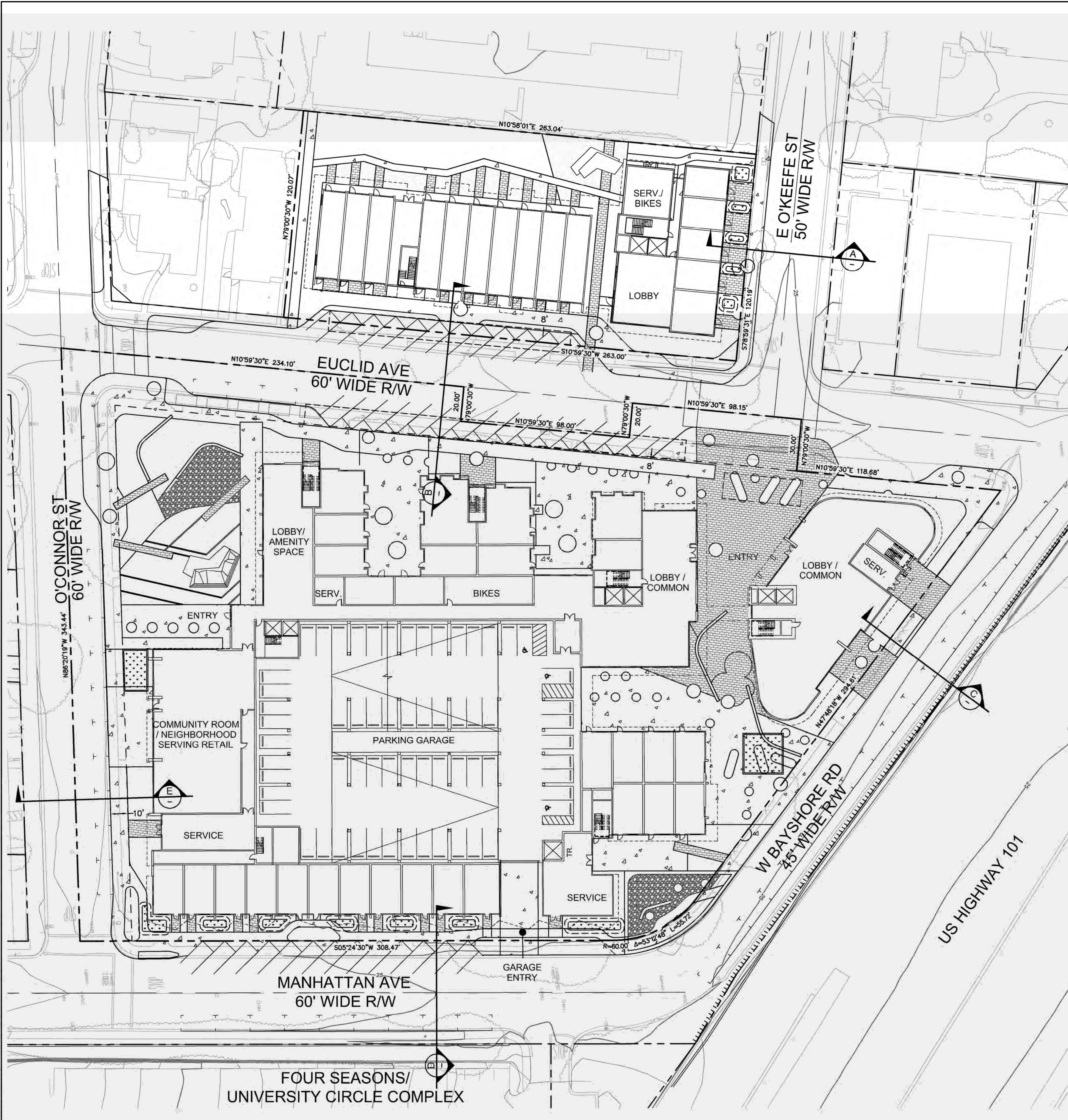
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PRELIMINARY SITE
PLAN

Sheet No.

