

WOODLAND PARK - EUCLID IMPROVEMENTS

Woodland Park Euclid Improvements

VICINITY MAP



PROJECT DIRECTORY

APPLICANT:

Woodland Park Communities
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East Palo Alto, CA 94303
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ARCHITECT:

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LANDSCAPE ARCHITECT:

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CIVIL ENGINEER:

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PROJECT DESCRIPTION

With no displacement, this project proposes the replacement of several aging, outdated structures containing 160 rent-stabilized housing units and one single family rental (non-RSO) with new mixed-income buildings containing 551 apartments, 29% of which will be deed-restricted rent-controlled, replacing the existing apartments one-for-one.

Note: No portion of the property is located in a Flood Zone as designated by the Federal Emergency Management Agency (FEMA).

PROJECT SITE

ZONING:

R-HD-5, R-UHD, Neighborhood Center Overlay (NCO)

GENERAL PLAN DESIGNATION:

HIGH DENSITY RESIDENTIAL / URBAN
RESIDENTIAL, NEIGHBORHOOD CENTER OVERLAY

TOTAL SITE AREA:

170,941 SF = 3.92 ACRES

EXISTING LOTS:

ADDRESSES:	APNS:
501 O'Connor St.	063282010
2012 Euclid Ave.	063282020
2032 Euclid Ave.	063282030
2036 Euclid Ave.	063282040
2040 & 2042 Euclid Ave.	063282050
2044 Euclid Ave.	063282060
2054 Euclid Ave.	063282070
2033 Manhattan Ave.	063282080
2001 Manhattan Ave.	063282090
2021 Euclid Ave.	063281020
2025 Euclid Ave.	063281030
2031 Euclid Ave.	063281040
2043 Euclid Ave.	063281100
2041 Euclid Ave./420 E O'Keefe St.	063281110

SHEET INDEX

GENERAL

G000 TITLE SHEET
G100 CONTEXT
G101 PERSPECTIVE VIEWS
G102 PERSPECTIVE VIEWS
G103 AERIAL VIEW

ARCHITECTURE

A100 SITE PLAN - EXISTING
A101 SITE PLAN - PROPOSED
A201 FLOOR PLAN - LEVEL 1
A202 FLOOR PLAN - LEVEL 2
A203 FLOOR PLAN - LEVEL 3
A204 FLOOR PLAN - LEVEL 4
A205 FLOOR PLAN - LEVELS 5-7
A206 FLOOR PLAN - LEVELS 8
A300 BUILDING ELEVATIONS
A301 BUILDING ELEVATIONS
A302 BUILDING SECTIONS
A303 EXTERIOR MATERIALS
A500 OPEN SPACE DIAGRAMS
A502 OPEN SPACE DIAGRAMS

LANDSCAPE

L-1.0 LANDSCAPE SITE PLAN
L-1.1 LANDSCAPE DETAILS

T-0.1 TREE PROTECTION AND REMOVALS LIST AND NOTES
T-1.1 TREE PROTECTION & REMOVAL PLAN

CIVIL

C1.0 EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0 PRELIMINARY SITE PLAN
C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0 PRELIMINARY UTILITY PLAN
C5.0 PRELIMINARY STORMWATER MANAGEMENT PLAN
C5.1 PRELIMINARY STORMWATER MANAGEMENT PLAN
C6.0 PRELIMINARY FIRE ACCESS PLAN

TM-1 VESTING TENTATIVE PARCEL MAP - TITLE SHEET
TM-2 VESTING TENTATIVE PARCEL MAP - MAPPING SHEET

OTHER

WT-001 WATER TANK EXHIBIT

PROJECT DATA

GROSS AREAS

CIRCULATION	56065 SF
COMMON	28013 SF
COMMUNITY SPACE	2372 SF
GARAGE / BIKE ROOM	136777 SF
RESIDENTIAL	417205 SF
RETAIL	3371 SF
SERVICE / TRASH	8274 SF
STAIRS / ELEVATORS	31819 SF
	683896 SF

UNIT MIX

TYPE	EXISTING*	MIX	APPROVED	MIX	REVISED	MIX	AVG. AREA
STUDIO	53	33%	228	38%	20**	4%	495 sf
1 BR	102	64%	197	33%	339	61%	688 sf
2 BR	4	2%	178	29%	190	34%	977 sf
3 - 4 BR	2	<1%	2	<1%	2	<1%	1,298 sf
TOTAL	161		605		551		

* There are 160 current rent-stabilized units and one 2 BR single-family rental (non-RSO)

** 33 existing studios will be replaced by 1 BR units

PARKING

STALLS	EXISTING	APPROVED	REVISED
OFF-STREET	155	625	570
ON-STREET	52	52	72

(14 of the proposed parking stalls are ADA, including 4 ADA van spaces)

Approved Parking Ratio = 1.03 spaces/unit
Revised Parking Ratio = 1.03 spaces/unit

LOT COVERAGE CALCULATIONS

TOTAL SITE AREA
= 31,596 SF + 139,345 SF = 170,941 SF

TOTAL BUILDING FOOTPRINT AREA
= 21,975 SF + 87,812 SF = 109,787

LOT COVERAGE = 109,787 / 170,941 SF = **64%**

F.A.R. REQUIRED: N/A

(PER DEVELOPMENT CODE SECTION 18.10 TABLE 2-2)

BIKE PARKING

CLASS I:
BUILDING A (@ O'KEEFE ST.): 72 STALLS
BUILDING B (@ EUCLID AVE.): 252 STALLS
TOTAL: 324 STALLS

CLASS II: 45 STALLS

OPEN SPACE

	AREA
COMMON OPEN SPACE	32,173 SF
PRIVATE OPEN SPACE	18,161 SF
PUBLIC OPEN SPACE	20,662 SF
Total	70,996 SF
Open space per unit (excluding the Public Park)	110 SF/UNIT
PUBLIC PARK	9,355 SF

ZONING COMPARISON

Development Standard	NCO Zone / GP Designation Requirement	Approved Project (Nov 2022)	Revised Project (Jan 2024)
Maximum Density	175 du/acre	155 du/acre	141 du/acre
Height	13 stories / 140 feet	13 stories / 135 feet	8 stories / 85 feet
Open Space	100 sf/unit	100 sf/unit	105 sf/unit or greater
Setbacks			
Front	5 feet	9-12 feet	5-12 feet
Side/Street Side	5 feet	10-85 feet	5-83 feet
Rear	10 feet	10-20 feet	10-23 feet
Corner vision triangle	12 feet	12 feet	12 feet



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TITLE SHEET

Sheet No.

G000

Date 02/09/2024
Project No. 21620

Woodland Park Euclid Improvements



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CONTEXT

Sheet No.

G100

Date 08-23-2022
Project No. 21620



1 - Intersection of West Bayshore Road and Euclid Avenue, Looking East



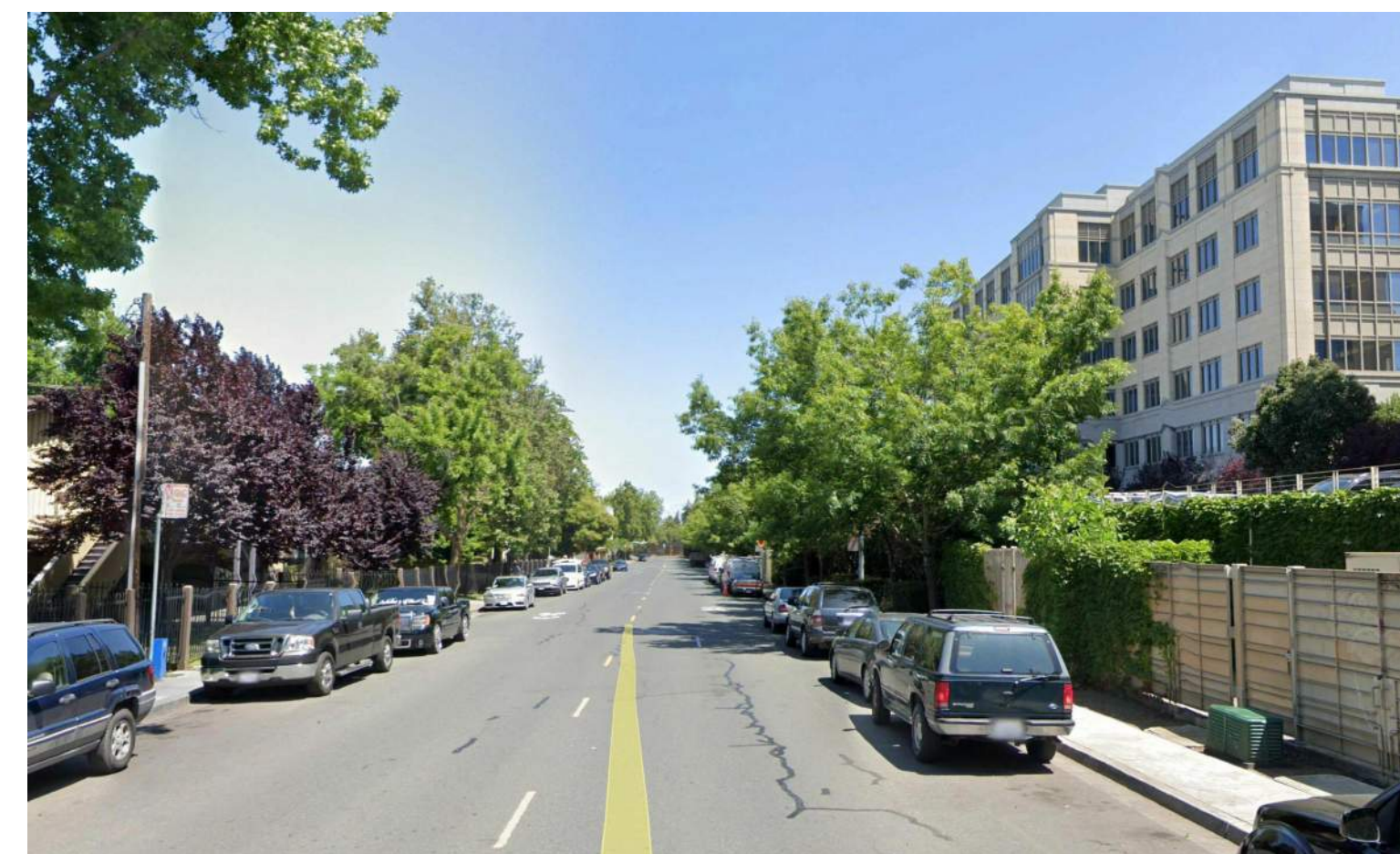
2 - West Bayshore Road, Looking East



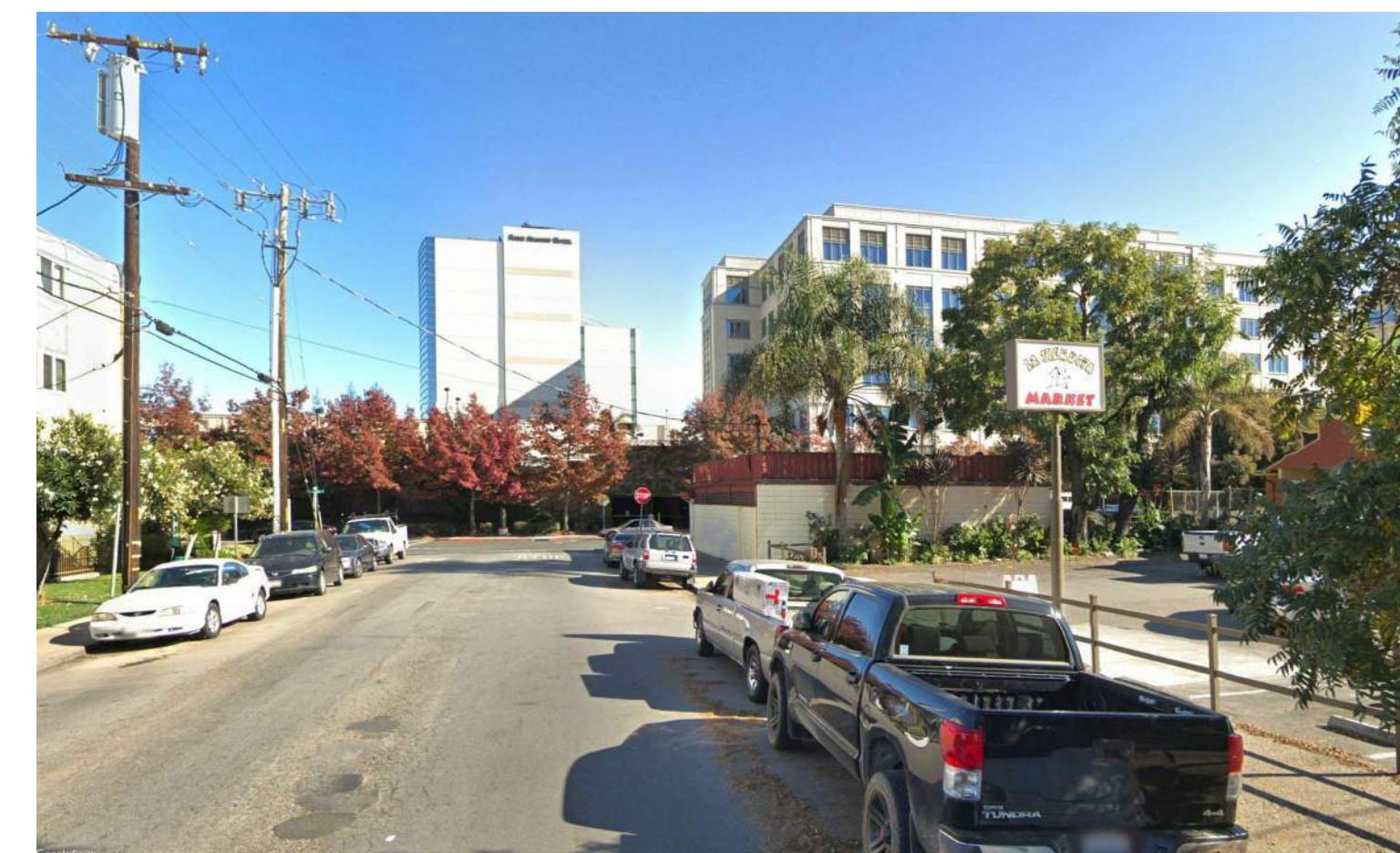
3 - Intersection of West Bayshore Road and Manhattan Avenue, Looking South



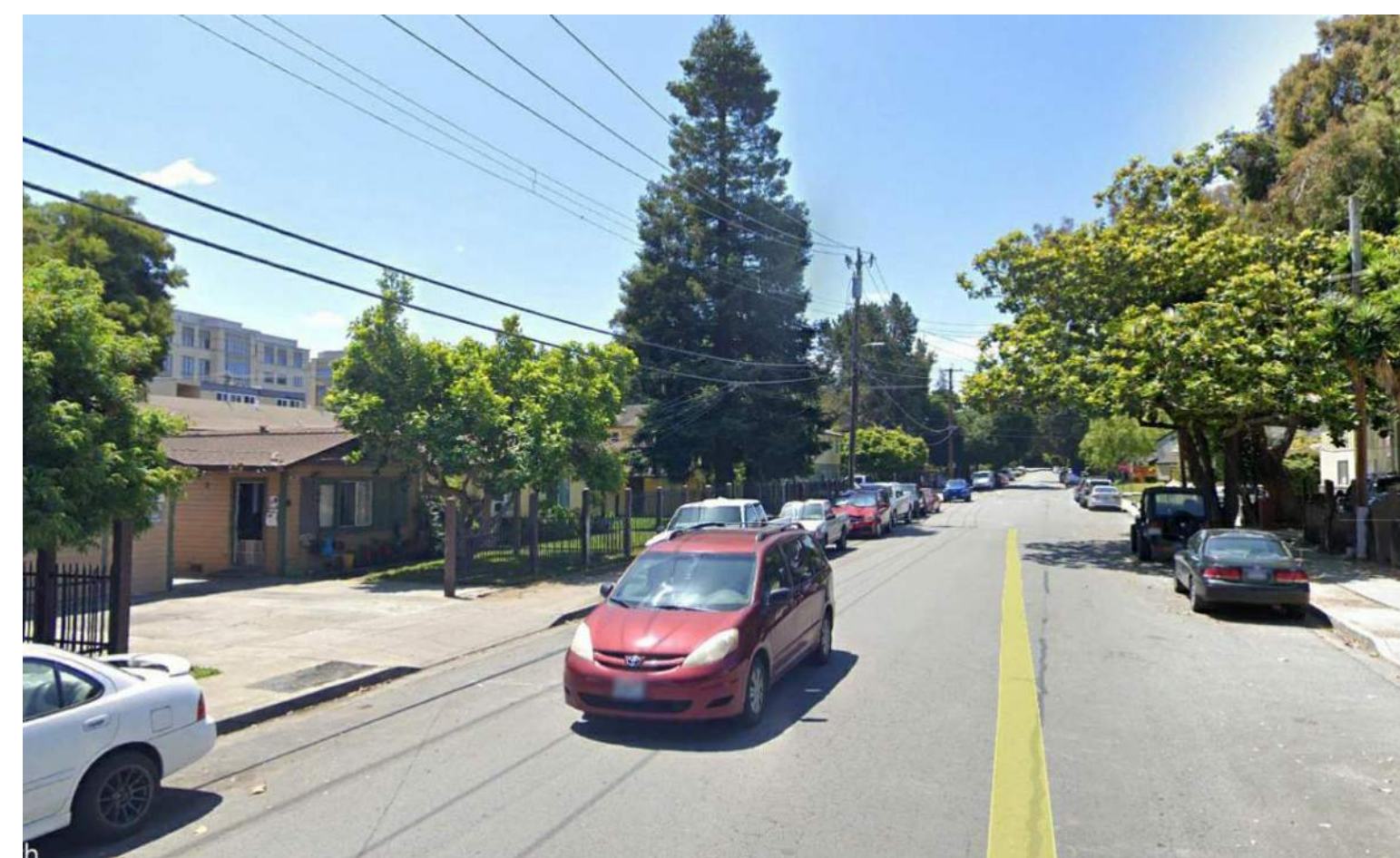
4 - Intersection of Manhattan Avenue and O'Connor Street, Looking North