C2.0

Date 2019-09-18
Project No. 20166089-20

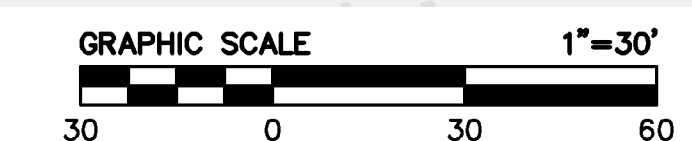
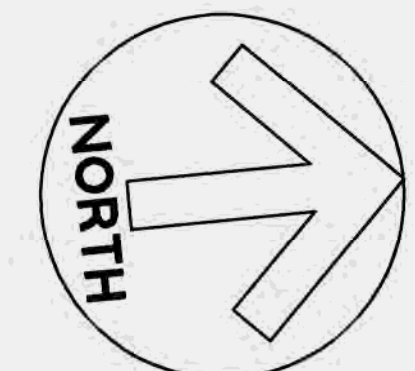
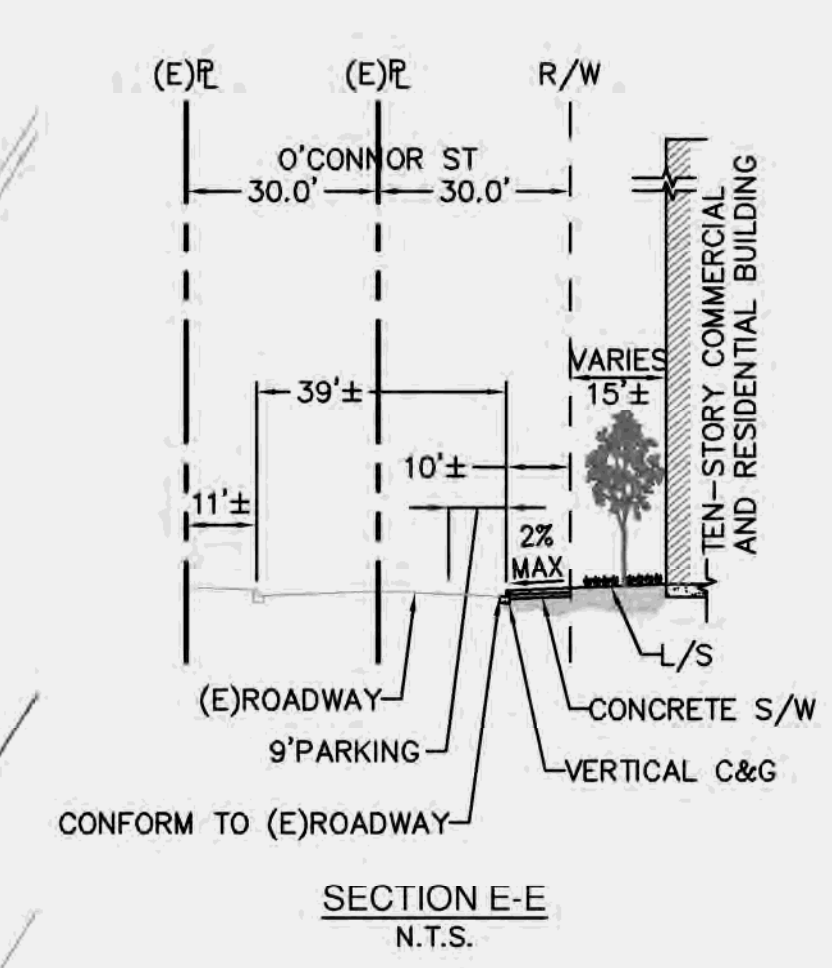
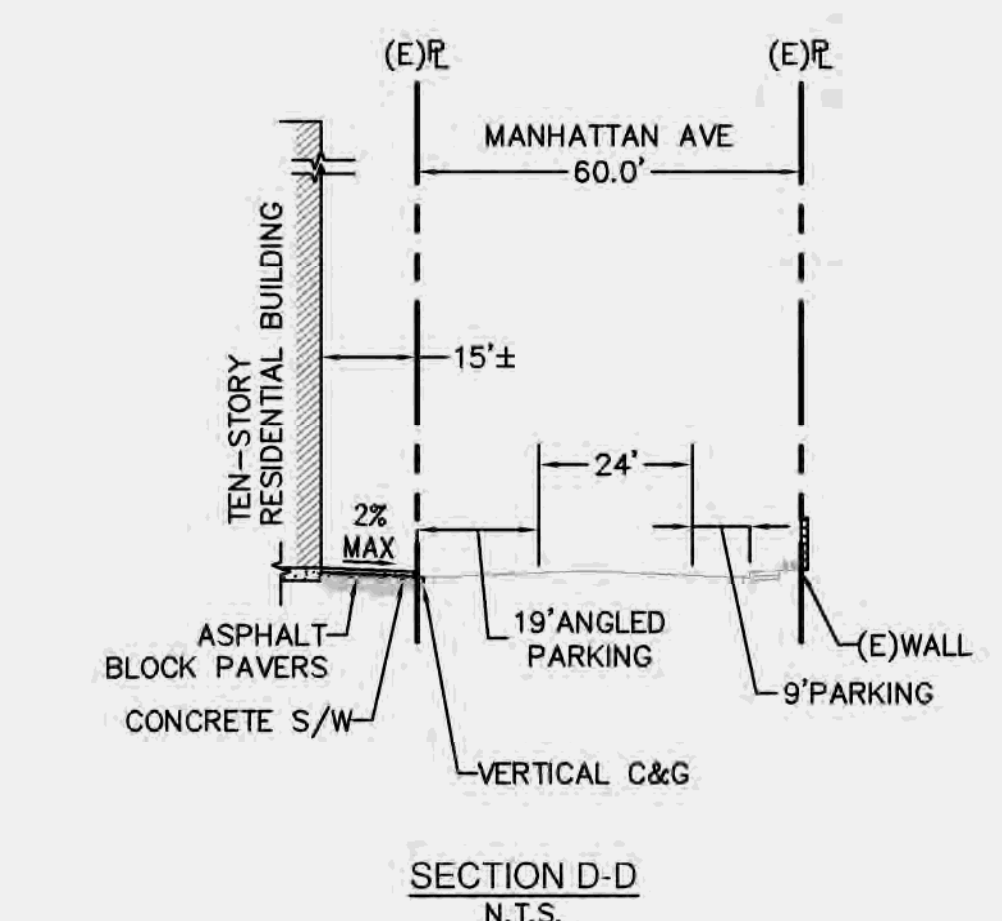
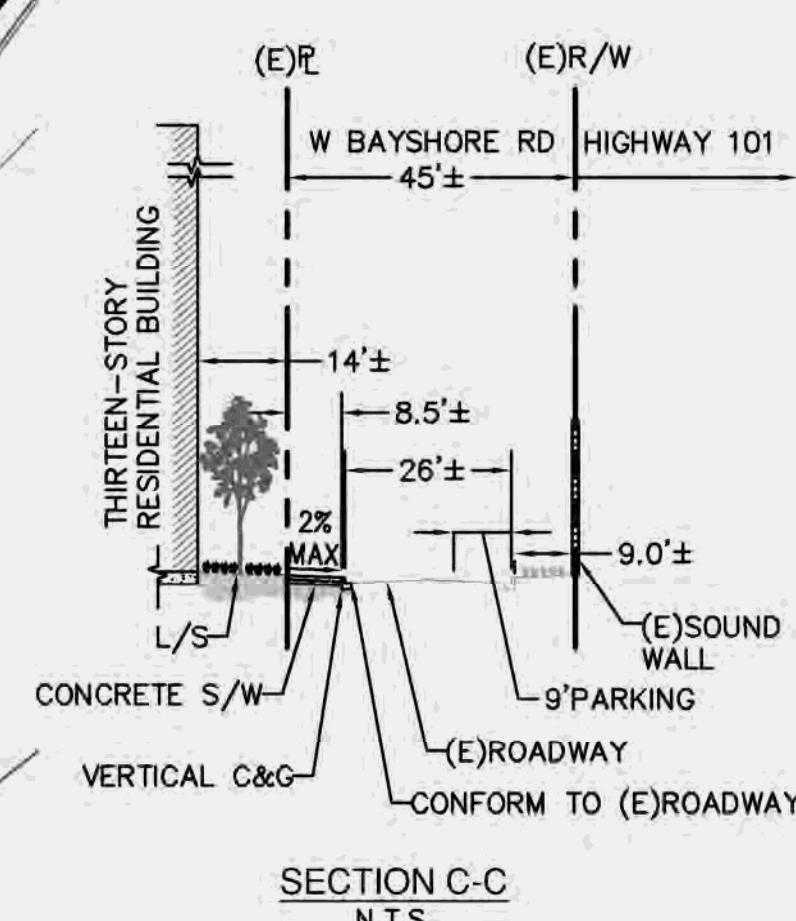
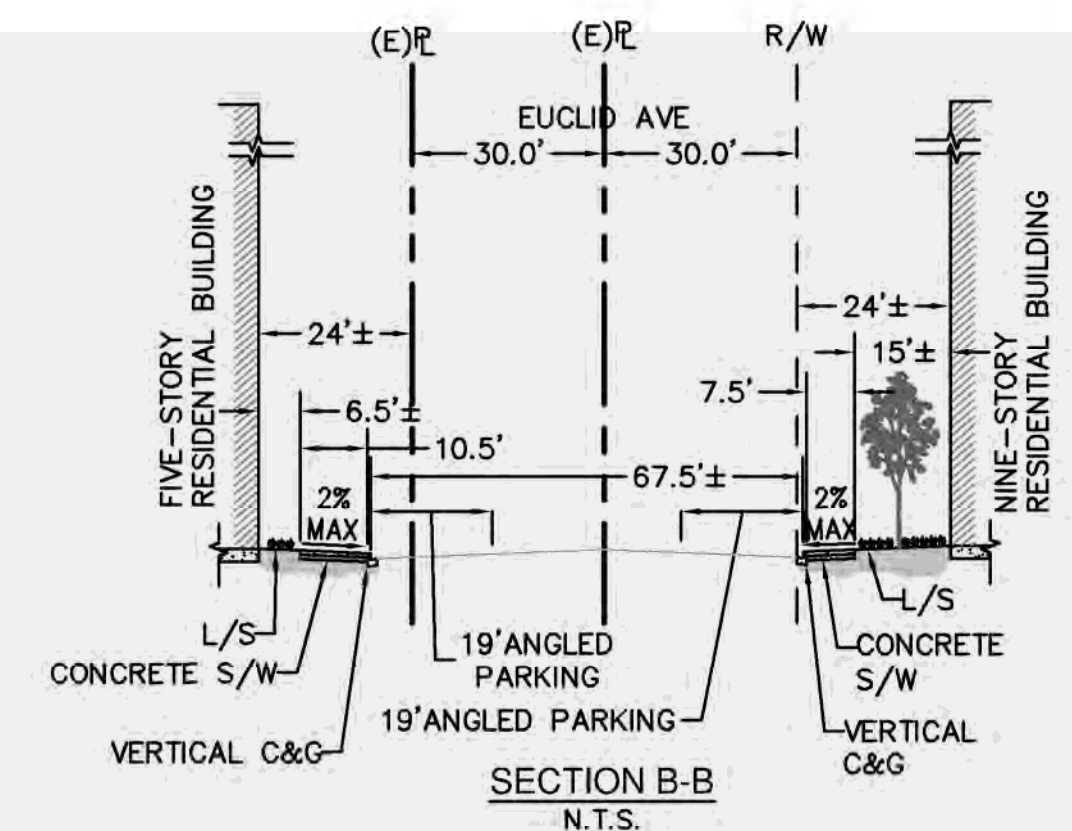
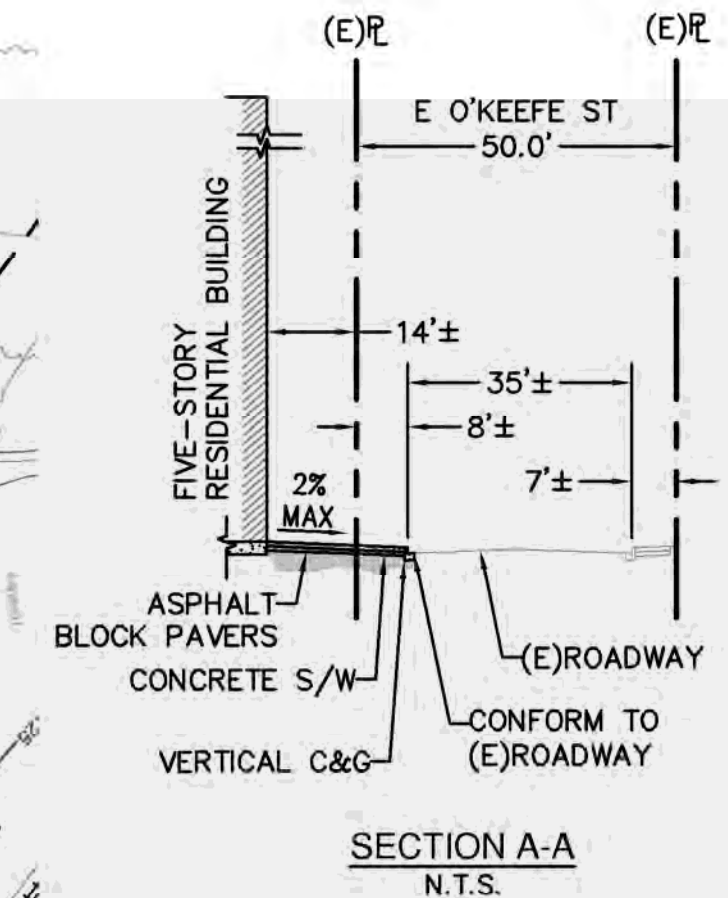