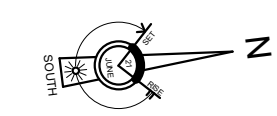
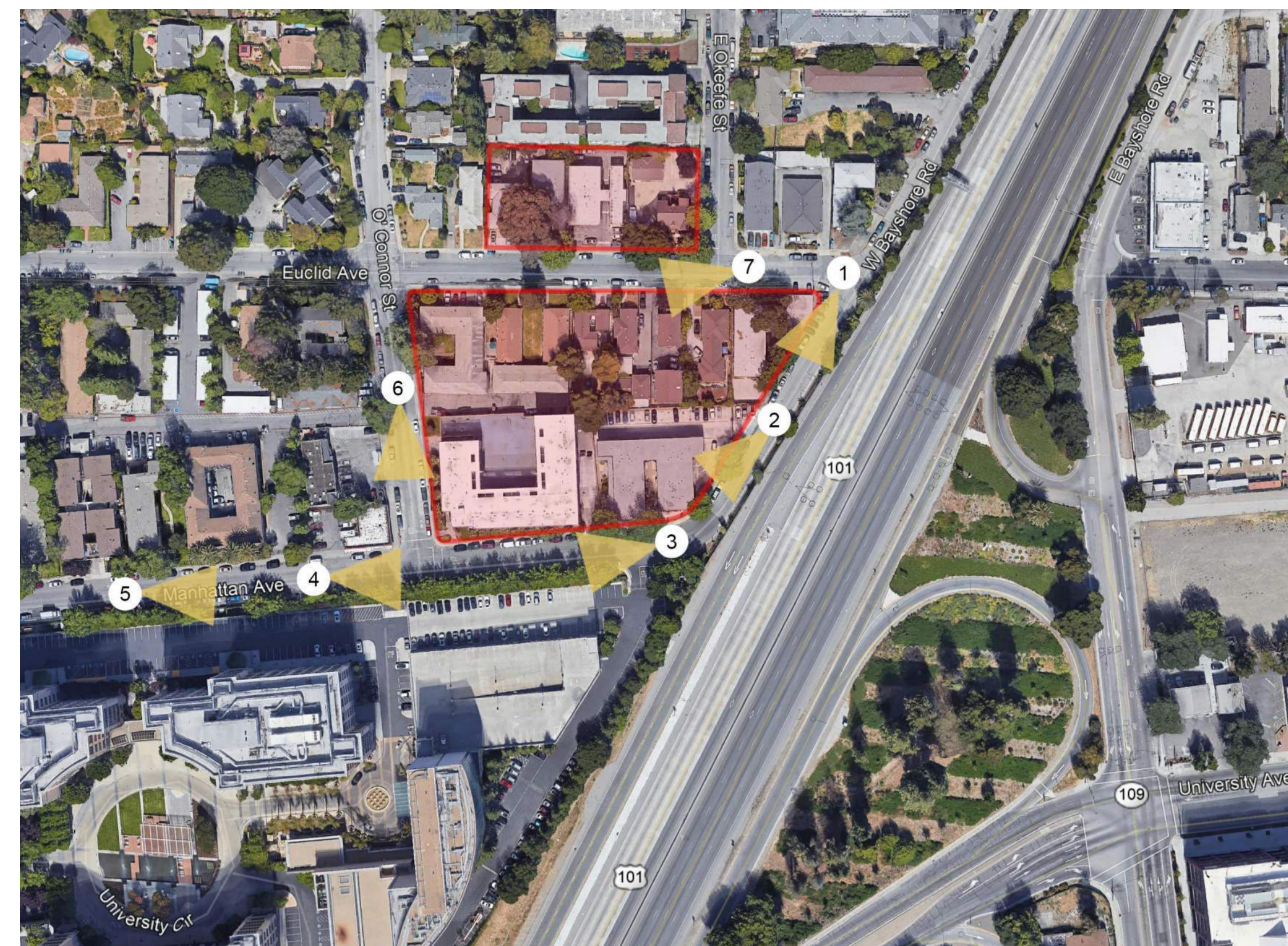
5 - Manhattan Avenue, Looking North



6 - O'Connor Street, Looking East



7 - Euclid Avenue, Looking South



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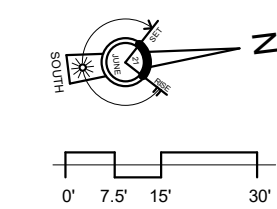
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**SITE PLAN -
EXISTING**

Sheet No.

A100

Date 08-23-2022
Project No. 21620



Existing properties:

**2021 Euclid Avenue
(11 rent-stabilized units)**

11 x Studio Units

**2025 Euclid Avenue
(7 rent-stabilized units)**

6 x Studio Units
1 x 1 Bedroom Unit

**2031 Euclid Avenue
(12 rent-stabilized units)**

12 x 1 Bedroom Units

2032 Euclid Avenue

1 x 2 Bedroom Single-Family-House
(non-RSO)

**2036 Euclid Avenue
(4 rent-stabilized units)**

2 x Studio Units
1 x 1 Bedroom Unit
1 x 2 Bedroom Unit

**2040 & 2042 Euclid Avenue
(2 rent-stabilized units)**

1 x 2 Bedroom Unit
1 x 4 Bedroom Unit

**2041 Euclid Avenue
(also known as 420 O'Keefe)**

Community Engagement Office

2043 Euclid Avenue

Resident Services Office and
Community Technology Center

**2044 Euclid Avenue
(2 rent-stabilized units)**

1 x 2 Bedroom Unit
1 x 3 Bedroom Unit

**2054 Euclid Avenue
(8 rent-stabilized units)**

8 x 1 Bedroom Units

**2012 Euclid Avenue/501 O'Connor Street
(22 rent-stabilized units)**

22 x 1 Bedroom Units

**2001 Manhattan Avenue
(60 rent-stabilized units)**

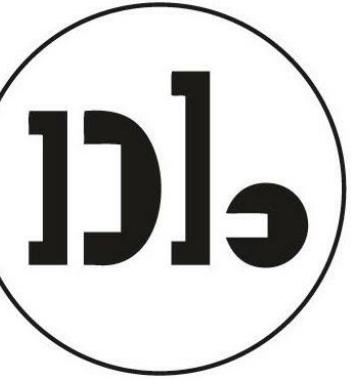
8 x Studio Units
52 x 1 Bedroom Units

**2033 Manhattan Avenue
(32 rent-stabilized units)**

26 x Studio Units
6 x 1 Bedroom Units

DASHED AREAS INDICATE
APPROXIMATE LOCATION
OF EXISTING OFF-STREET
PARKING SPACES

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**PERSPECTIVE
VIEWS**

Sheet No.

G101

Date 02/09/2024
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1- VIEW OF PARK FROM O'CONNOR ST.

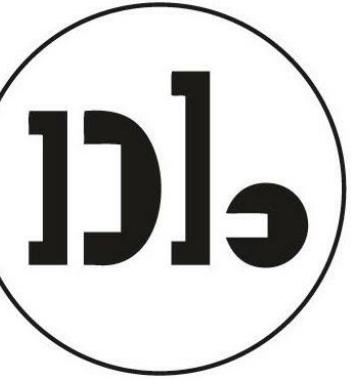


2- VIEW OF EUCLID LOOKING TOWARDS O'KEEFE ST.



KEY PLAN

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**PERSPECTIVE
VIEWS**

Sheet No.

G102

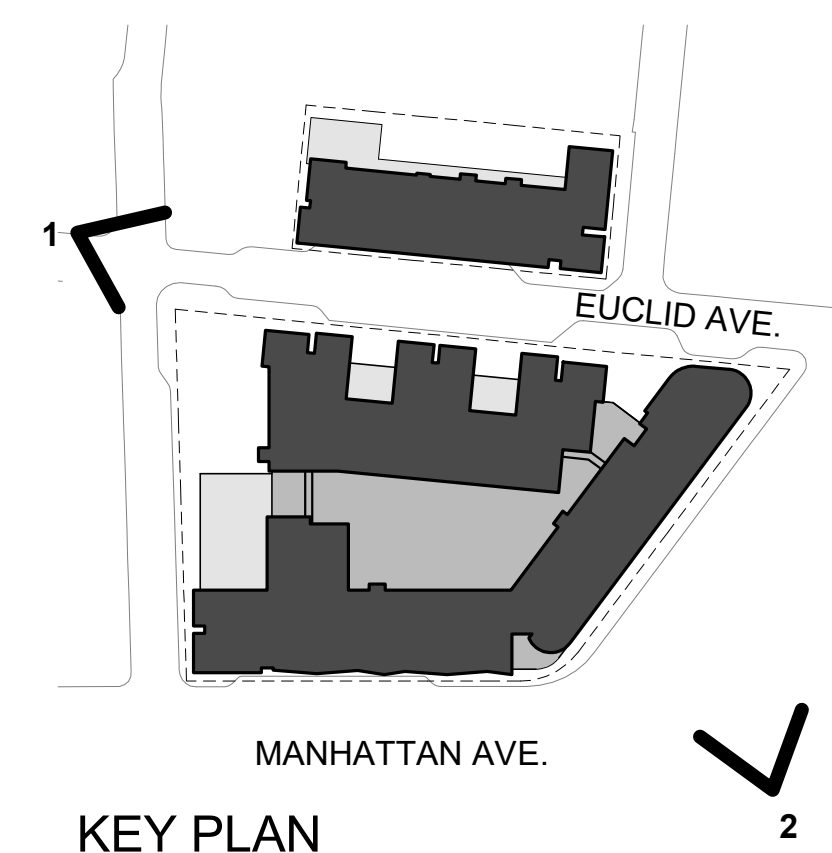
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Project No. 21620



1- VIEW DOWN EUCLID AVE. LOOKING NORTH

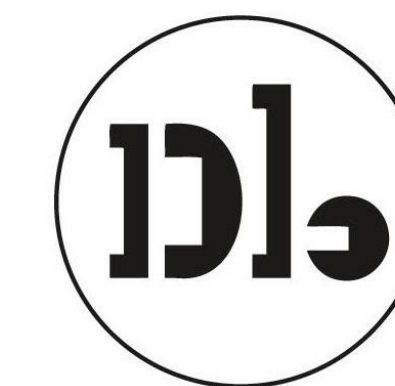


2- VIEW FROM US 101/ UNIVERSITY AVE OVERPASS (FOUR SEASONS HOTEL IN FOREGROUND)





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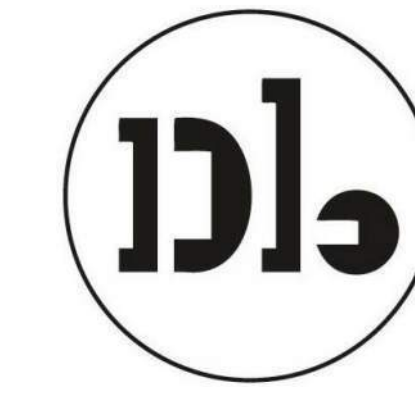
AERIAL VIEW

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G103

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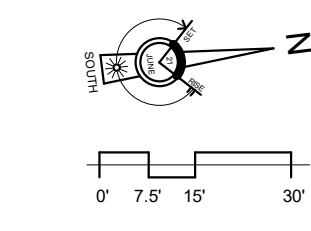
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**SITE PLAN -
EXISTING**

Sheet No.

A100

Date 08-23-2022
Project No. 21620



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(11 rent-stabilized units)**

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2043 Euclid Avenue

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1 x 2 Bedroom Unit
1 x 3 Bedroom Unit

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(8 rent-stabilized units)**

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**2012 Euclid Avenue/501 O'Connor Street
(22 rent-stabilized units)**

22 x 1 Bedroom Units

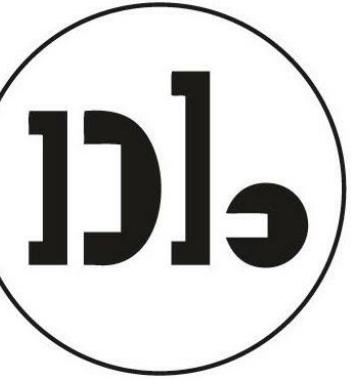
**2001 Manhattan Avenue
(60 rent-stabilized units)**

8 x Studio Units
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Rev.	Description	Date
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SITE PLAN -
PROPOSED

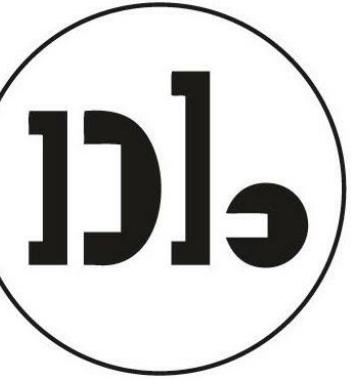
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Rev.	Description	Date
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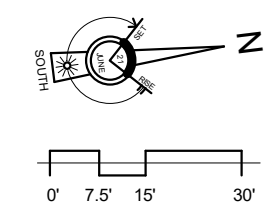
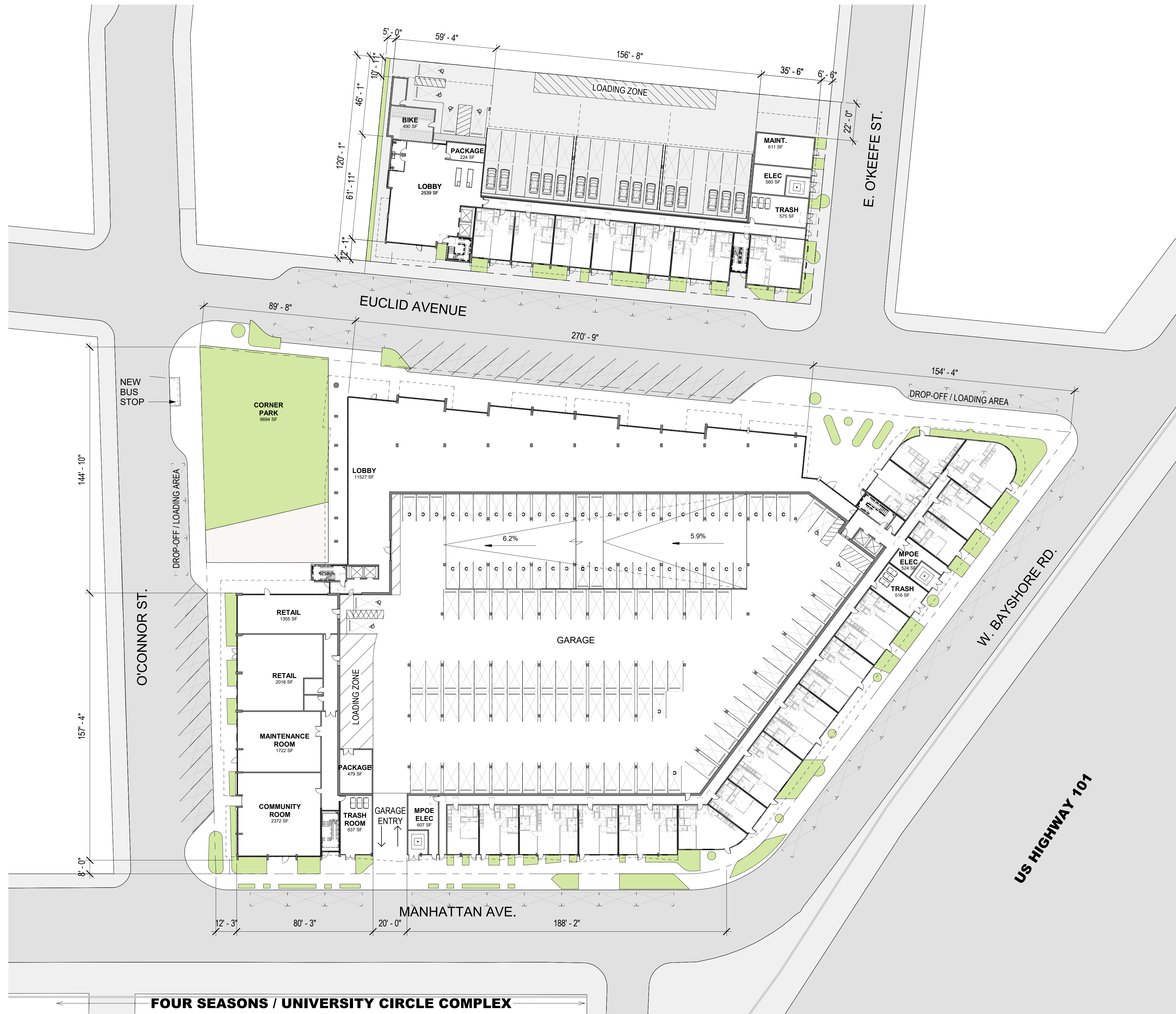
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FLOOR PLAN -
LEVEL 1

Sheet No.

A201

Date	02/09/2024
Project No.	21620



← FOUR SEASONS / UNIVERSITY CIRCLE COMPLEX →

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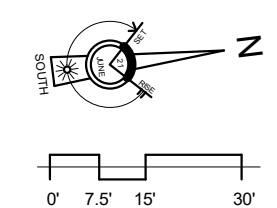
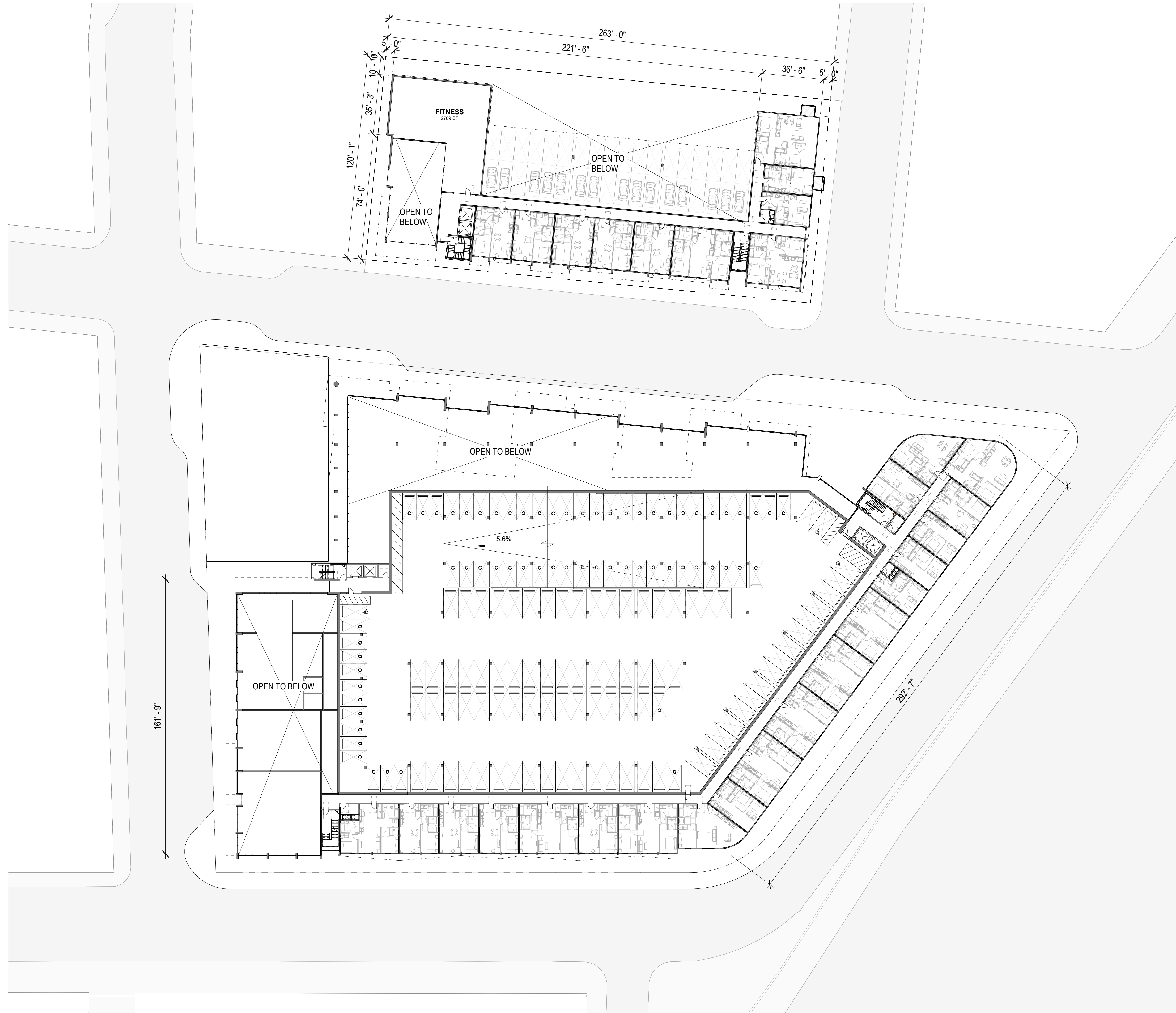
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**FLOOR PLAN -
LEVEL 2**

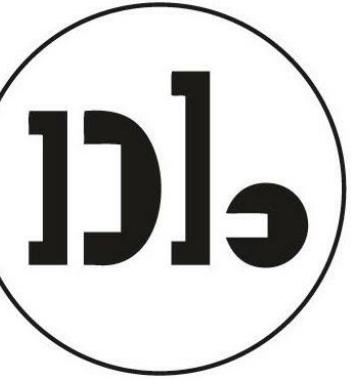
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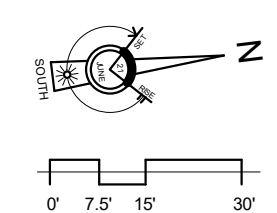
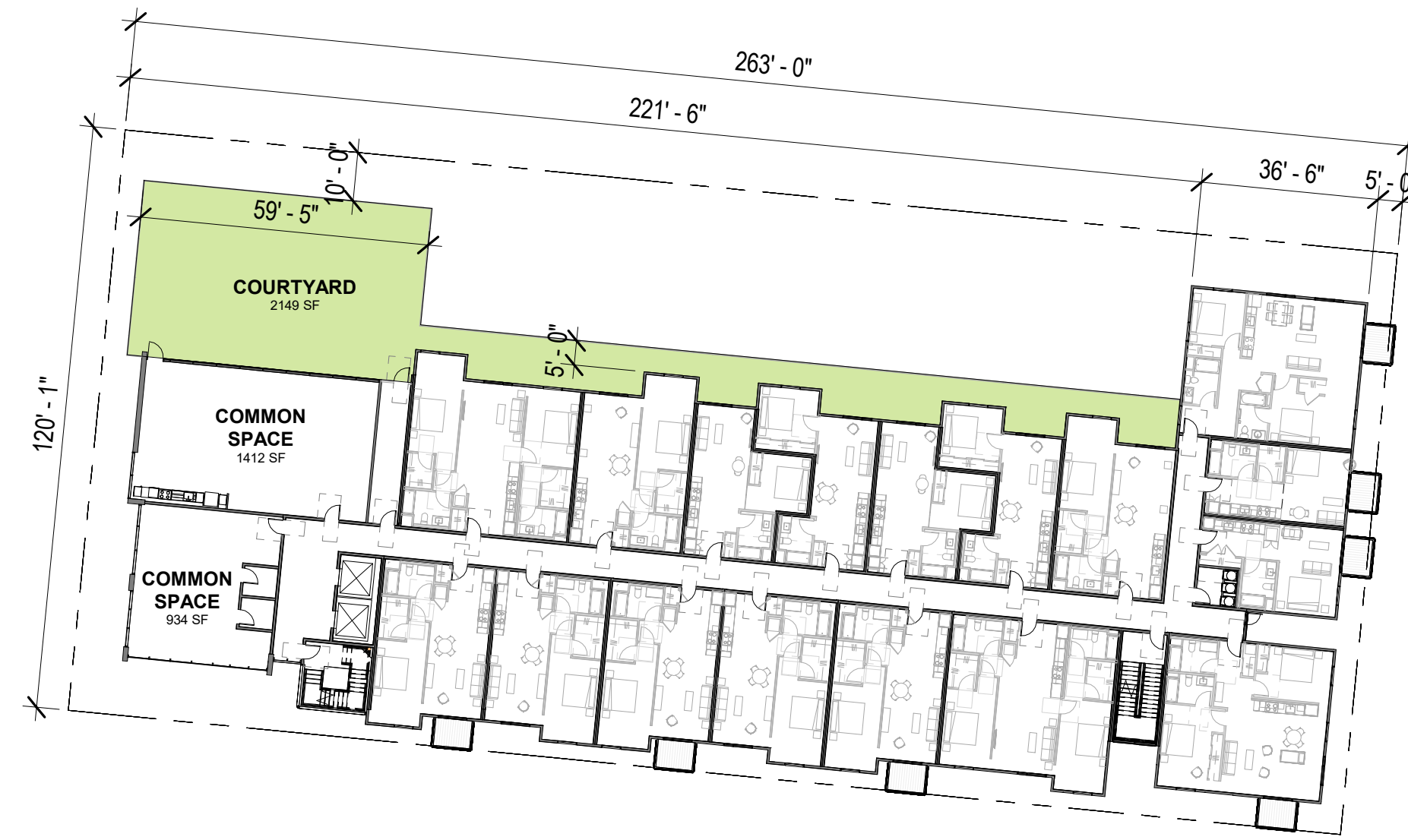
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FLOOR PLAN -
LEVEL 3

Sheet No.

A203

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Project No. 21620



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Rev.	Description	Date
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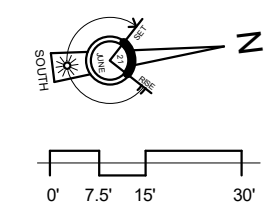
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FLOOR PLAN -
LEVEL 4

Sheet No.

A204

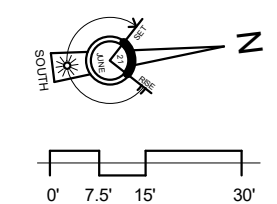
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**FLOOR PLAN -
LEVELS 5-7**

Sheet No.

A205

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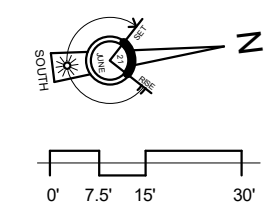
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FLOOR PLAN -
LEVELS 8

Sheet No.

A206

Date 02/09/2024
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MATERIAL LEGEND

- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
- 10 - Balconies with Perforated Metal Guardrails
- 11 - Corten Steel Panels
- 12 - Smooth Concrete
- 13 - Metal Sunshade
- 14 - Standing Seam Steel



Key Plan
1" = 160'-0"

NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



③ O'Connor St. Elevation - East Building
1" = 30'-0"



② W. Bayshore Rd. Elevation - East Building
1" = 30'-0"



① Euclid Ave. Elevation - East Building
1" = 30'-0"

License Stamp

Issuances	
Description	Date
Design Update	2/27/2024

Revisions		
Rev.	Description	Date

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Design Update -
February 2024

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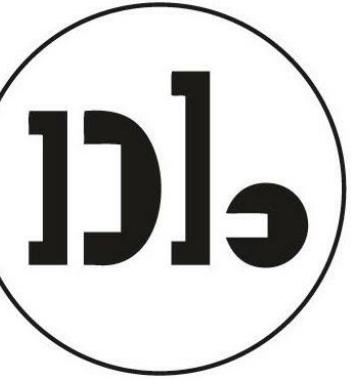
**BUILDING
ELEVATIONS**

Sheet No.

A300

Date 02/09/2024
Project No. 21620

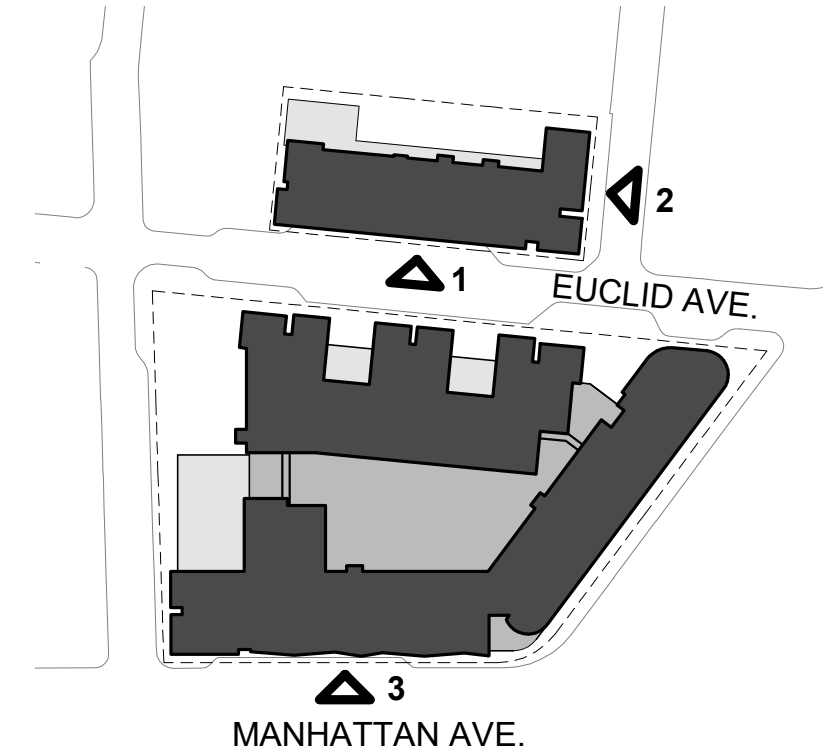
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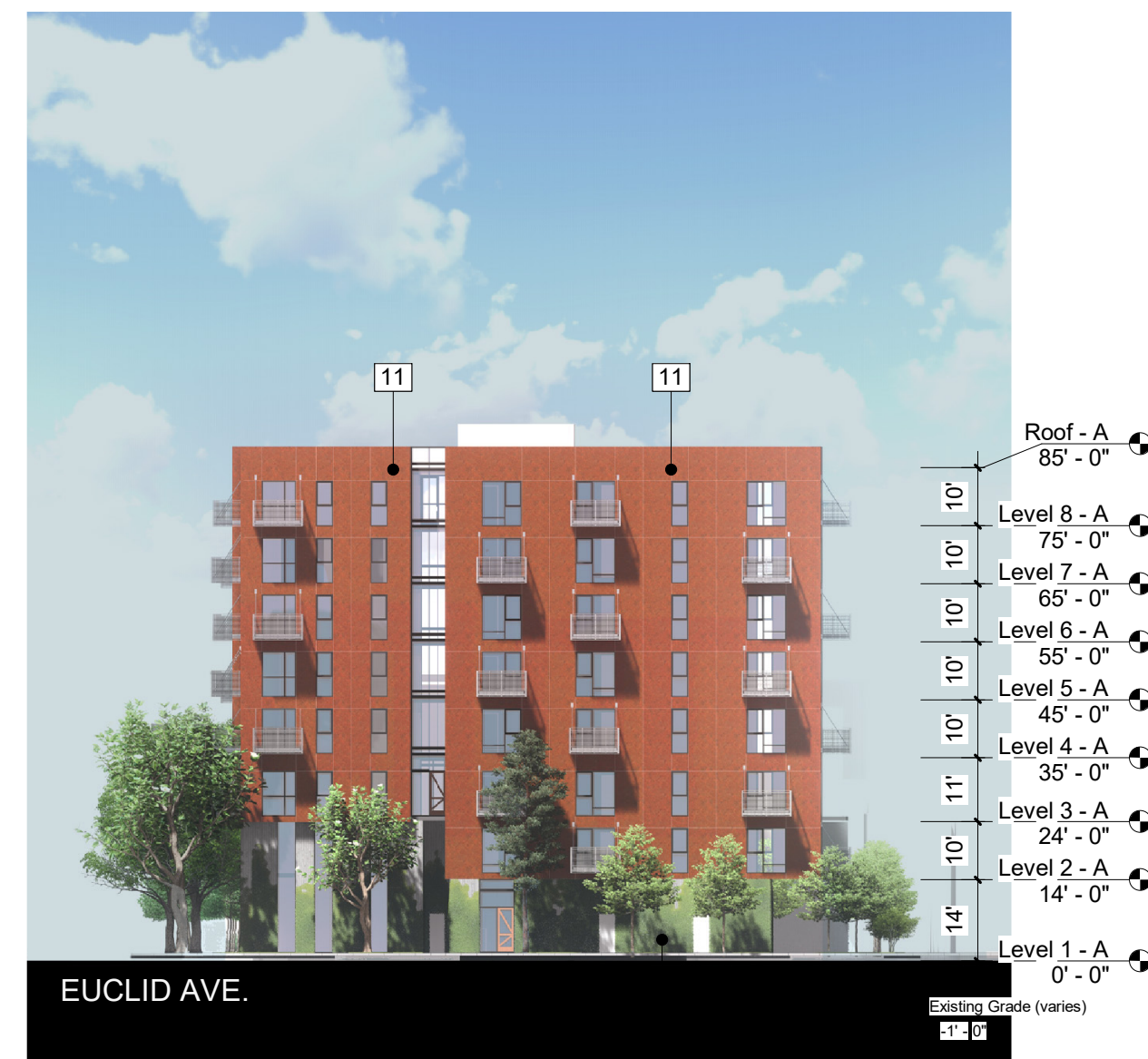


Key Plan
1" = 160'-0"

NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



3 Manhattan Ave. Elevation - East Building
1" = 30'-0"



2 East O'Keefe St. Elevation - West Building
1" = 30'-0"



1 Euclid Ave. Elevation - West Building
1" = 30'-0"

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February 2024

Drawing Title

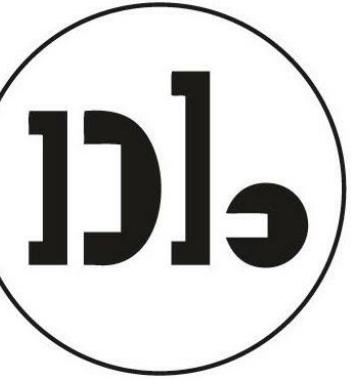
**BUILDING
ELEVATIONS**

Sheet No.