ABBREVIATIONS:

- C&G CURB AND GUTTER
- E EAST
- (E) EXISTING
- L/S LANDSCAPING
- NTS NOT TO SCALE
- PL PROPERTY LINE
- R/W RIGHT OF WAY
- SLP SEE LANDSCAPE PLANS
- S/W SIDEWALK
- W WEST

LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- [Pattern] CONCRETE (SLP)
- [Pattern] PAVERS (SLP)
- [Pattern] BIORETENTION
- [Pattern] GRAVEL (SLP)



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PRELIMINARY
GRADING AND
DRAINAGE PLAN

Sheet No.

C3.0

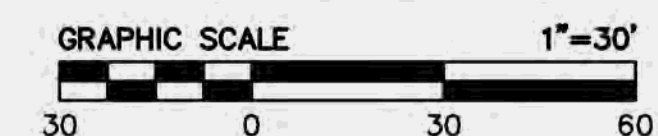
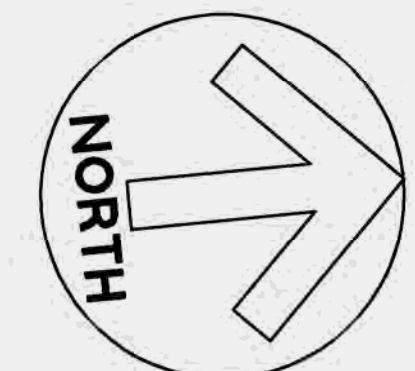
Date 2019-09-18
Project No. 20166089-20

- LEGEND:**
- GRADE BREAK
 - X% SLOPE
 - PV26.5 SPOT ELEVATION
 - (PV26.0±) SPOT ELEVATION, CONFORM TO EXISTING
 - PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT

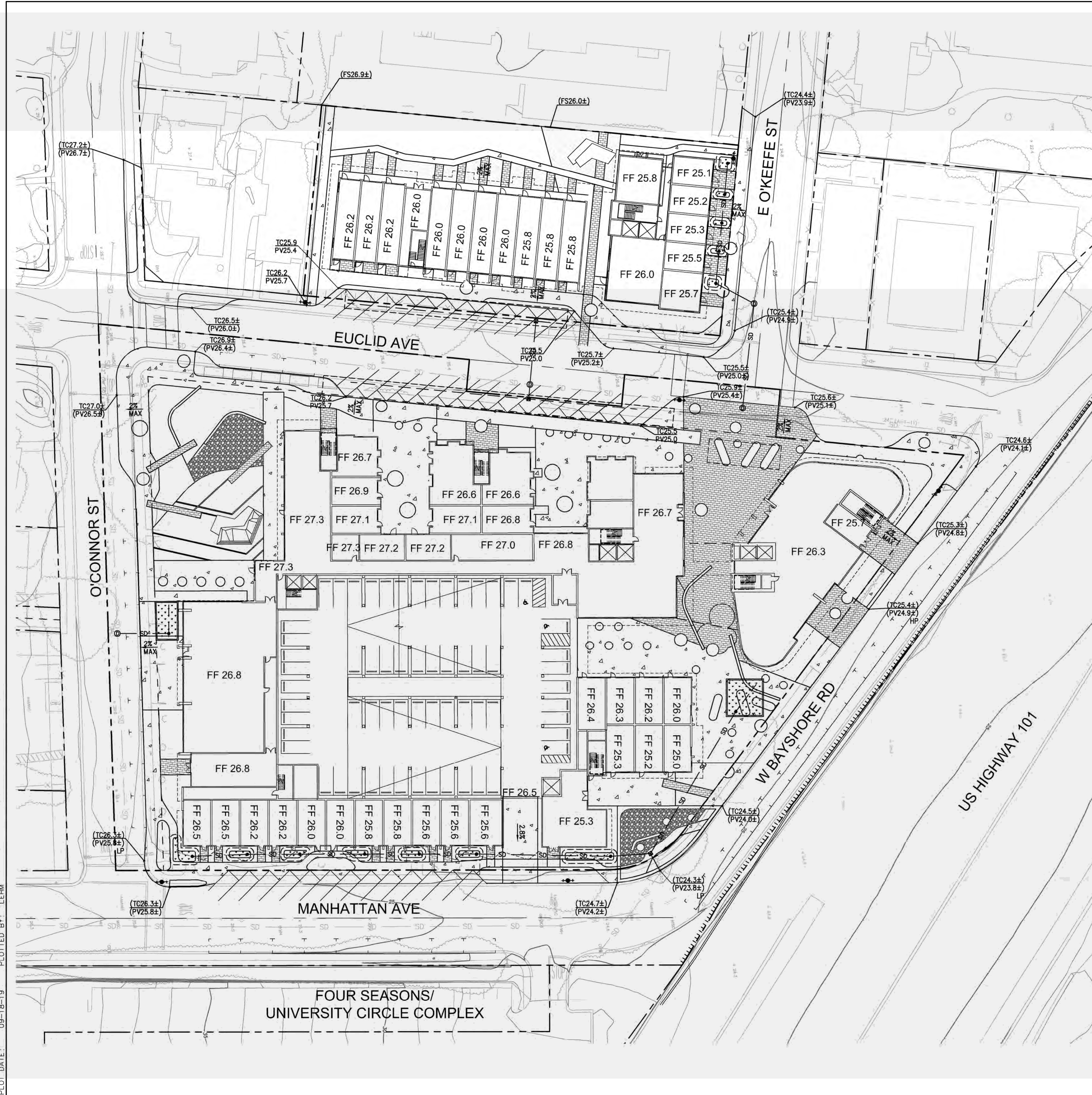
- ABBREVIATIONS:**
- ADA AMERICANS WITH DISABILITIES ACT
 - BLDG BUILDING
 - BW BACK OF SIDEWALK
 - EX EXISTING
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FL FLOWLINE
 - FS FINISHED SURFACE
 - HP HIGH POINT
 - LP LOW POINT
 - MA MATCH
 - MAX MAXIMUM
 - MIN MINIMUM
 - PV PAVEMENT
 - TC TOP OF CURB