A301

Date	02/09/2024
Project No.	21620

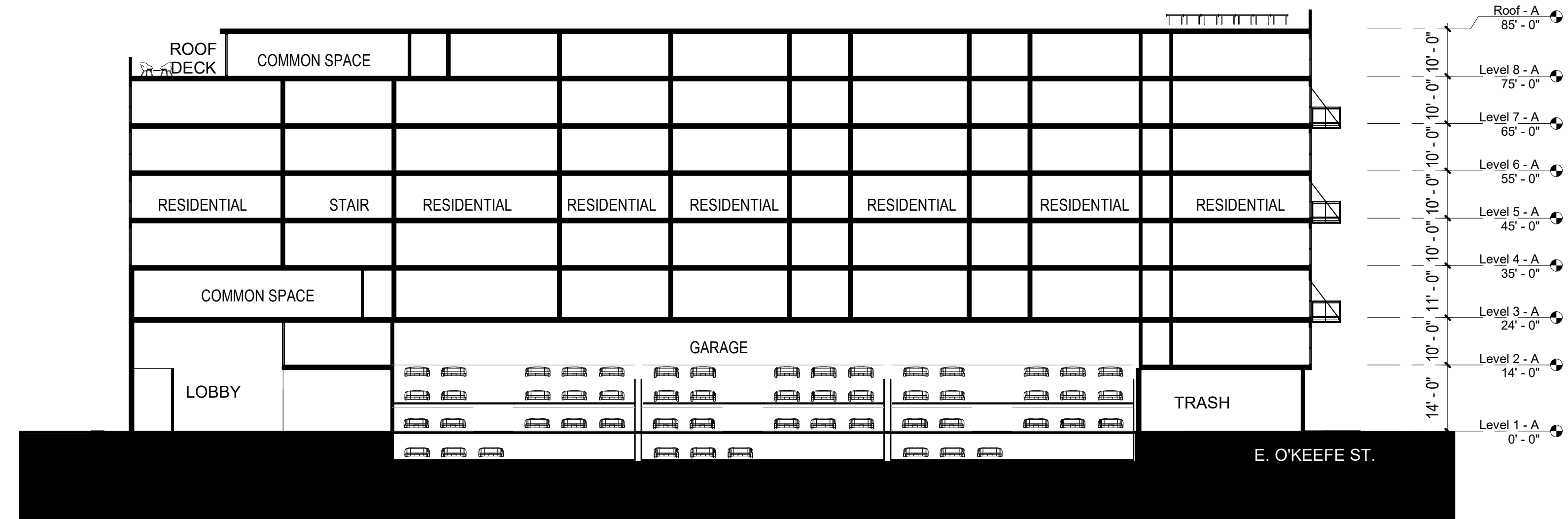
Woodland Park Euclid Improvements



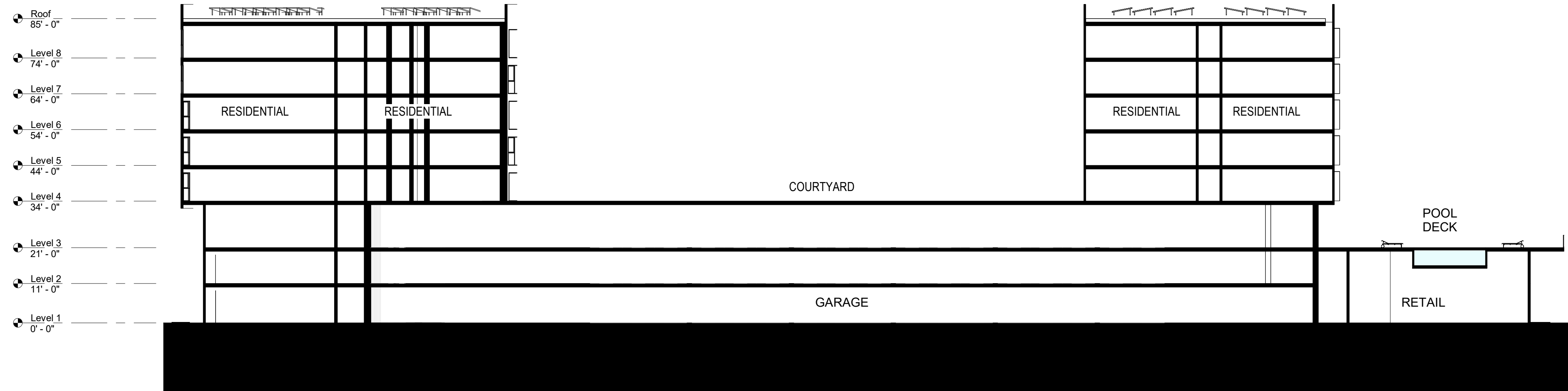
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461 Second St, Loft c127
San Francisco, CA 94107
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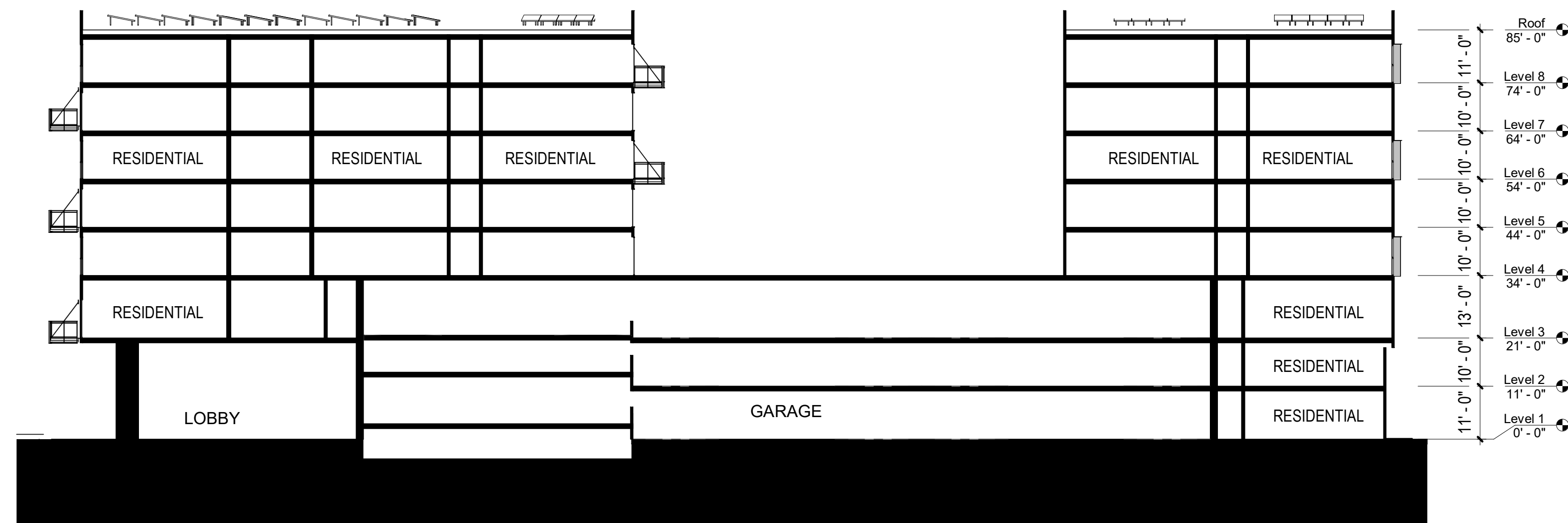
Key Plan
1" = 160'-0"



3 Building Section - N/S West Building
1" = 20'-0"



2 Building Section - N/S
1" = 20'-0"



1 Building Section - E/W
1" = 20'-0"

License Stamp

Issuances

Description	Date
Design Update	2/27/2024

Revisions

Rev.	Description	Date
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Design Update -
February 2024

Drawing Title

**BUILDING
SECTIONS**

Sheet No.

A302

Date 02/09/2024
Project No. 21620

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PREVIOUSLY
SUBMITTED SHEET
NO CHANGE

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Issuances

Description	Date
Design Update	1/8/2024

Revisions

Rev.	Description	Date
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Design Update -
February 2024

Drawing Title

EXTERIOR
MATERIALS

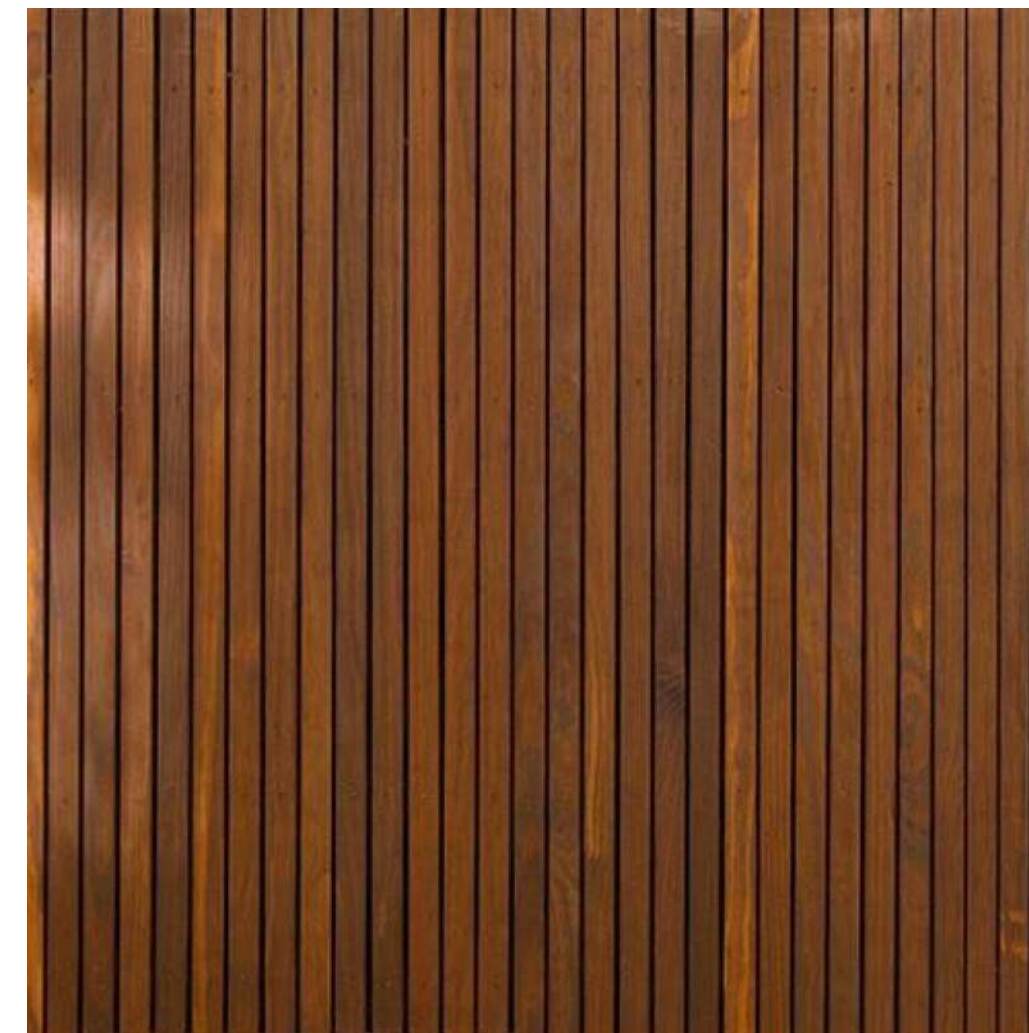
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A303

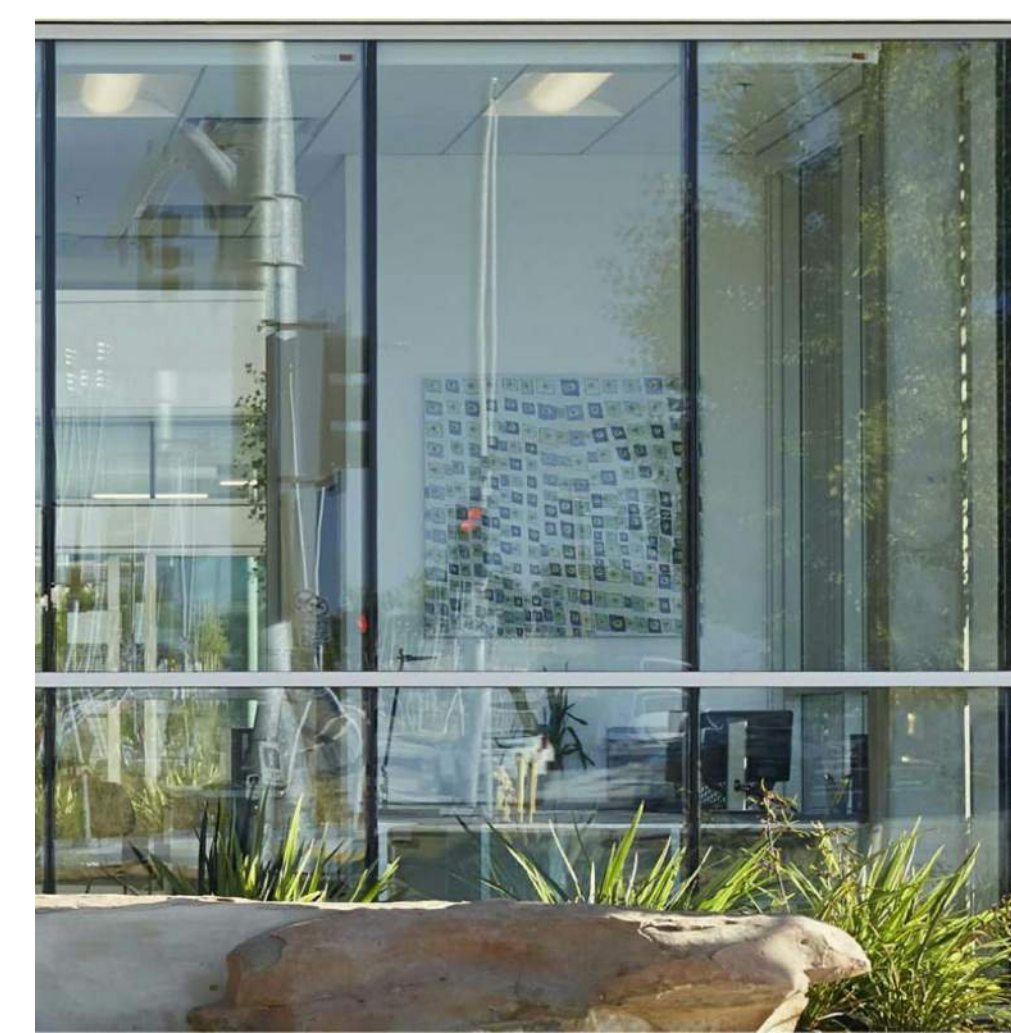
Date 12-08-2023
Project No. 21620



1 - Textured Concrete with Vine Cover



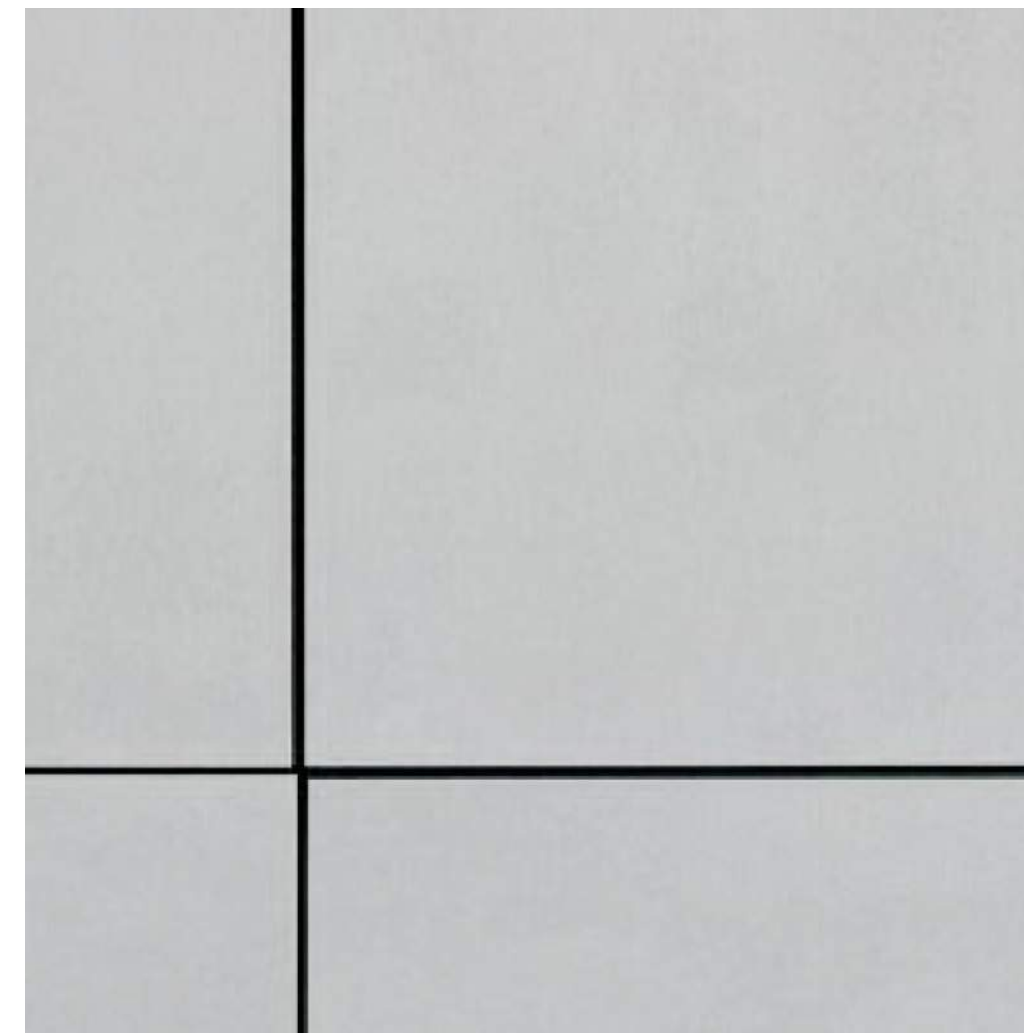
2 - Vertical Wood Siding



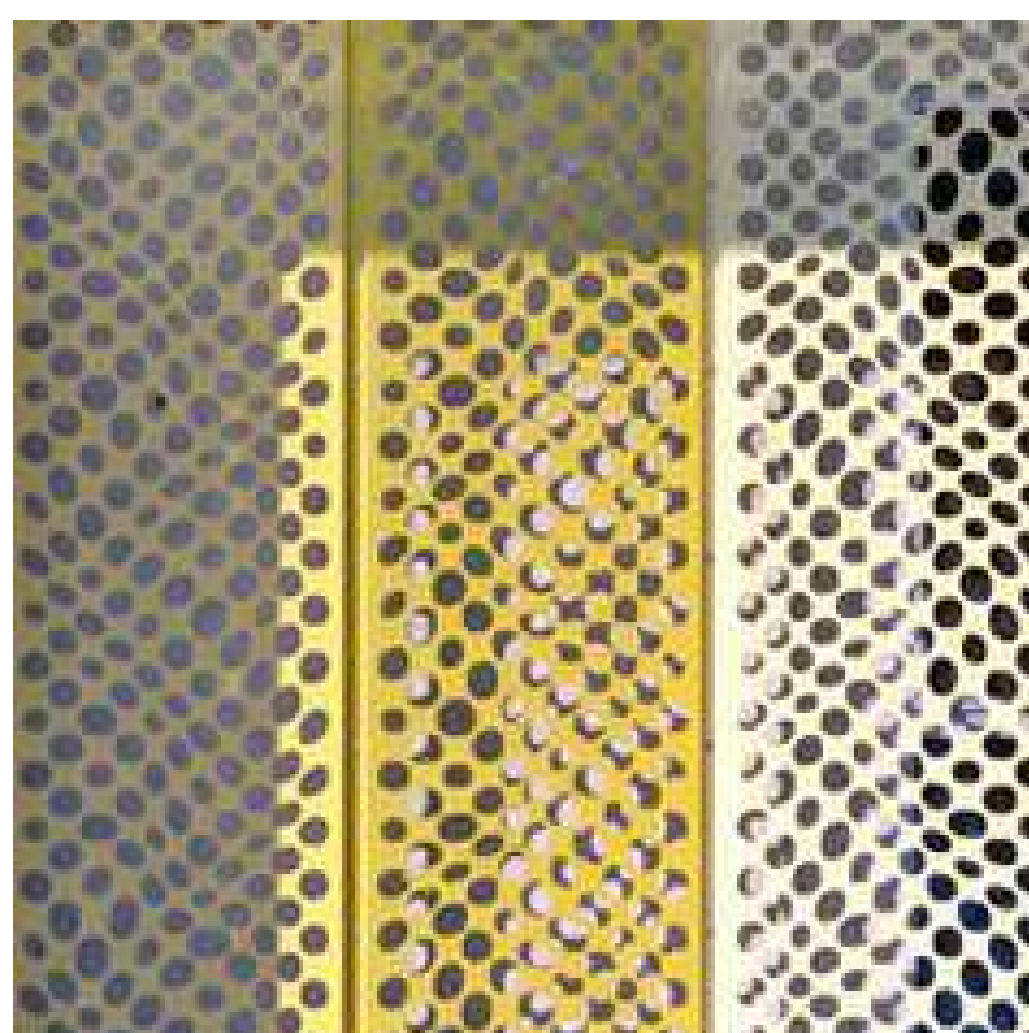
3 - Storefront System



4 - Cement Board (Dark)



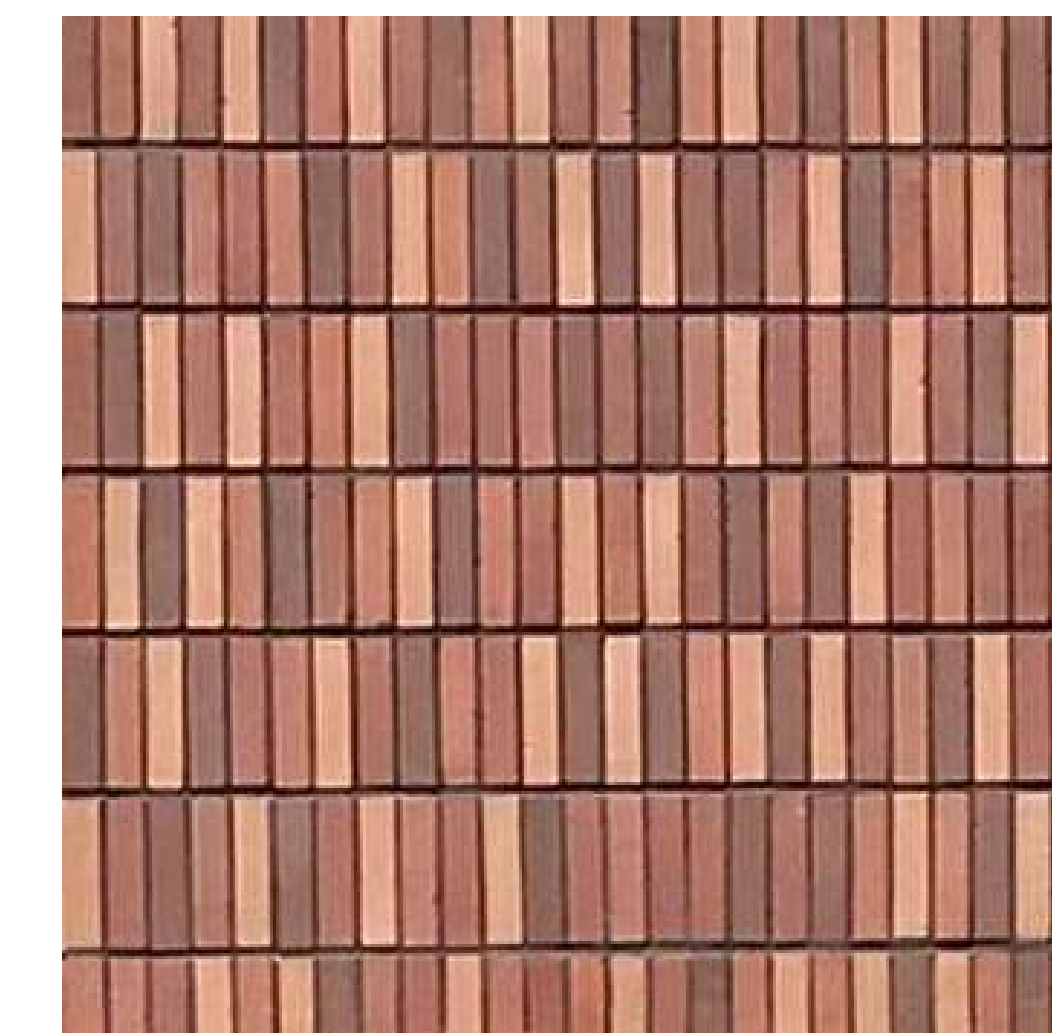
5 - Cement Board (Light)



6 - Perforated Metal Screen (Painted)



7 - GFRC



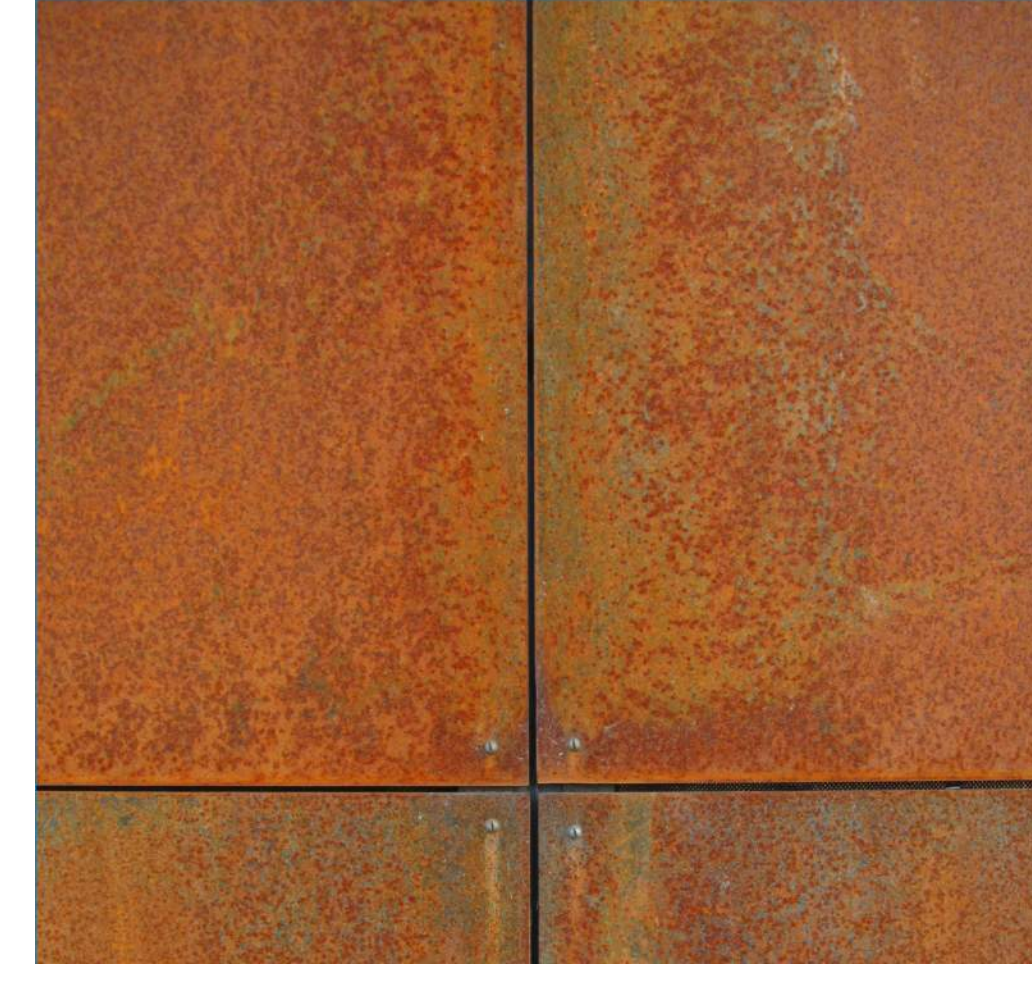
8 - Thin Brick



9 - Aluminum Windows



10 - Balconies with Perforated Metal Guardrails

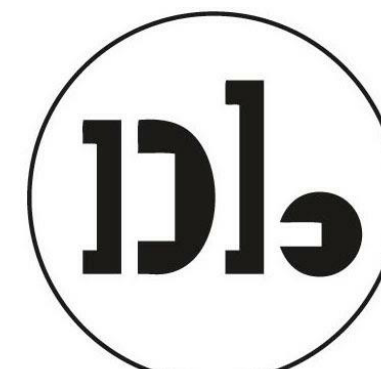


11 - Corten Steel Panels



12 - Smooth Concrete

Woodland Park Euclid Improvements



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Design Update -
February 2024

Drawing Title

OPEN SPACE
DIAGRAMS

Sheet No.

A500

Date 02/09/2024
Project No. 21620

EAST PALO ALTO DEVELOPMENT CODE 18.08.010:

- Common Open Space.** The land area within a residential or nonresidential development not individually owned or dedicated for public use and designed, intended, and reserved exclusively for the shared enjoyment or use by all the residents and their guests. Does not include enclosed spaces/facilities (e.g., community center, meeting rooms, etc.)
- Private Open Space.** An outdoor or unenclosed area directly adjoining and accessible to a dwelling unit, reserved for the exclusive private enjoyment and use of residents of the dwelling unit and their guests (e.g., balcony, deck, porch, terrace, etc.). Boundaries are evident through the use of fences, gates, hedges, walls, or other similar methods of controlling access and maintaining privacy.
- Publicly Accessible / Usable Open Space.** An outdoor or unenclosed area within a residential development on the ground, or on a roof, balcony, deck, porch or terrace, designed and accessible for outdoor living, active or passive recreation, pedestrian access, or landscaping. Parking facilities, driveways, utility or service areas and submerged land do not constitute usable open space.

OPEN SPACE - PROVIDED

WEST PARCEL

COMMON:

Level 3	OPEN SPACE - COMMON	2,163 SF
Level 8	OPEN SPACE - COMMON	2,276 SF
		4,439 SF

PRIVATE:
(BALCONIES)

Level 2	OPEN SPACE - PRIVATE	2	96 SF
Level 3	OPEN SPACE - PRIVATE	7	1,658 SF
Level 4	OPEN SPACE - PRIVATE	12	574 SF
Level 5	OPEN SPACE - PRIVATE	11	528 SF
Level 6	OPEN SPACE - PRIVATE	12	574 SF
Level 7	OPEN SPACE - PRIVATE	11	528 SF
Level 8	OPEN SPACE - PRIVATE	10	478 SF
		65	4,437 SF

USABLE / PUBLIC:

Level 1	OPEN SPACE - PUBLIC	1,628 SF
		1,628 SF

West Parcel Grand Total 10,504 SF

EAST PARCEL

COMMON:

Level 3	OPEN SPACE - COMMON	6,802 SF
Level 4	OPEN SPACE - COMMON	17,682 SF
Level 8	OPEN SPACE - COMMON	3,251 SF
		27,734 SF

PRIVATE:
(BALCONIES)

Level 3	OPEN SPACE - PRIVATE	14	3,964 SF
Level 4	OPEN SPACE - PRIVATE	45	2,293 SF
Level 5	OPEN SPACE - PRIVATE	40	2,071 SF
Level 6	OPEN SPACE - PRIVATE	33	1,734 SF
Level 7	OPEN SPACE - PRIVATE	40	2,071 SF
Level 8	OPEN SPACE - PRIVATE	30	1,591 SF
		202	13,724 SF

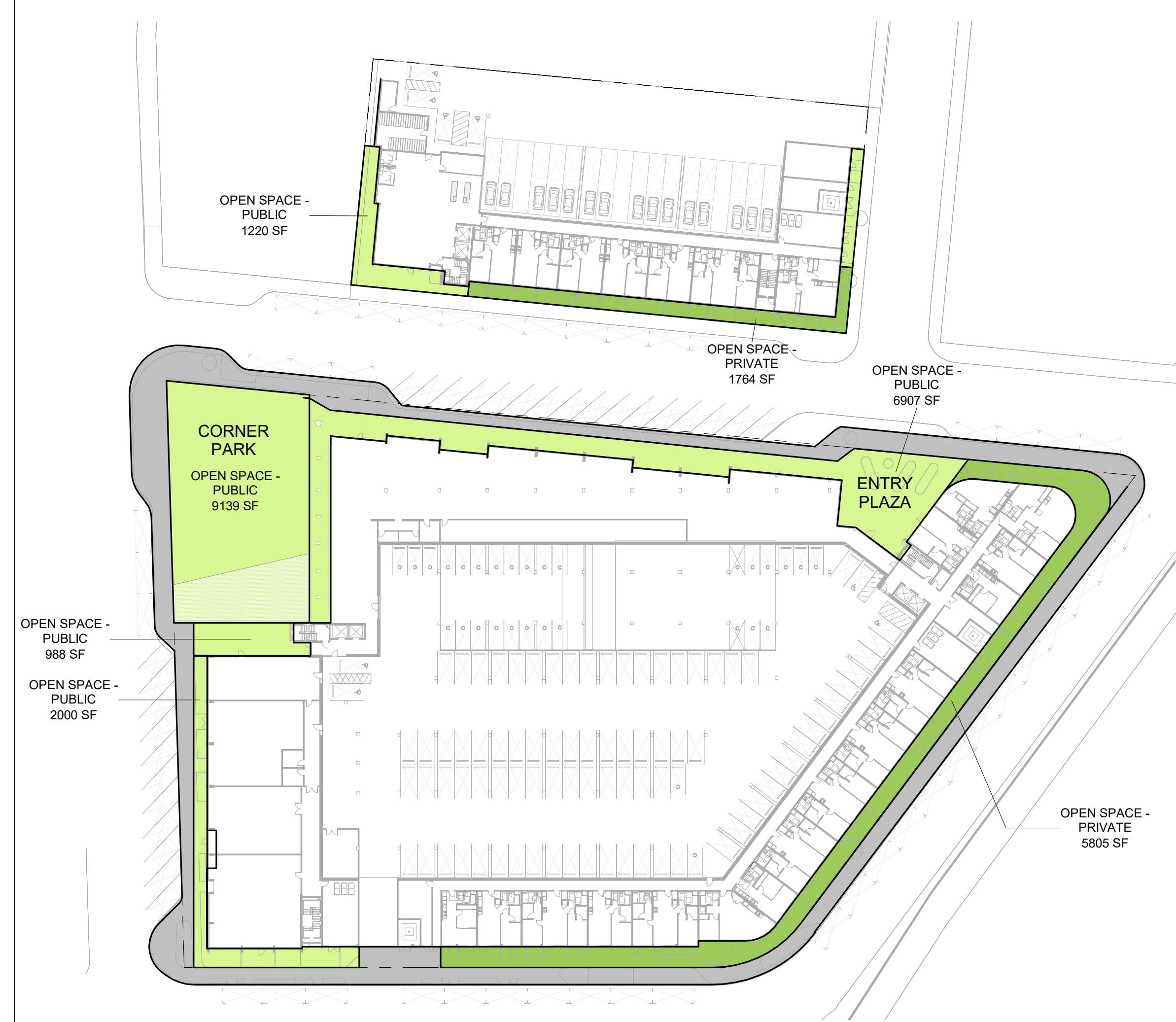
USABLE / PUBLIC:

Level 1	OPEN SPACE - PUBLIC	19,034 SF
		19,034 SF

East Parcel Grand Total 60,492 SF

PROJECT TOTAL:

TOTAL OPEN SPACE PROVIDED: 10,504 SF + 60,492 SF = 70,996 SF TOTAL
 - 9,335 SF OF WHICH IS PARK SPACE (COMMUNITY BENEFIT)
 = 61,661 SF TOTAL OPEN SPACE
 (110 SF PER UNIT)



1 LEVEL 1 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"



2 LEVEL 3 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"

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February 2024

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**OPEN SPACE
DIAGRAMS**

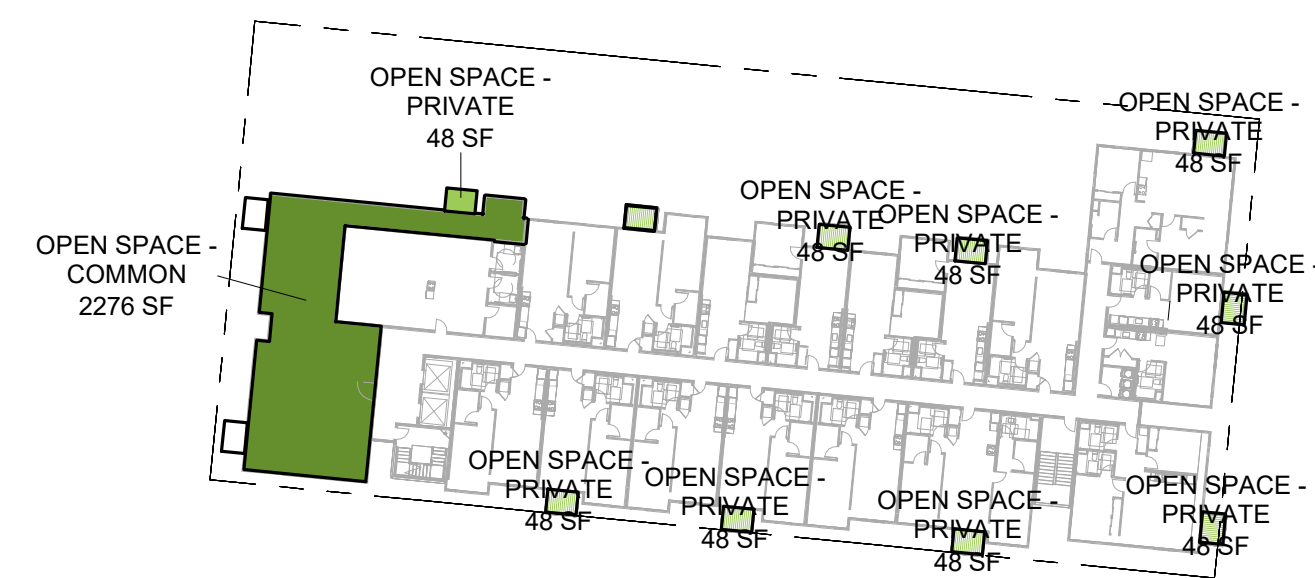
Sheet No.