GRADING NOTES:

- UNLESS OTHERWISE NOTED, ALL EXTERIOR DOORWAYS AND ACCESSIBLE PATHS OF TRAVEL SHALL BE ADA COMPLIANT.
- SLOPES ALONG ACCESSIBLE PATHS OF TRAVEL SHALL NOT EXCEED A RUNNING SLOPE OF 1:20 OR A CROSS SLOPE OF 1:48. ACCESSIBLE WALKS AND SIDEWALKS SHALL BE 48" WIDE, MINIMUM. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.
- CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO PERFORM CORRECTIVE GRADING AT NO EXTRA COST TO THE OWNER.
- IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 8" BELOW WOOD FRAMING AND SHEATHING THAT IS NOT NATURALLY DURABLE OR PRESERVATIVE-TREATED.
- LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 5% FOR THE FIRST 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALE USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
- UNDERGROUND SERVICE ALERT (USA) SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- ANY LAND DISTURBING ACTIVITIES OCCURRING BETWEEN OCTOBER 1ST AND APRIL 30TH ARE RESTRICTED BY THE CITY. A DETAILED EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED FOR ACTIVITIES OCCURRING DURING THIS PERIOD AND APPROVAL IN WRITING BY THE CITY ENGINEER.
- GRADING ACTIVITIES AND ASSOCIATED NOISE SHALL BE LIMITED TO WEEK DAYS BETWEEN THE HOURS OF 8AM TO 5PM. NO GRADING ACTIVITIES ARE TO OCCUR ON SATURDAYS AND SUNDAYS, WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- PER THE GEOTECHNICAL FEASIBILITY STUDY PREPARED BY GEOSPHERE CONSULTANTS, INC, DATED DECEMBER 27, 2017: THE HISTORICAL HIGH GROUNDWATER DEPTH IS ESTIMATED TO BE ON THE ORDER OF 13 FEET AT THE PROJECT SITE. DURING SITE INVESTIGATIONS, GROUNDWATER WAS ENCOUNTERED AT DEPTHS OF 15 TO 16 FEET BELOW EXISTING SURFACE (APPROXIMATE ELEVATION OF 7-10 FEET).

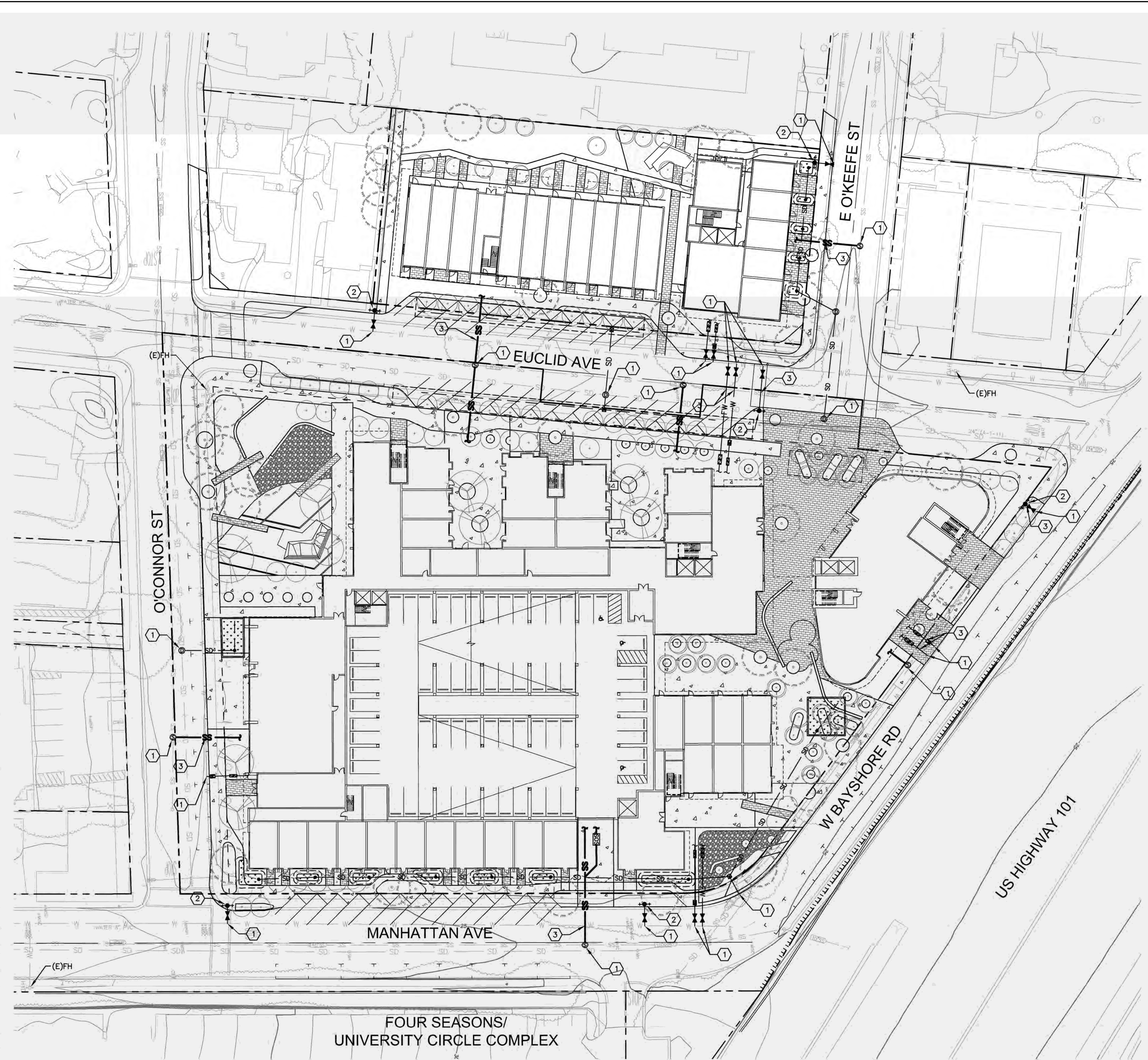


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FOUR SEASONS/
UNIVERSITY CIRCLE COMPLEX

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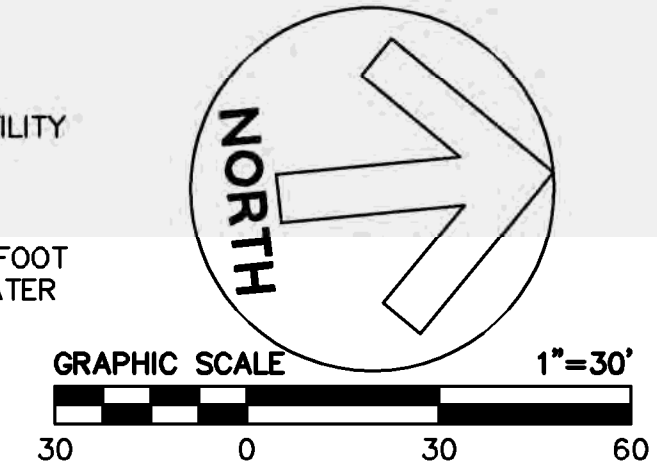


- LEGEND:**
- SS — SANITARY SEWER LINE
 - ⊙ SANITARY SEWER MANHOLE
 - SD — STORM DRAIN LINE
 - - - SD PERFORATED PIPE
 - ⊠ SD JUNCTION BOX
 - SD OVERFLOW DRAIN
 - ⊙ STORM DRAIN MANHOLE
 - W — DOMESTIC WATER LINE
 - FW — FIRE WATER LINE, SEE NOTE 6
 - ⊠ BACKFLOW PREVENTER
 - ⊠ WATER METER
 - ⊠ WATER VALVE
 - ⊠ FIRE HYDRANT
 - ▨ BIORETENTION AREA

- ABBREVIATIONS:**
- BFP BACKFLOW PREVENTOR
 - CB CATCH BASIN
 - EX (E) EXISTING
 - FW FIRE WATER
 - HYD, FH FIRE HYDRANT
 - MH MANHOLE
 - PVC POLYVINYL CHLORIDE
 - SD STORM DRAIN
 - SDCO STORM DRAIN CLEANOUT
 - SDMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SMH SANITARY SEWER MANHOLE
 - W WATER
 - WM WATER METER

- UTILITY NOTES:**
1. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
 2. NO EXISTING UTILITY SERVICES WILL BE REUSED. ALL EXISTING SERVICES WILL BE REMOVED TO THE PROPERTY LINE AND ABANDONED OR REMOVED PER CITY STANDARDS.
 3. ALL WORK DONE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER SEPARATE PERMIT.
 4. SEE JOINT TRENCH PLANS FOR ALL DRY UTILITIES AND JOINT TRENCH INFORMATION.
 5. SEE MEP PLANS FOR CONTINUATION AT BUILDING POINT OF CONNECTION.
 6. NEW FIRE WATER SERVICE FOR REFERENCE ONLY. FINAL DESIGN BY FIRE PROTECTION ENGINEER.
 7. CONTRACTOR TO VERIFY ALL (E)UTILITY TIE-IN LOCATIONS AND CROSSINGS BY POTHOLING PRIOR TO INSTALLATION.
 8. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
 9. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES AND 1 FOOT VERTICAL WATER ABOVE SEWER WHERE LINES CROSS. WATER AND SEWER LINES SHALL NOT CROSS AT LESS THAN 45 DEGREES TO EACH OTHER.
 10. UTILITY TRENCHES SHALL USE TRENCH SAND AROUND ALL UTILITIES CONFORMING TO APPROPRIATE STANDARDS SUCH AS PG&E, CALIFORNIA AMERICAN WATER COMPANY STANDARDS, AND SAN MATEO COUNTY PUBLIC WORKS STANDARDS.
 11. THE CITY OF EAST PALO ALTO ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OR CONNECTION FOR INSPECTION OF ANY UTILITIES CONNECTING TO MUNICIPAL FACILITIES.
 12. EAST PALO ALTO SANITARY DISTRICT SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OF CONNECTION FOR INSPECTION OF SEWER LINES AND CONNECTIONS. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 13. PACIFIC GAS & ELECTRIC, COMCAST, AT&T, AND ALL OTHER APPROPRIATE UTILITIES COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO INSTALLATION TO SCHEDULE ANY REQUIRED INSPECTIONS, OR AS REQUIRED BY SAID UTILITIES. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 14. ALL EXISTING WATER MAINS SHALL BE REPAIRED AND TESTED TO THE SATISFACTION OF AMERICAN WATER ENTERPRISES AND THE CITY ENGINEER.
 15. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO EAST PALO ALTO SUBDIVISION REGULATIONS, SAN MATEO COUNTY STANDARD DETAILS FOR PUBLIC WORKS, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS, GREEN BOOK STANDARD SPECIFICATIONS, AMERICAN WATER COMPANY CODE, EAST PALO ALTO SANITARY DISTRICT SEWER CODE, FIRE CODE, AND OTHER APPLICABLE UTILITY STANDARDS WITHIN THEIR RESPECTIVE JURISDICTIONS.

- KEY NOTES:**
- ① CONNECT TO EXISTING UTILITY
 - ② NEW FIRE HYDRANT
 - ③ MAINTAIN MINIMUM OF 1 FOOT SEPARATION BETWEEN WATER OVER SEWER



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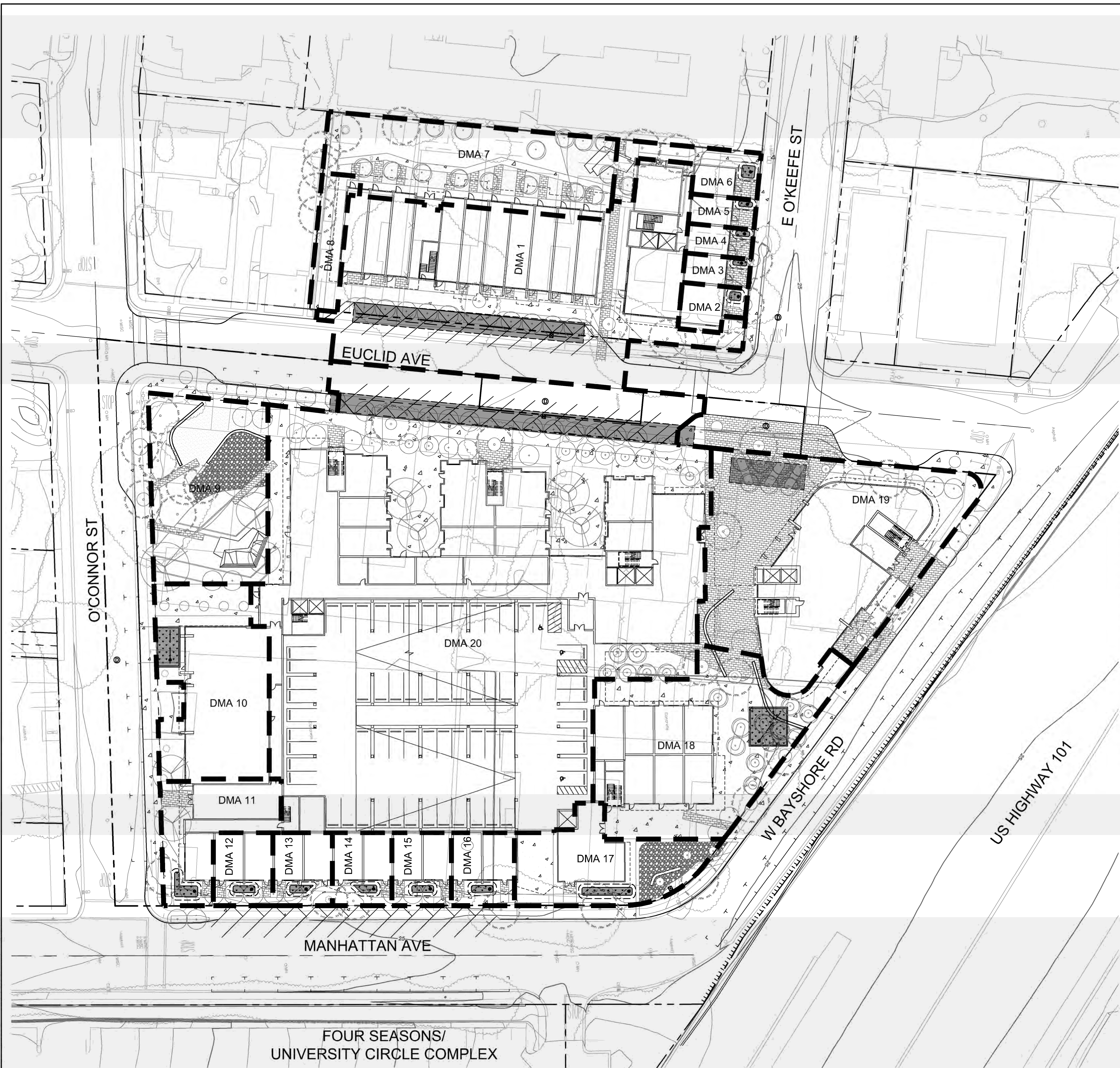
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Drawing Title
**PRELIMINARY
UTILITY PLAN**