A502

Date	02/09/2024
Project No.	21620



① LEVEL 4 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"



② LEVEL 8 PLAN - OPEN SPACE DIAGRAM
1" = 50'-0"

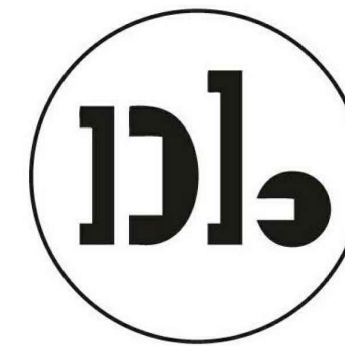


LEGEND:

PAVING		
KEY	SYMBOL	DESCRIPTION / LOCATION
P1		DECOMPOSED GRANITE
P2		GRAVEL
P3		CIP CONCRETE
P4		ASPHALT BLOCK PAVER
P5		CIP COLORED CONCRETE
P6		STONE PAVERS
P7		ECO GRID PAVERS AT PARKING
FURNISHINGS		
KEY	SYMBOL	DESCRIPTION / LOCATION
F1		WOOD BENCH
F2		PICNIC TABLE
F3		BBQ GRILL
F4		CUSTOM PLAY AND SEATING STRUCTURE
F5		CURVED CONCRETE BENCH
F6		GARDEN BED
F7		BIKE RACK / BOLLARD
PLANT LIST		
TREES		
KEY	SYMBOL	COMMON NAME
		PROTECTED TREE
FRAM		WHITE ASH
ARMA		MARINA STRAWBERRY TREE
QUDO		BLUE OAK
PIXR		RED PUSH PISTACHE
QUKI		KINDRED SPIRIT OAK
PAPE		IRONWOOD

PA PLANTING AREA

Woodland Park Euclid Improvements



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Rev.	Description	Date

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February 2024

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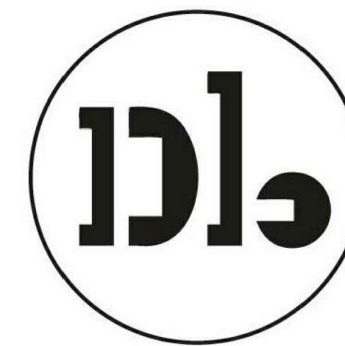
Landscape
Site Plan

Sheet No.

L-1.0

Date 27 February, 2024
Project No. 21620

Woodland Park Euclid Improvements



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Description	Date

Revisions		
Rev.	Description	Date

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**Design Update -
February 2024**

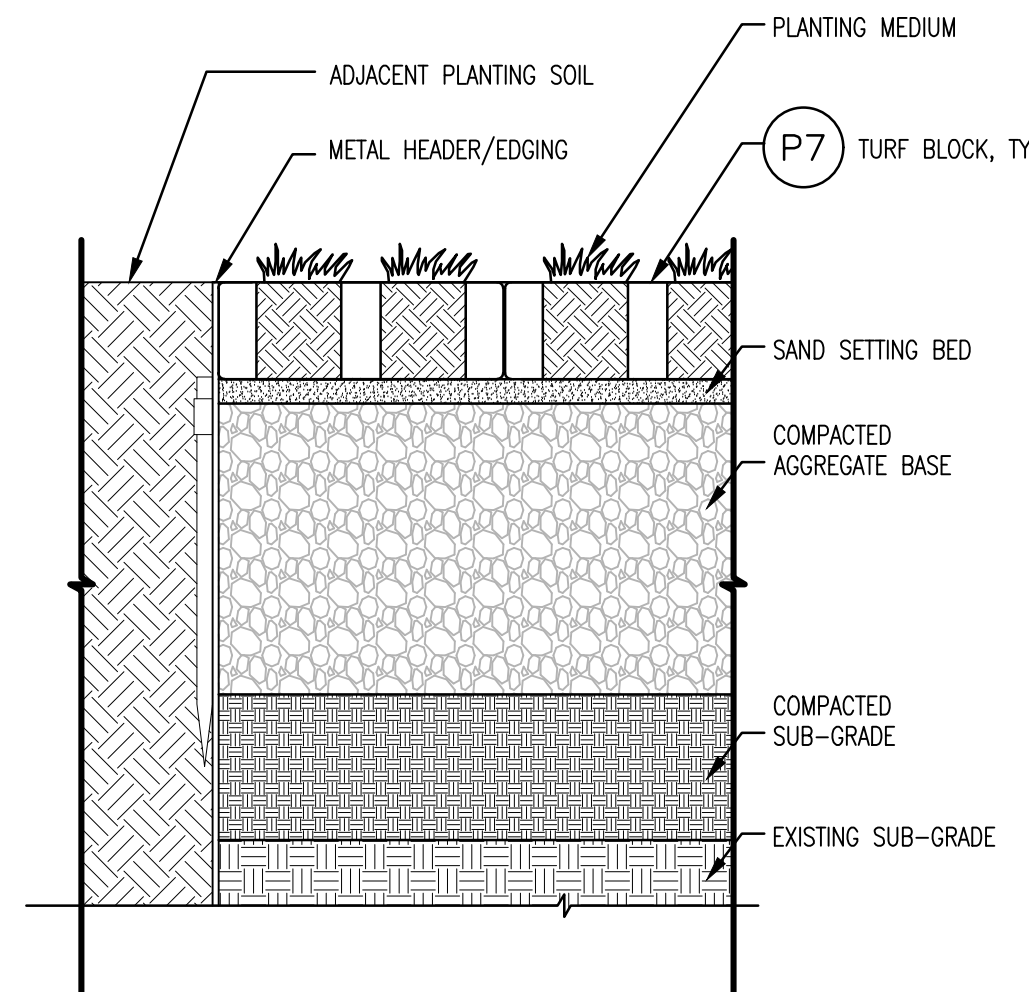
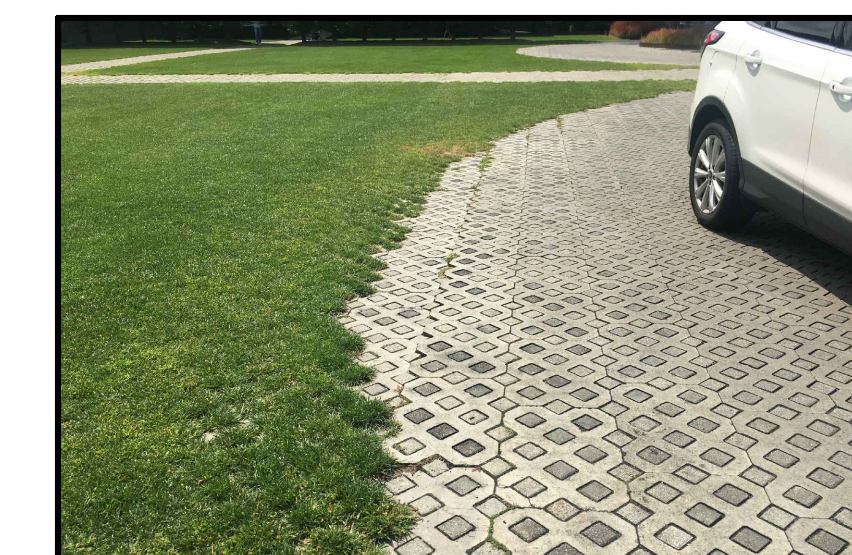
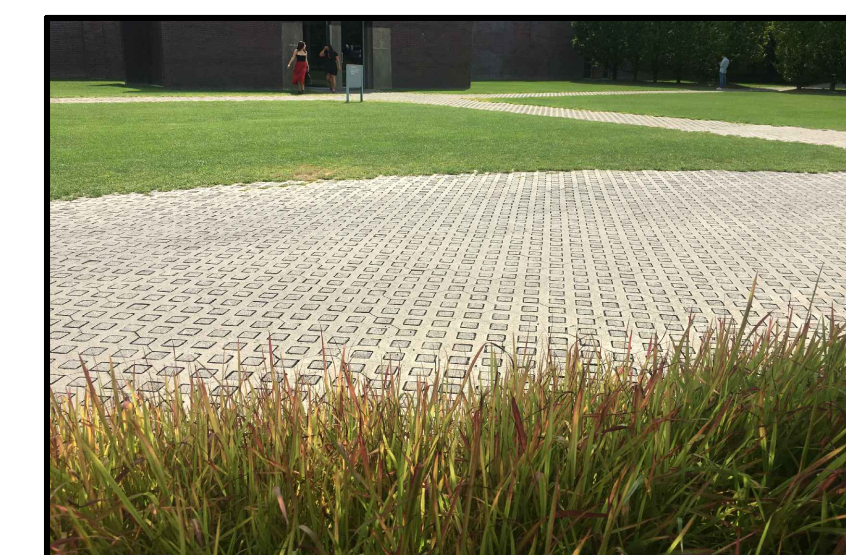
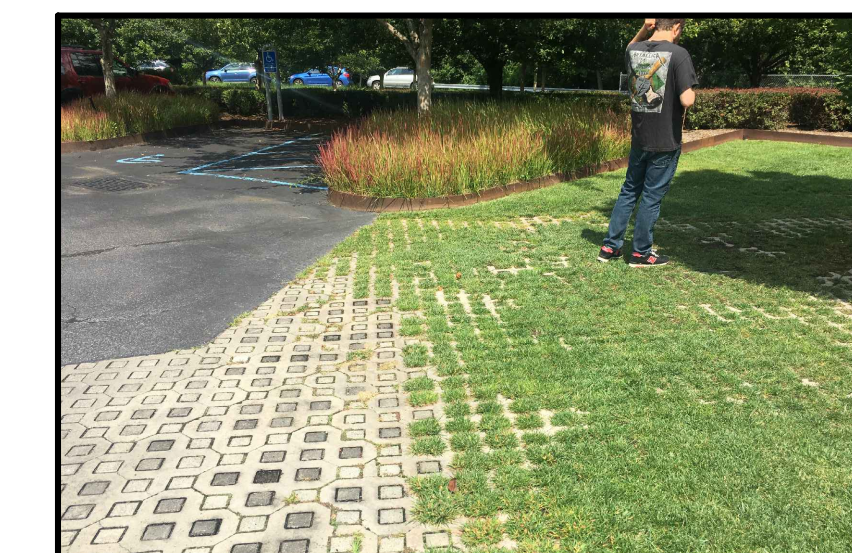
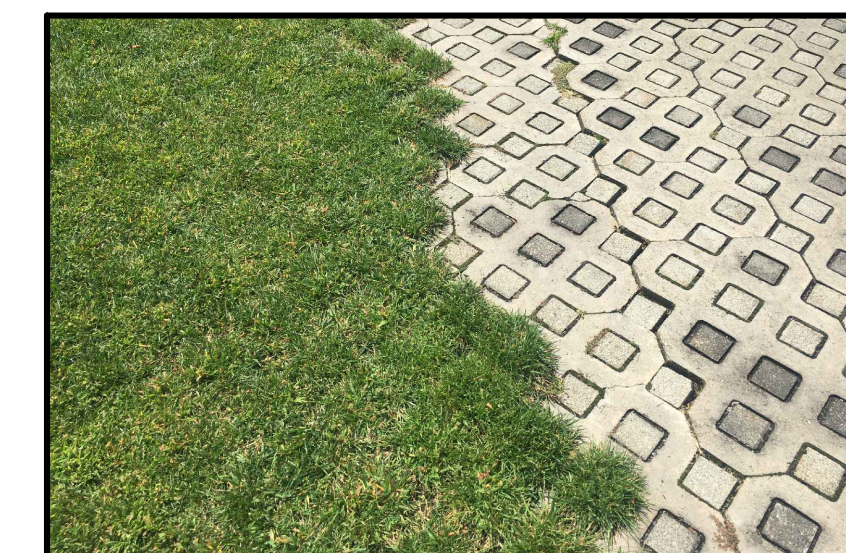
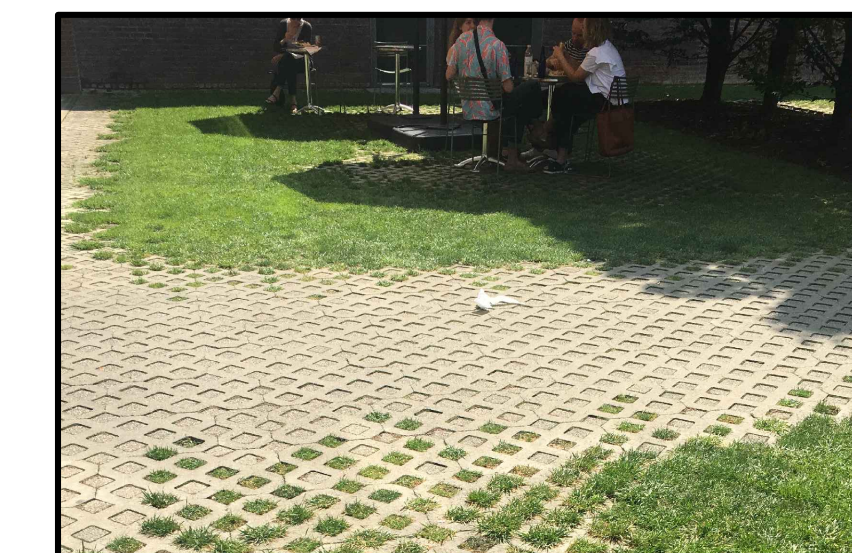
Drawing Title

**Landscape
Details**

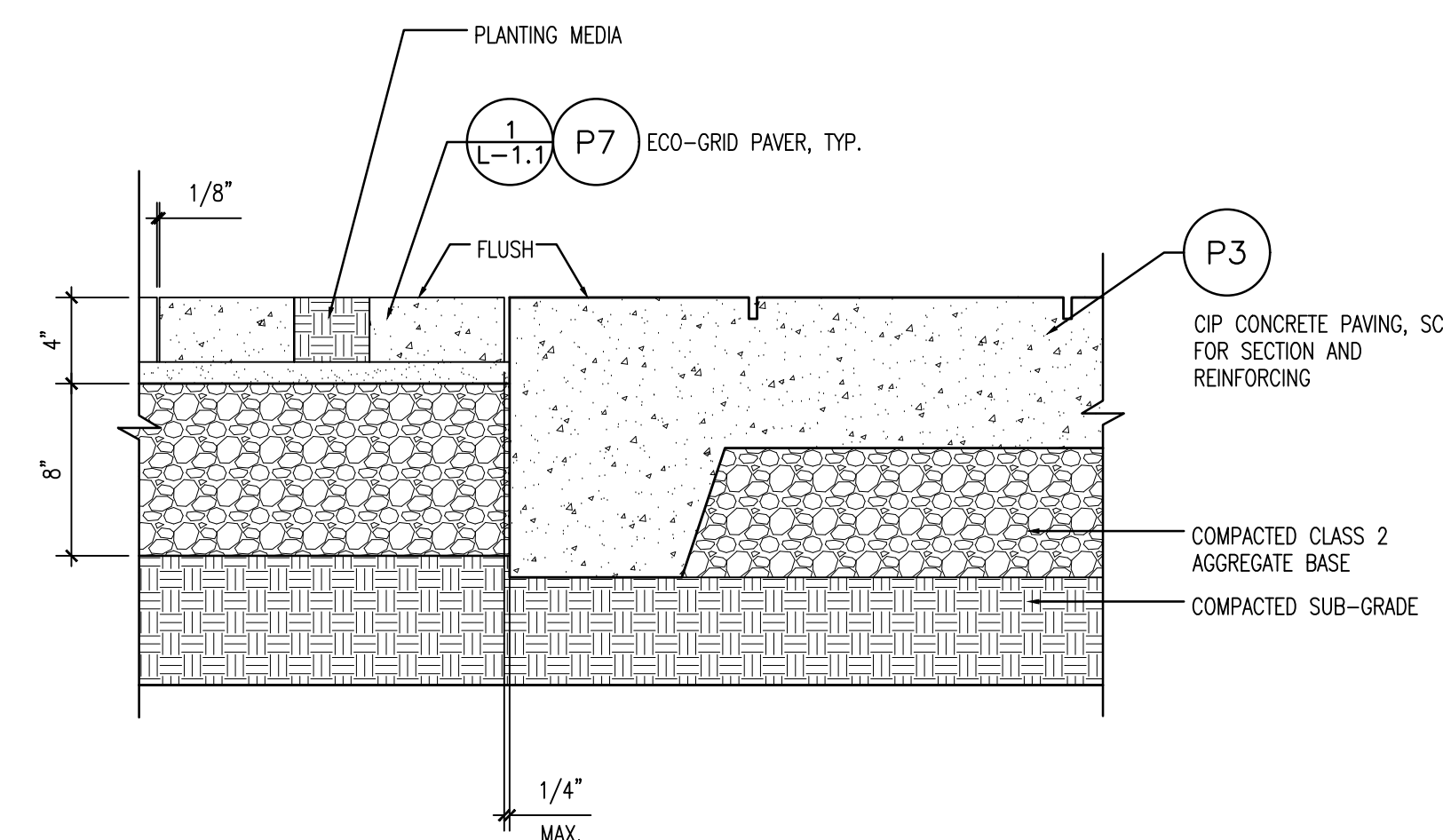
Sheet No.