Sheet No.
C4.0

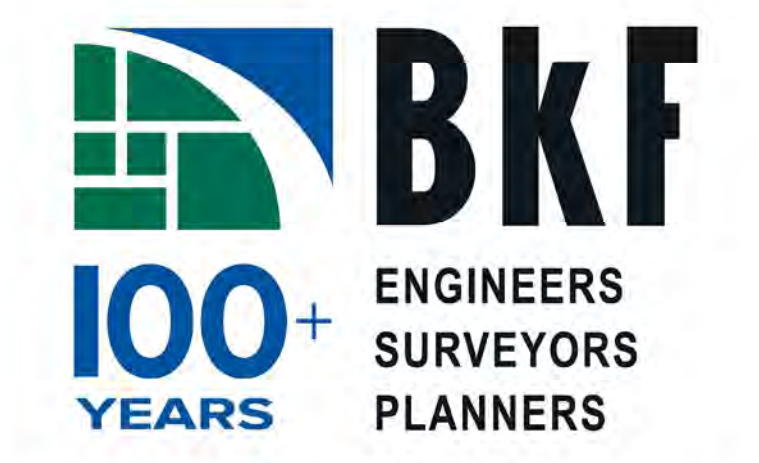
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Drainage Management Areas (DMA's) and Integrated Management Practice (IMP) Sizing				
DMA/IMP #	Impervious Area (SF)	Treatment Area Required (SF)	Treatment Area Provided (SF)	Notes
1	20,660	826	1,680	Modular Grid Bioretention (e.g. Silva Cell)
2	815	33	33	Non-Structural Bioretention Area
3	550	22	25	Non-Structural Bioretention Area
4	550	22	25	Non-Structural Bioretention Area
5	550	22	25	Non-Structural Bioretention Area
6	1,390	56	56	Non-Structural Bioretention Area
7	6,550	262	265	Structural Bioretention Area
8	-	-	-	Permeable Pavers
9	-	-	-	Park Self-Treating Area
10	7,405	296	307	Structural Bioretention Area
11	2,725	109	110	Non-Structural Bioretention Area
12	1,275	51	56	Non-Structural Bioretention Area
13	1,275	51	56	Non-Structural Bioretention Area
14	1,275	51	56	Non-Structural Bioretention Area
15	1,275	51	56	Non-Structural Bioretention Area
16	1,340	54	56	Non-Structural Bioretention Area
17	3,465	139	139	Non-Structural Bioretention Area
18	11,725	469	490	Structural Bioretention Area
19	13,055	522	680	Modular Grid Bioretention (e.g. Silva Cell)
20	64,925	2,597	2,655	Modular Grid Bioretention (e.g. Silva Cell)
Total	75,880			

Notes:
1) Treatment areas were sized using the "4 percent method" flow-based sizing criteria in the 2014 San Mateo County C.3 Stormwater Technical Guidance Handbook.



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PRELIMINARY STORMWATER MANAGEMENT PLAN

Sheet No.
C5.0

Date: 2019-09-18
Project No.: 20166089-20



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PRELIMINARY FIRE
ACCESS PLAN

Sheet No.

C6.0

Date 2019-09-18
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LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- ▨ FIRE TRUCK STAGING AREA

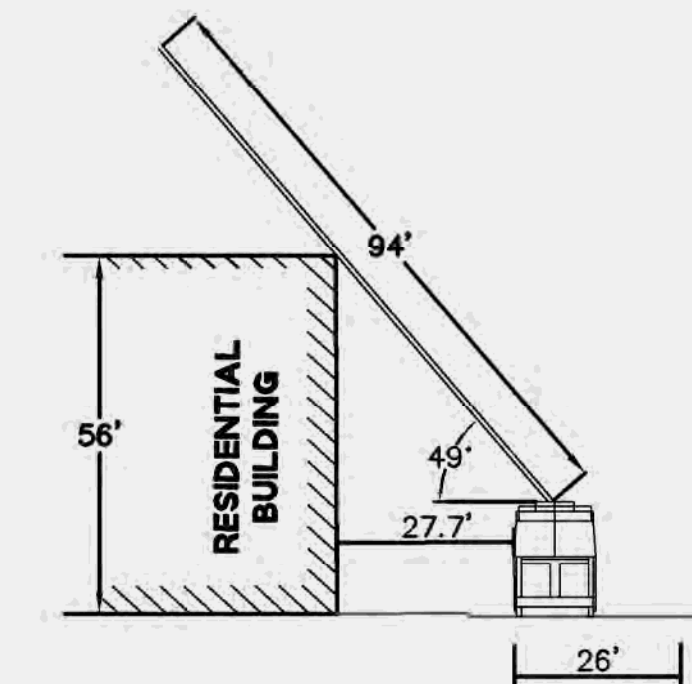
ABBREVIATIONS:

- E EAST
- (E) EXISTING
- FH FIRE HYDRANT
- NTS NOT TO SCALE
- W WEST

NOTES:

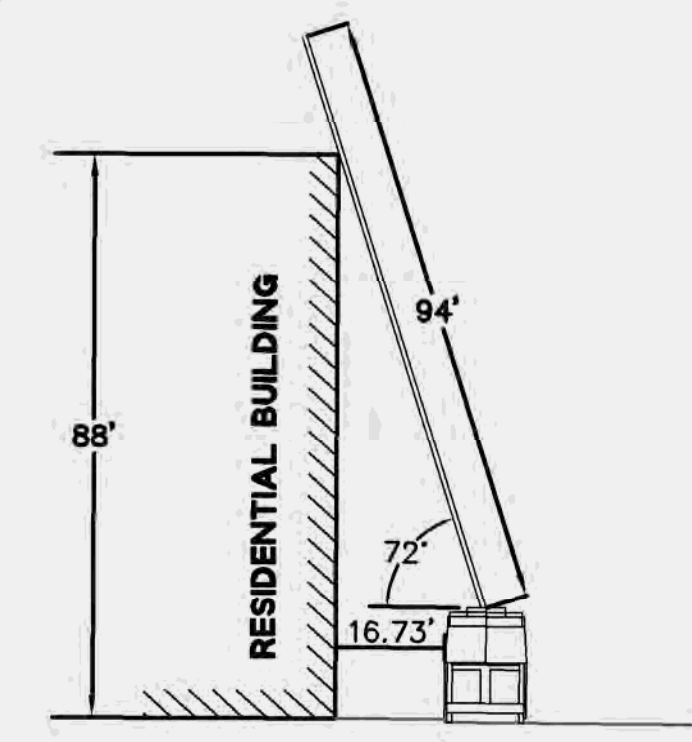
- ON-SITE WIDTH FOR AERIAL LADDER TRUCK SHALL BE 26 FEET. THE SET UP AREAS SHALL BE A MAXIMUM OF 30 FEET FROM THE BUILDINGS AND NO CLOSER THAN 15 FEET TO THE BUILDING.
- FIRE PUMP SHALL BE PROVIDED FOR ALL HIGH RISE BUILDINGS. THE PUMP SHALL BE RATED TO PUMP 150% OF THE REQUIRED DEMAND.
- ALL HIGH RISE BUILDINGS SHALL HAVE STAND BY POWER GENERATORS.
- ALL PUBLIC AND ON-SITE CURBS TO BE PAINTED, LETTERED, AND SIGNED AS FIRE LANES, FIRE ACCESS, AND AERIAL LADDER TRUCK ACCESS FOR RESCUE AND FIREFIGHTING OPERATIONS.
- SPACING FOR FIRE HYDRANTS IS 300 FEET. THE MINIMUM ACCEPTED MENLO PARK FIRE DISTRICT FIRE FLOW IS 2000 GPM AT 20 PSI RESIDUAL PRESSURE.
- ALL PUBLIC STREETS WHERE STREET WIDTHS ARE LESS THAN 26 FEET TO HAVE NO PARKING AND RED CURBS, ALL STREETS LESS THAN 32 FEET AND MORE THAN 26 FEET MAY HAVE PARKING ON ONE SIDE AND RED CURBS ON THE OTHER, STREETS 32 FEET OR GREATER MAY HAVE PARKING ON BOTH SIDES.
- FIRE LANES/EMERGENCY VEHICLE ACCESS TO HAVE RED PAINTED CURBS, CURB LETTERING AND POSTED SIGNS AS REQUIRED BY THE CVC, CFC AND MPPFD.
- ALL TURNING RADII TO BE CAPABLE OF A SINGLE INLINE VEHICLE OF 42 FEET IN LENGTH MAKING ALL TURNING MANEUVERS.
- FIRE HYDRANTS AND FIRE APPLIANCES (FIRE DEPARTMENT CONNECTIONS AND POST INDICATOR VALVES) TO BE CLEARLY ACCESSIBLE AND FREE FROM OBSTRUCTION.
- FIRE HYDRANT TO BE WET BARREL STANDARD STEAMER TYPE WITH ONE 4" AND TWO 2 1/2" OUTLETS (MPPFD CFC SEC. 507.5.1 APPENDIX C).
- DISCHARGE FIRE SPRINKLER TEST WATER TO ONSITE VEGETATED AREAS, OR TO THE SANITARY SEWER SYSTEM SUBJECT TO THE LOCAL SANITARY SEWER AGENCY'S AUTHORITY AND STANDARDS.