L-1.1

Date 27 February, 2024
Project No. 21620

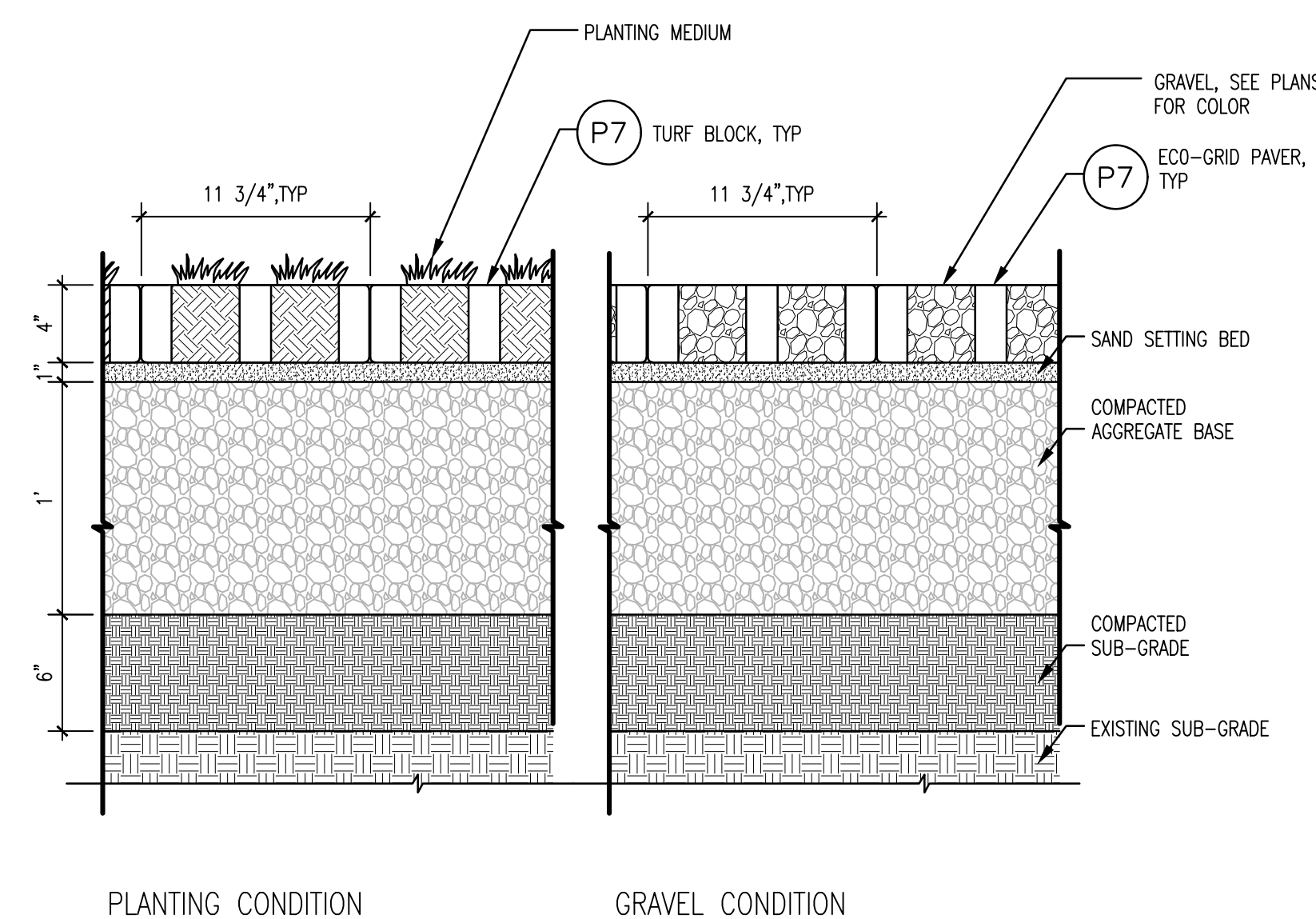


5 P7 - ECO-GRID PAVER AT PLANTING
SCALE: 1-1/2" = 1' - 0"

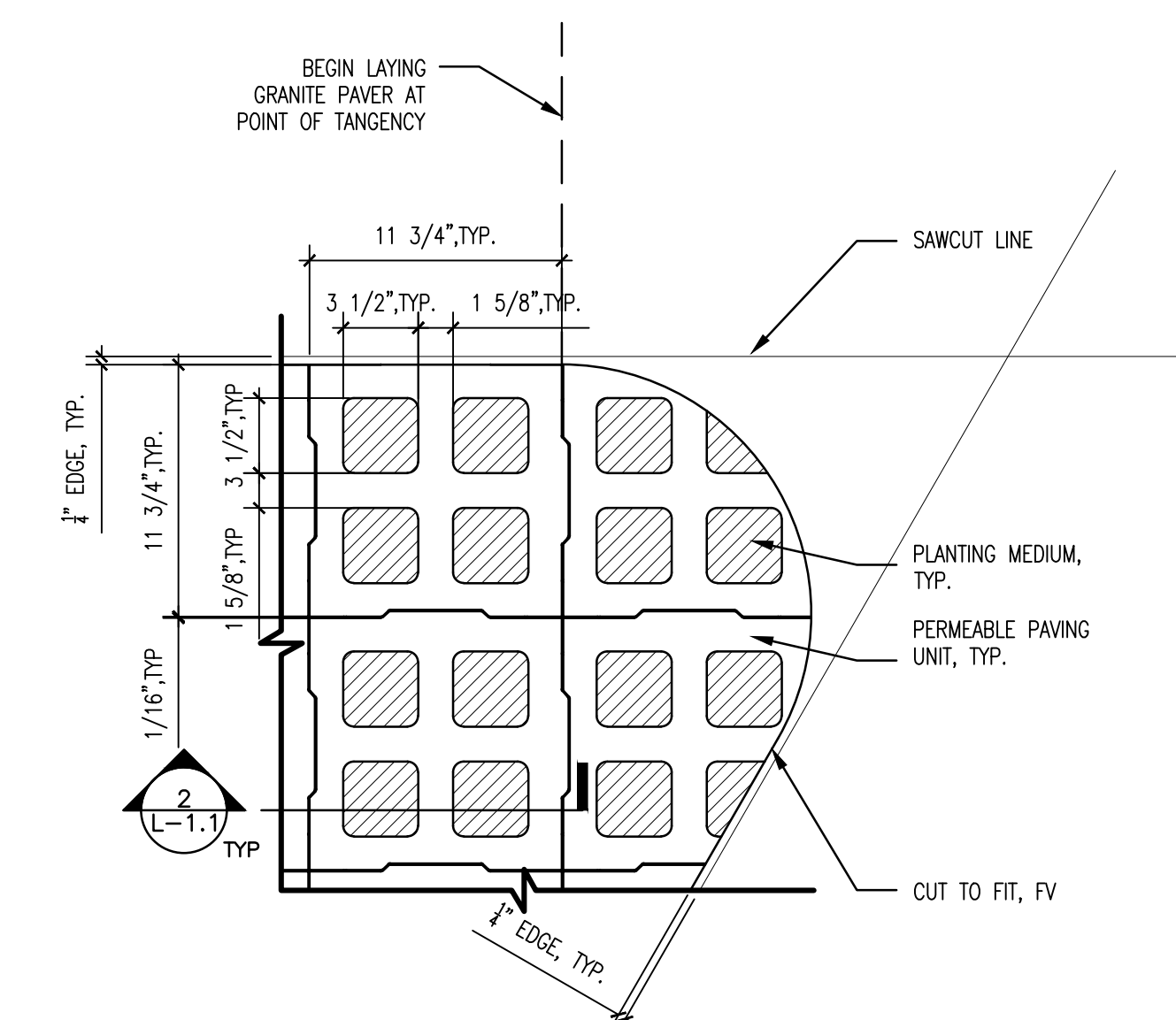


4 P7 - ECO-GRID PAVER AT CONCRETE PAVING
SCALE: 1-1/2" = 1' - 0"

2 P7 - ECO-GRID PAVER (REFERENCES)
SCALE: N/A



3 P7 - ECO-GRID PAVER, TYPICAL
SCALE: 1-1/2" = 1' - 0"



1 P7 - ECO-GRID PAVERS FOR FLEX PARKING AREA
SCALE: 1-1/2" = 1' - 0"

GENERAL NOTES

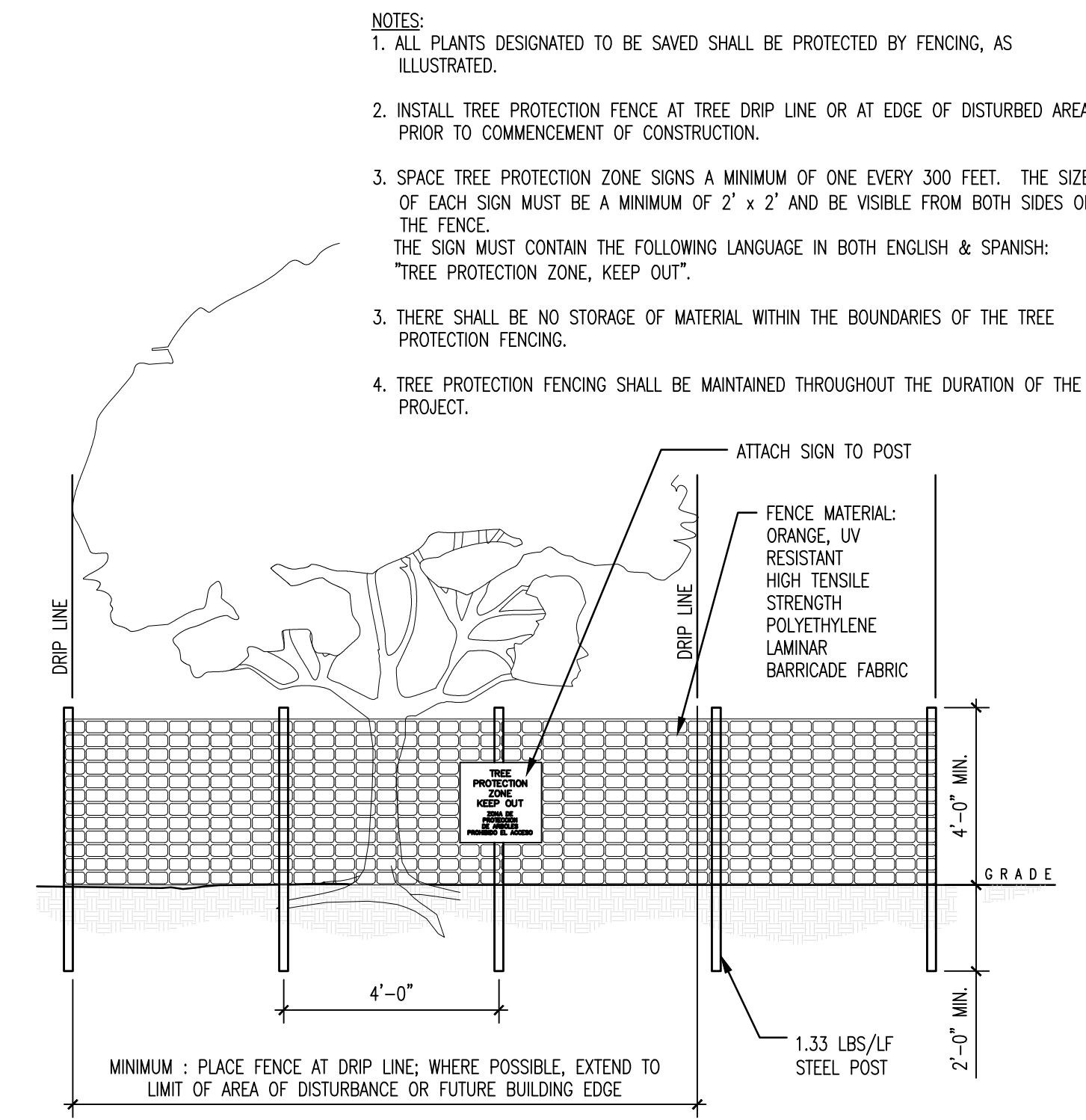
1. ALL TREE REMOVAL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LOCAL CODES AND ORDINANCES.
2. ALL ADDITIONAL REQUIREMENTS FOR TREE PROTECTION AND MITIGATION AS REQUIRED BY THE CITY ARBORIST AND THE PROJECT ARBORIST SHALL BE FOLLOWED. REFERENCE CITY OF SANTA CLARA ARBORIST NOTES AND PROJECT ARBORIST NOTES.
3. CONTRACTOR SHALL VISIT THE SITE WITH OWNER'S REPRESENTATIVES PRIOR TO BEGINNING ANY WORK. VERIFY ALL TREES, SHRUBS & VEGETATION WITHIN THE LIMITS OF WORK TO BE REMOVED AND ALL TREES & PLANTS TO REMAIN AND TO BE PROTECTED.
4. ALL TREES AND PLANTS DESIGNATED TO REMAIN SHALL BE PROTECTED FROM PHYSICAL DAMAGE AND MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT. THOSE TREES AND PLANTS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING THE ROOTS, AND DISPOSED OF OFF-SITE. BACKFILL EXCAVATED AREAS TO RESTORE TO EXISTING GRADE.
5. PROTECTIVE FENCING: TEMPORARY FENCES OR BARRICADES SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS OR AS DIRECTED IN THE FIELD BY THE PROJECT ARBORIST OR THE OWNER'S REPRESENTATIVE. FENCING SHALL BE A MINIMUM OF SIX (6) FOOT HEIGHT, CHAIN LINK, MAINTAIN FENCING IN CONTINUOUS, STABLE AND UPRIGHT CONDITION AT ALL TIMES.
6. CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED FROM CONSTRUCTION AND DISPOSE OF IN A LAWFUL MANNER.

PROJECT ARBORIST NOTES

1. THE TREE PRESERVATION GUIDELINES ARE SUPERSEDED BY THE CITY OF SANTA CLARA ARBORIST NOTES INCLUDED IN THE DOCUMENTS PROVIDED. THIS INCLUDES CITY TREE DAMAGE PENALTIES IN THE CASE THAT TREES DIE OR ARE DAMAGED DUE TO FAILURE TO PROVIDE ADEQUATE PROTECTIONS. CITY REQUIRES THAT ARBORIST SUPERVISION OF PROJECT TREE PROTECTION BE CONDUCTED BY CITY ARBORIST OR ARBORIST EMPLOYED BY CITY.
 2. THESE GUIDELINES PROVIDE FOR THE CARE AND MAINTENANCE OF THE TREE(S) BEFORE, DURING AND AFTER CONSTRUCTION ACTIVITIES. THE GOAL OF TREE PROTECTION AND PRESERVATION IS TO PROVIDE FOR A SUCCESSFUL TRANSITION TO A MODIFIED SITE.
 3. TO BE MOST EFFECTIVE, TREE PRESERVATION AND HEALTH MITIGATION MEASURES MUST COMMENCE WELL BEFORE THE TIME OF DISTURBANCE AS HEALTHY TREES ARE MORE LIKELY TO SURVIVE ADVERSE IMPACTS.
 4. TO BE EFFECTIVE, PROJECT ARBORIST MUST HAVE THE ABILITY TO ASSURE THE GUIDELINES ARE OBSERVED AND HAVE THE ABILITY TO HALT ALL CONSTRUCTION ACTIVITIES IF TRANSGRESSIONS OCCUR.
 5. PROJECT CONSTRUCTION DOCUMENTS MUST ACCURATELY SHOW TREE PROTECTION AREAS AND SPECIFY PROTOCOL AND PROCEDURES TO BE USED FOR ALL ACTIVITIES WITHIN THE DESIGNATED TREE PROTECTION AREA.
- SITE ANALYSIS AND EARLY TREE HEALTH MITIGATION**
6. THE INFORMATION GAINED FROM SITE ANALYSIS IS UTILIZED FOR ROOT AND SOIL PROTECTION AND TO ASSURE THAT ADEQUATE MITIGATION TREATMENTS ARE PROVIDED.
 7. SOIL PROFILE EXAMINATION – THE SOIL PROFILE EXAMINATION DETERMINES SOIL TEXTURE AND MOISTURE LEVELS. SOIL COMPACTION IS ALSO ASSESSED. THIS INFORMATION IS VITAL TO THE UNDERSTANDING OF THE LEVEL OF SOIL PROTECTION AND MITIGATION THAT WILL BE NECESSARY.
 8. LABORATORY ANALYSIS – ANALYSIS OF SOIL AND PLANT TISSUE SAMPLES CAN HELP GUIDE THE USE OF SOIL AMENDMENTS AND FERTILIZATION.
 9. ROOT INVESTIGATION – UNDERSTANDING THE DEPTH, SIZE AND AMOUNT OF ROOTS PRESENT IS REQUIRED TO HELP GUIDE PROJECT DESIGN AND ANTICIPATE WHEN A TREE IS UNLIKELY TO SURVIVE.
 10. MITIGATION OF LIMITATIONS IDENTIFIED – LIMITATIONS IDENTIFIED DURING SITE ANALYSIS ACTIVITIES ARE BEST MITIGATED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES. POSSIBLE LIMITATIONS TO BE MITIGATED INCLUDE SOIL COMPACTION, NUTRITIONAL DEFICIENCIES AND INSUFFICIENT OR EXCESS SOIL MOISTURE. MOST BASIC MITIGATION ENTAILS: IRRIGATION, MULCHING, WATER JET AND AIR SPADE PROCEDURES. SOIL AMENDMENTS OTHER THAN GOOD QUALITY MULCH MUST BE BASED UPON LABORATORY SOIL AND/OR TISSUE ANALYSIS.