EXAMPLE STAGING CROSS SECTIONS:



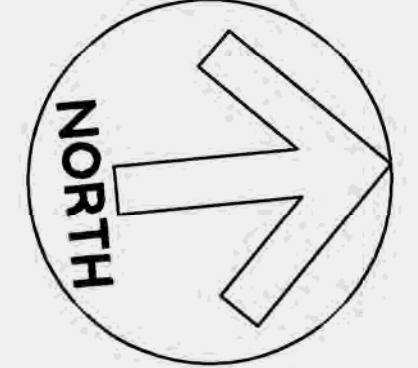
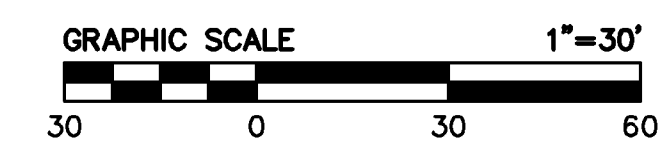
NOTE:
1. MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

1 EUCLID AVENUE FIRE STAGING
NTS



NOTE:
1. MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

2 MANHATTAN AVE FIRE STAGING
NTS

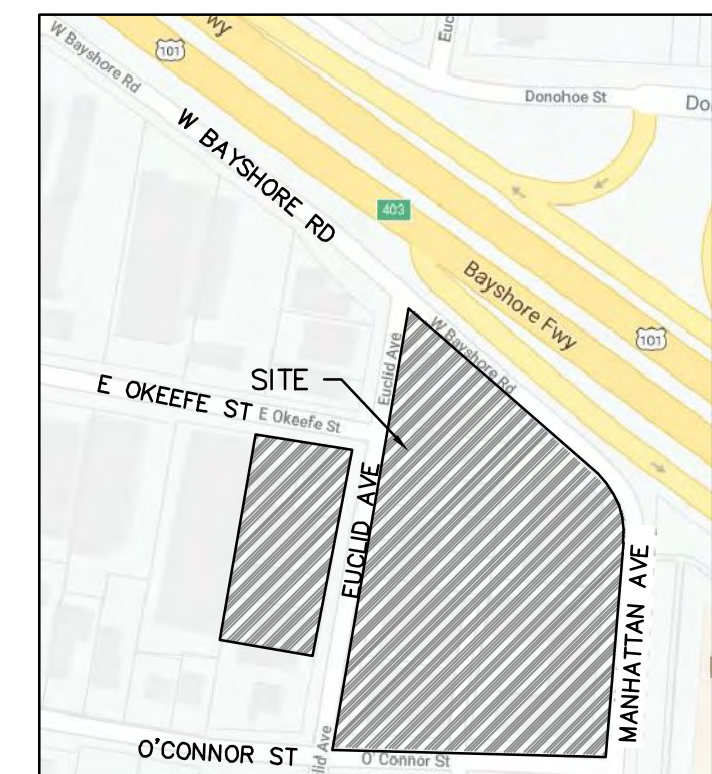


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PLOT DATE: 09-18-19
PLOTTED BY: LEHM

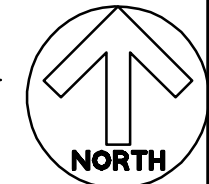
VESTING TENTATIVE PARCEL MAP EUCLID IMPROVEMENTS

EAST PALO ALTO, SAN MATEO COUNTY, CA

CONSISTING OF 1 VERTICAL AIRSPACE LOT FOR COMMERCIAL USE AND 2 RESIDENTIAL LOTS



VICINITY MAP
NTS



ABBREVIATIONS

(E)	EXISTING
NTS	NOT TO SCALE
R/W	RIGHT OF WAY
SF	SQUARE FEET
(TYP)	TYPICAL

SHEET INDEX

TM-1	TITLE SHEET
TM-2	MAPPING SHEET

LEGEND

	PROJECT BOUNDARY LINE
	ADJACENT PROPERTY LINE
	(E)EASEMENT
	(E)EASEMENT TO BE QUITCLAIMED
	RELINQUISHMENT OF ABUTTERS RIGHTS
	CENTERLINE
	(E)LOT LINE TO BE REMOVED

PROJECT DATA

OWNER AND SUBDIVIDER:	WOODLAND PARK PROPERTY OWNER, LLC AND WP INDEPENDENT, LLC 965 PAGE MILL ROAD PALO ALTO, CA, 94304 CONTACT: MICHAEL KRAMER
ENGINEER:	BKF ENGINEERS 1730 N. FIRST STREET, SUIT 600 SAN JOSE, CA 95112
(E)GROSS AREA:	± 3.92 ACRES
PROPOSED GROSS AREA:	± 3.93 ACRES
(E)ZONES:	R-HD-5 AND R-UHD
PROPOSED ZONES:	R-HD-5 AND R-UHD WITH OVERLAY (SEE GENERAL NOTE 5)
(E)USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL/COMMERCIAL
NUMBER OF (E)LOTS:	14
PROPOSED LOTS:	3
NUMBER OF UNITS:	605
WATER SUPPLY:	AMERICAN WATER SERVICES
SEWAGE DISPOSAL:	EAST PALO ALTO SANITARY SEWER DISTRICT
GAS & ELECTRIC:	PACIFIC GAS AND ELECTRIC
COMMUNICATIONS:	AT&T, COMCAST
GARBAGE:	RECOLOGY
FLOOD ZONE:	ZONE X, AREA OF MINIMAL FLOOD HAZARD PER MAP 06081C0309F EFFECTIVE 4/5/2019.

BASIS OF BEARING

THE BEARING, N04°43'36"E, TAKEN ON THE CENTERLINE OF MANHATTAN AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON MAY 17TH, 2000 IN BOOK 72 OF PARCEL MAPS AT PAGES 70-75, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP SUBMITTAL HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

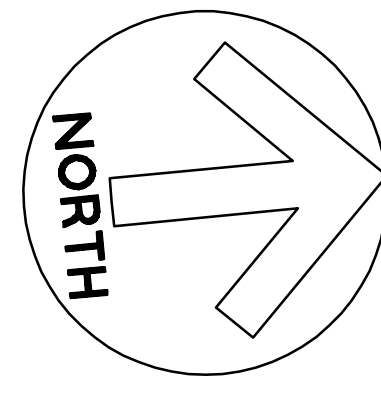
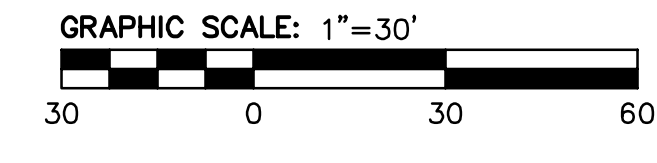
COLE GAUMNITZ
No.75787 EXP 06/30/20
BKF ENGINEERS

GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- BUILDING TYPE: THE BUILDING FOOTPRINTS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THE BUILDING TYPE, LOCATION AND STYLES WILL BE PERMITTED AS CONSTRUCTED IN CONFORMANCE WITH PROJECT PLANNING REQUIREMENTS PRIOR TO THE APPLICATION FOR BUILDING PERMITS.
- MULTIPLE FINAL MAPS: PURSUANT TO SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BOUNDED.
- APPROXIMATELY 113 SF OF PUBLIC R/W ON WEST BAYSHORE ROAD TO BE VACATED BY THE CITY OF EAST PALO ALTO.
- THESE PARCELS WILL BE PART OF A NEW NEIGHBORHOOD CENTER RESIDENTIAL OVERLAY (NCO) TO AUTHORIZE GROUND-FLOOR NEIGHBORHOOD-SERVING COMMERCIAL AND COMMUNITY USES AND ADDITIONAL HOUSING UNITS IN SELECT PORTIONS OF THE MULTIPLE-FAMILY HIGH DENSITY RESIDENTIAL ZONE (R-HD-5) AND THE MULTIPLE-FAMILY URBAN HIGH DENSITY RESIDENTIAL ZONES (R-UHD).

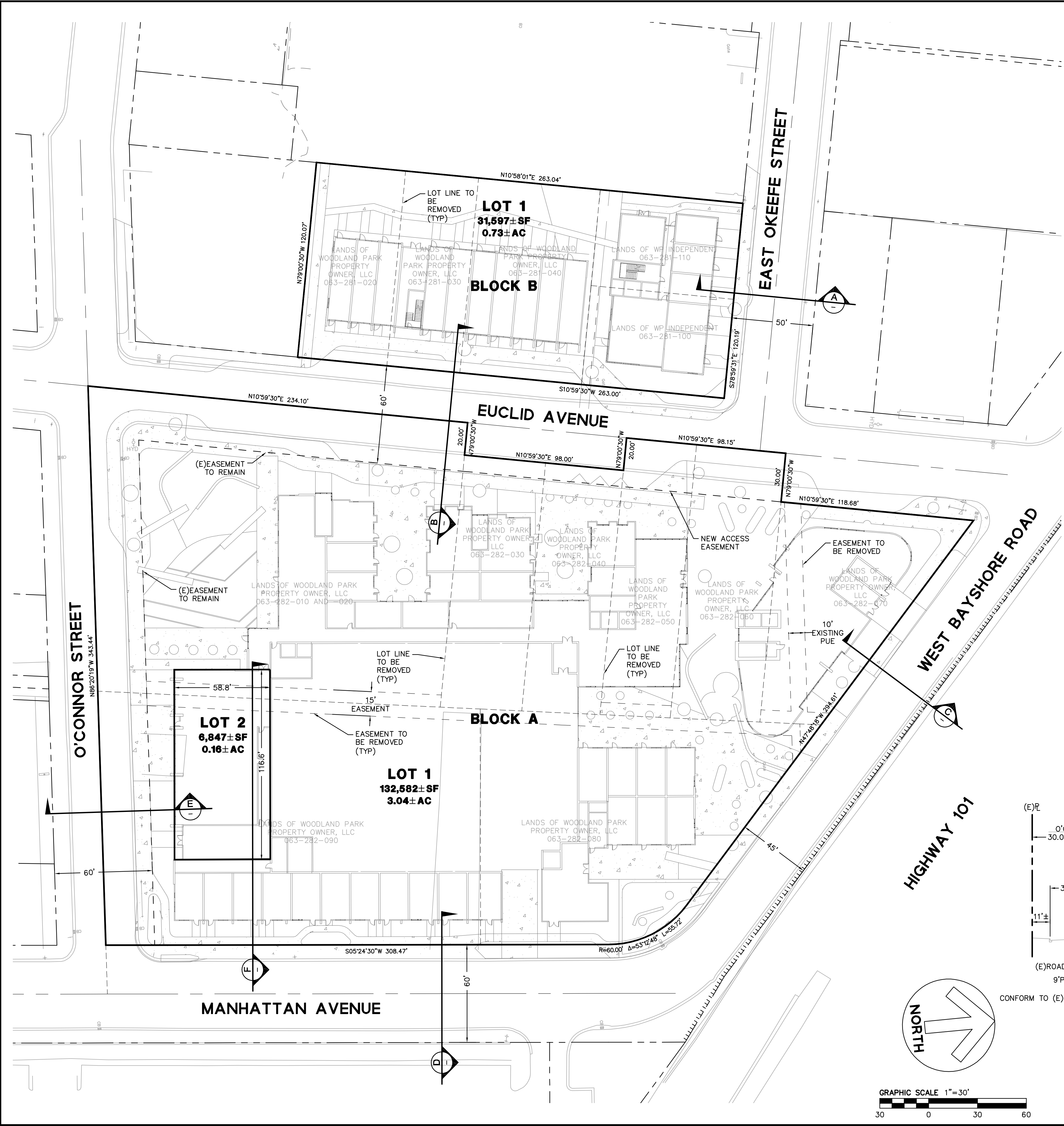
PROJECT DESCRIPTION

WITH NO DISPLACEMENT, THIS PROJECT PROPOSES THE REPLACEMENT OF SEVERAL AGING, OUTDATED STRUCTURES CONTAINING 160 RENT-STABILIZED HOUSING UNITS AND ONE SINGLE FAMILY RENTAL (NON-RSO) WITH NEW MIXED-INCOME BUILDINGS CONTAINING 605 APARTMENTS, 26% OF WHICH WILL BE DEED-RESTRICTED RENT-CONTROLLED, REPLACING THE EXISTING APARTMENTS ONE-FOR-ONE.



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PLOT BY: LEHM

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 PLOT DATE: 09-20-19
 PLOTTED BY: LEHM



LEGEND:

- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- ||||| RELINQUISHMENT OF ABUTTER'S RIGHTS
- - - LOT LINE TO BE REMOVED
- - - EASEMENT TO BE QUITCLAIMED
- PROJECT BOUNDARY LINE

ABBREVIATIONS

- | | |
|-------|--------------|
| AC | ACRES |
| CB | CATCH BASIN |
| (E) | EXISTING |
| E | EAST |
| ELEV | ELEVATION |
| FF | FINISH FLOOR |
| L | LENGTH |
| L/S | LANDSCAPING |
| N | NORTH |
| NTS | NOT TO SCALE |
| R | RADIUS |
| S | SOUTH |
| (TYP) | TYPICAL |
| W | WEST |

NOTES:

- LOT 2 OF BLOCK A HAS A FINISH FLOOR ELEVATION OF 26.8' AND A CEILING ELEVATION OF 46.8'.
- BLOCK A IS LOCATED IN ZONE R-UHD WITH PROPOSED NCO OVERLAY (SEE GENERAL NOTE 5 OF TM-1).
- BLOCK B IS LOCATED IN ZONE R-HD-5 WITH PROPOSED NCO OVERLAY (SEE GENERAL NOTE 5 OF TM-1).