PRE-CONSTRUCTION ACTIVITIES

11. THESE ACTIVITIES SHOULD BE UNDERTAKEN PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY.
12. MULCHING – USE OF GOOD QUALITY ORGANIC MULCH (WOOD CHIPS ARE BEST) ON SOIL SURFACE HELPS TO REDUCE SOIL COMPACTION AND RETAIN SOIL MOISTURE. RECOMMENDED MATERIAL IS WOOD CHIPS GENERATED FROM TREE TRIMMING. FRESH REDWOOD, INCENSE CEDAR AND WALNUT CHIPS ARE NOT ACCEPTABLE. NOR IS PALM GENERATED MULCH.
13. CROWN PRUNING – PRUNING MUST COMPLY WITH ANSI A300 PRUNING STANDARDS. PRUNING PRIOR TO CONSTRUCTION SHOULD INCLUDE: NECESSARY CLEARANCE PRUNING, DEADWOOD REMOVAL AND SAFETY PRUNING.
14. CONSTRUCTION DOCUMENTS TO SHOW PROTECTED TREES AND TREE PROTECTION REQUIREMENTS – PROJECT PLANS TO SHOW ALL TREE PROTECTION FENCING LAYOUT, AREAS OF ENCROACHMENT AND LIST PROCEDURES FOR WORKING AROUND PROTECTED TREES.
15. DESIGNATION OF TREE ROOT PROTECTION ZONE (RPZ) – CITY OF SANTA ROSA ARBORIST NOTES DESIGNATES THE "TREE PROTECTION ZONE AS 1.5 TIMES THE RADIUS OF THE DRIP LINE". THE TREE ROOT PROTECTION ZONE DESIGNATES AN AREA SURROUNDING A TREE OR GROUPING OF TREES THAT IS TO BE FENCED OFF FROM ALL ACCESS. NO MATTER THE RADIUS OF THE DRIP ZONE, THE RPZ IS NOT TO BE LESS THAN ONE (1) FOOT RADIAL DISTANCE FROM THE BASE OF THE TREE FOR EVERY ONE (1) INCH IN TREE DIAMETER. A TREE WITH A 10 INCH DIAMETER WOULD HAVE A MINIMUM RPZ EQUAL TO 10 FEET OUT FROM THE TREE. PROJECT ARBORIST CAN MODIFY THE RPZ DISTANCE BASED UPON PHYSICAL EVIDENCE OF ROOT PRESENCE OR ABSENCE.
16. TREE ROOT PROTECTION ZONE FENCING – FENCING IS TO BE CHAIN-LINK TYPE METAL FENCING WITH METAL POSTS DRIVEN TWO-FEET INTO THE SOIL. SIGNS SHALL BE ATTACHED TO TREE PROTECTION FENCING EVERY 20' WHICH READ "TREE PROTECTION ZONE DO NOT ENTER".
17. PROCEDURES AND TREATMENTS FOR WORK ACTIVITIES THAT MUST OCCUR INSIDE OF THE RPZ – ALL SUCH ACTIVITIES AND RELOCATION OF FENCING MUST BE OVERSEEN BY PROJECT ARBORIST. SPECIAL TRUNK, SCAFFOLD AND SOIL PROTECTION MEASURES ARE REQUIRED. WHEN ENCROACHMENT IS ANTICIPATED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES, THE PROTECTIONS MUST BE IN PLACE PRIOR TO BEGINNING WORK ACTIVITIES.
18. ARBORIST REVIEW AND APPROVAL OF TREE PROTECTION MEASURES – PROJECT ARBORIST EMPLOYED BY THE CITY OF SANTA CLARA TO REVIEW TREE PROTECTION GUIDELINES AND MODIFY AS DEEMED NECESSARY.
19. TREE PROTECTIONS INSTALLATION AND INSPECTED – PROJECT ARBORIST MUST CERTIFY THAT ALL TREE PROTECTION MEASURES HAVE BEEN PROPERLY INSTALLED.
20. PRE-CONSTRUCTION MEETING – CITY EMPLOYED PROJECT ARBORIST TO MEET WITH CONSTRUCTION SUPERVISOR AND WORK CREW TO REVIEW REQUIREMENTS OF THE TREE PROTECTION. ALL PERSONNEL WORKING ON SITE MUST BE PROVIDED AN ORIENTATION TO THE TREE PRESERVATION REQUIREMENTS. NO CONSTRUCTION ACTIVITIES MAY BEGIN UNTIL THIS MEETING HAS BEEN CONDUCTED.
21. PROJECT ARBORIST CAN DIRECT THAT ALL WORK ACTIVITIES STOP IF TREE PROTECTION GUIDELINES ARE NOT BEING FOLLOWED. ALL WORK ACTIVITIES CEASE UNTIL SUCH TIME AS THE PROBLEM HAS BEEN CORRECTED.
22. WORK ACTIVITIES THAT ENCR OACH INTO THE DESIGNATED RPZ ARBORIST SUPERVISION – ALL ACTIVITIES OCCURRING WITHIN THE DESIGNATED RPZ MUST BE UNDER DIRECT SUPERVISION OF PROJECT ARBORIST. ENCROACHMENT IS NOT PERMITTED UNTIL ALL ADDITIONAL PROTECTIONS ARE IN PLACE AND HAVE BEEN APPROVED.
23. SOIL AND ROOT PROTECTION – THE EFFECTS OF FOOT TRAFFIC CAN BE MITIGATED THROUGH THE USE OF SIX (6) INCHES OF WOOD CHIP MULCH AND ¼ INCH PLYWOOD PLACED ON TOP. PROTECTIONS FOR EQUIPMENT OPERATING WITHIN THE DESIGNATED RPZ REQUIRES 12 INCHES OF MULCH WITH EITHER METAL TRENCHING PLATES OR 1 1/8 INCH PLYWOOD PLACED ON TOP.
24. TRUNK AND SCAFFOLD PROTECTION – WHENEVER CONSTRUCTION ACTIVITY MUST OCCUR INSIDE THE TREE PROTECTION ZONE, THE BASE OF THE TREE AND THE FIRST EIGHT FEET AND EXPOSED SCAFFOLD LIMBS MUST BE ARMORED. PROTECTION IS GENERALLY PROVIDED BY WRAPPING THE TRUNK WITH STRAW WADDLES COVERED WITH ORANGE PLASTIC CONSTRUCTION FENCING. EXPOSED SCAFFOLD LIMBS ARE BEST PROTECTED BY STRAPPING 2X4 BOARDS TO THE PART EXPOSED TO POTENTIAL INJURY AND WRAPPING WITH ORANGE PLASTIC FENCING MATERIAL.
25. REQUIRED METHOD OF EXCAVATION WITHIN CRITICAL ROOT ZONE – WHEREVER POSSIBLE, ROUTE UTILITIES OUTSIDE OF THE DESIGNATED RPZ. TUNNELING IS THE PREFERRED METHOD FOR UTILITIES PASSING THROUGH THE RPZ. WHEN TRENCHING IS REQUIRED, CAREFULLY HAND EXCAVATION OR THE USE OF THE AIR SPADE OR DITCH WITCH IS REQUIRED. PROJECT ARBORIST MUST APPROVE AND SUPERVISE ALL SUCH ACTIVITY.
26. NECESSARY ROOT PRUNING – LATE FALL SEASON IS THE BEST TIME FOR ROOT PRUNING. SPRING CAN BE THE MOST HARMFUL AT THIS IS THE TIME OF GREATEST MOISTURE NEEDS. ALL NECESSARY ROOT PRUNING IS CONDUCTED BY PROJECT ARBORIST AFTER THE ROOTS HAVE BEEN EXPOSED WITHOUT DAMAGE.
27. POST CONSTRUCTION MITIGATION ARBORIST DESIGNATION OF HEALTH MITIGATION ACTIVITIES – PROJECT ARBORIST WILL DESIGNATE TREE HEALTH MITIGATION ACTIVITIES BASED UPON THE LEVEL OF ROOT LOSS AND ADVERSE IMPACTS THAT HAVE OCCURRED.
28. MONITORING TREE HEALTH – TREES THAT HAVE BEEN ADVERSELY IMPACTED BY CONSTRUCTION ACTIVITIES ARE NOTED FOR REGULAR VISUAL INSPECTION. PROJECT ARBORIST WILL DIRECT FURTHER MITIGATION. INSECTS AND FUNGAL PATHOGENS ARE A SIGN OF POOR TREE HEALTH (LOW ENERGY RESERVES) AND INDICATE THE NEED FOR HEALTH MITIGATION.
29. MONITORING OF SOIL MOISTURE – MOISTURE SHOULD BE MONITORED BY VISUAL INSPECTION USING A SOIL PROBE OR THROUGH THE USE OF TENSIOMETERS PLACED AT KEY LOCATIONS AND DEPTHS. SUPPLEMENTAL IRRIGATION IS MOST NEEDED DURING SPRING. IN CASES WHERE TREES HAVE SUFFERED ROOT LOSS, SUPPLEMENTAL IRRIGATION MAY BE REQUIRED FOR A NUMBER OF YEARS.
30. MITIGATION OF SOIL COMPACTION – THE LEVEL AND DEPTH OF SOIL COMPACTION MUST BE ASSESSED AND MITIGATED AS NECESSARY. TOOLS THAT ARE MOST SUITABLE FOR MITIGATION OF COMPACTED SOIL ARE THE WATER JET OR AIR SPADE.
31. LANDSCAPING – ALL LANDSCAPING PLANNING MUST TAKE PRECAUTIONS WHEN PLANTING WITHIN THE DESIGNATED RPZ. ALL PLANT MATERIALS SHOULD BE SELECTED FOR COMPATIBILITY WITH THE FAVORED MOISTURE REGIME (HYDROZONE) OF THE TREE SPECIES AND SOIL TEXTURE.
32. CONTINUED MULCHING – MULCH IS EXTREMELY BENEFICIAL IN CREATING A HEALTHY ROOT ENVIRONMENT. A REGULAR PROGRAM OF MULCH APPLICATION IS RECOMMENDED TO HELP RETAIN SOIL MOISTURE, PROVIDE A SOURCE OF NUTRIENTS, AND HELP CONTROL WEEDS.
33. FERTILIZATION – TREES SHOULD BE FERTILIZED ONLY WHEN THE NUTRITIONAL LIMITATIONS HAVE BEEN IDENTIFIED THROUGH LABORATORY ANALYSIS OF SOIL OR PLANT TISSUE. EXCESSIVE NITROGEN FERTILIZATION IS KNOWN TO DRAW SUCKING INSECTS (APHID, SCALE, ETC.) TO THE PLANTS AND PROVIDE NUTRITION TO FUNGAL PATHOGENS IN THE SOIL. PEST MANAGEMENT PROGRAM – HEALTHY TREES DO NOT GENERALLY HAVE SERIOUS PEST PROBLEMS. STRESSED TREES BECOME ATTRACTIVE HOSTS TO PATHOGENS WHICH CAN CONTRIBUTE TO FURTHER DECLINE. PEST MANAGEMENT IS PRESCRIBED WHEN MONITORING INDICATES A NEED.
34. ENFORCEMENT OF TREE PROTECTION – CITY OF SANTA CLARA ARBORIST NOTES LIST PENALTIES FOR FAILURE TO COMPLY WITH PROTECTION AND MAINTENANCE OF TREES DESIGNATED TO BE RETAINED.



- NOTES:
1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

2 TREE PROTECTION FENCE
SCALE: 3/4"=1'-0"

PROTECTED TREES				REPLACEMENT TREES				
NAME	SPECIES	TRUNK DIAMETER (IN)	PRESERVED (Y/N)	PROTECTED TREE TO BE REMOVED	NEW SPECIES	SIZE	QTY	
860	OLEANDER	9	N	860	KINDRED SPIRIT OAK	24" BOX	2	
861	OLEANDER	8	N	861	KINDRED SPIRIT OAK	24" BOX	2	
863	OLEANDER	7	N	863	BLUE OAK	24" BOX	2	
870	CALIFORNIA BLACK WALNUT	14	N	870	KINDRED SPIRIT OAK	24" BOX	2	
871	DECODAR CEDAR	36	Y					
872	ENGLISH WALNUT	8	Y					
873	BOXELDER	8	Y					
874	DECODAR CEDAR	40	Y					
875	AVOCADO	14	Y					
876	JAPANESE MAPLE	9, 6, 5	Y					
877	JAPANESE MAPLE	7, 4, 4, 4, 4, 4	Y					
878	COAST REDWOOD	35	Y					
879	SAUCER MAGNOLIA	15, 10	Y					
880	ORANGE	14	N	880	KINDRED SPIRIT OAK	24" BOX	2	
881	AVOCADO	26	N	881	BLUE OAK	24" BOX	2	
882	BLACKWOOD ACACIA	21	N	882	BLUE OAK	24" BOX	2	
883	BLACKWOOD ACACIA	16	N	883	BLUE OAK	24" BOX	2	
885	GLOSSY PRIVET	15	N	885	BLUE OAK	24" BOX	2	
886	AUSTRALIAN BUSH CHERRY	7, 6, 5, 5	N	886	BLUE OAK	24" BOX	2	
887	AUSTRALIAN BUSH CHERRY	14	N	887	BLUE OAK	24" BOX	2	
888	AUSTRALIAN BUSH CHERRY	14	N	888	BLUE OAK	24" BOX	2	
890	AUSTRALIAN BUSH CHERRY	7	N	890	BLUE OAK	24" BOX	2	
891	WEeping BOTTLE BRUSH	14, 6	N	891	BLUE OAK	24" BOX	2	
896	ENGLISH WALNUT	17	N	896	BLUE OAK	24" BOX	2	
897	ORANGE	7	Y					
899	CHERRY	13	N	899	KINDRED SPIRIT OAK	24" BOX	2	
900	ENGLISH WALNUT	17	N	900	KINDRED SPIRIT OAK	24" BOX	2	
901	ORANGE	7	N	901	KINDRED SPIRIT OAK	24" BOX	2	
902	CHINESE ELM	24	Y					
903	CHINESE ELM	26	Y					
904	MONTEREY PINE	34	N	904	BLUE OAK	24" BOX	2	
905	RAYWOOD ASH	7	N	905	BLUE OAK	24" BOX	2	
907	RAYWOOD ASH	10, 12	N	907	BLUE OAK	24" BOX	2	
908	RAYWOOD ASH	11	N	908	BLUE OAK	24" BOX	2	
910	RAYWOOD ASH	9	N	910	BLUE OAK	24" BOX	2	
911	RAYWOOD ASH	10	Y					
912	PLUM	30	Y					
913	BOXELDER	20	Y					
914	BOXELDER	20	Y					
915	BOXELDER	31	Y					
916	TULIP TREE	24	Y					
917	COAST LIVE OAK	17	N	917	BLUE OAK	24" BOX	2	
920	ITALIAN CYPRESS	14	Y					
921	ITALIAN CYPRESS	11	Y					
922	ITALIAN CYPRESS	12	Y					
923	PLUM	12, 8	Y					
924	APPLE	15	N	924	KINDRED SPIRIT OAK	24" BOX	2	
926	PLUM	13	N	926	KINDRED SPIRIT OAK	24" BOX	2	
928	CABBAGE PALM	11, 9	N	928	BLUE OAK	24" BOX	2	
929	RIVER RED GUM	32	N	929	BLUE OAK	24" BOX	2	
931	SILVER DOLLAR GUM	21	N	931	BLUE OAK	24" BOX	2	
932	RIVER RED GUM	36	N	932	BLUE OAK	24" BOX	2	
937	RIVER RED GUM	24	N	937	BLUE OAK	24" BOX	2	
938	CABBAGE PALM	50	N	938	BLUE OAK	24" BOX	2	
939	SOUTHERN MAGNOLIA	30	N	939	BLUE OAK	24" BOX	2	
940	COAST LIVE OAK	27	N	940	BLUE OAK	24" BOX	2	
941	COAST LIVE OAK	26	Y					
942	SOUTHERN MAGNOLIA	26	Y					
943	SOUTHERN MAGNOLIA	23	Y					
944	COAST REDWOOD	30	Y					
947	VICTORIAN BOX	17, 15	N	947	KINDRED SPIRIT OAK	24" BOX	2	
948	PLUM	15	N	948	KINDRED SPIRIT OAK	24" BOX	2	
TOTAL PROTECTED TREES REMOVED				36	TOTAL TREES REQUIRED REPLACED (RATIO 1:2)			72
					TOTAL TREES PLANTED FOR REPLACEMENT			72

1 PROTECTED TREE AND REPLACEMENT TREE LISTS

Woodland Park Euclid Improvements



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Revisions

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Drawing Title

Tree Protection and Removals List and Notes

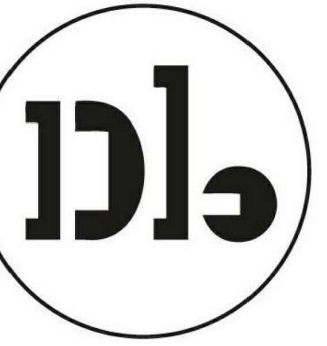
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T-0.1

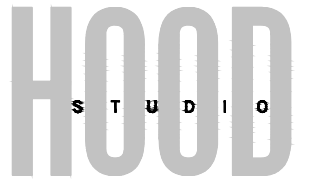
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Project No. 21620

3 TREE PROTECTION AND REMOVALS NOTES

Woodland Park Euclid Improvements



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LEGEND:

- #000 PROTECTED TREE TO BE PRESERVED
- #000 PROTECTED TREE TO BE REMOVED
- NEW REPLACEMENT TREE
- TREE QUANTITY IN AREA
TREE SPECIES KEY, REFER TO PLANT LIST FOR TREE SPECIES

- NOTES:**
- FOR LANDSCAPE MATERIALS, REFER TO SITE PLAN.
 - FOR FULL PLANT LIST, REFER TO LANDSCAPE SCHEDULES.
 - FOR TREE PRESERVATION LIST, REFER TO TREE PROTECTION AND REMOVALS LIST.

PLANT LIST

TREES

KEY	SYMBOL	COMMON NAME
		PROTECTED TREE
FRAM		WHITE ASH
ARMA		MARINA STRAWBERRY TREE
QUDO		BLUE OAK
PIXR		RED PUSH PISTACHE
QUKI		KINDRED SPIRIT OAK
PAPE		IRONWOOD

Issuances

Description	Date

Revisions

Rev.	Description	Date

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Drawing Title
**Tree Protection
& Removal Plan**

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T-1.1

Date 27 February, 2024
Project No. 21620



1 TREE PROTECTION AND REMOVALS (TPR) PLAN
SCALE: 1" = 30'

Euclid Improvements



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LEGEND:

- PROPERTY LINE
ADJACENT PROPERTY LINE
ROAD CENTERLINE
EASEMENT
(E)WATER LINE
(E)SANITARY SEWER LINE
(E)STORM DRAIN LINE
(E)CATCH BASIN
(E)FIRE HYDRANT
(E)MANHOLE

ABBREVIATIONS:

- (B) BOUNDARY
(E) EXISTING
(T) TOTAL
TYP TYPICAL
CB CATCH BASIN
FH, HYD FIRE HYDRANT
MH MANHOLE
MISC MISCELLANEOUS
W WATER
SS SANITARY SEWER

BASIS OF BEARING:

THE BEARING NORTH 88°27'00" EAST OF THE NORTHERLY LINE OF WEEKS STREET AS SAID BEARING IS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON SEPTEMBER 6, 1995 IN BOOK 16 OF L.L.S. MAPS AT PAGE 25, RECORDS OF SAN MATEO COUNTY, WAS HELD AS THE BASIS OF BEARINGS OF THIS SURVEY.

BENCHMARK:

CITY OF EAST PALO ALTO BENCHMARK: BM-5

DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN LANDSCAPING AT SOUTH EDGE OF NEWBRIDGE STREET SIDEWALK NEAR INTERSECTION WITH BAY ROAD AND 100' WESTERLY OF BUS STOP.

ELEVATION = 16.81 FEET, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

NOTES:

- 1. EXISTING CONDITIONS OBTAINED FROM AERIAL SURVEY DATED 11/09/2016.
2. FEMA FLOOD HAZARD INFORMATION: FLOOD ZONE X, AREAS OF MINIMAL FLOOD HAZARD, PER MAP NUMBER 06081C0309F, PANEL 309 OF 510, DATED APRIL 5, 2019.
3. PROPERTY LINES ARE SHOWN FOR REFERENCE AND ARE NOT RESOLVED.
4. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
5. SEE LANDSCAPING TREE DISPOSITION PLAN FOR ALL EXISTING TREES TO BE REMOVED OR TO REMAIN.

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Table with 2 columns: Rev., Date. Row 1: Revisions, Date. Row 2: Description, Date

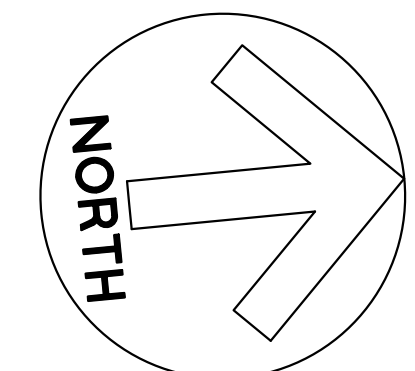
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Design Update -
February 2024

Drawing Title
EXISTING
CONDITIONS AND
DEMOLITION PLAN

Sheet No.

C1.0

Date: 2024-02-27
Project No.: 20166089-20



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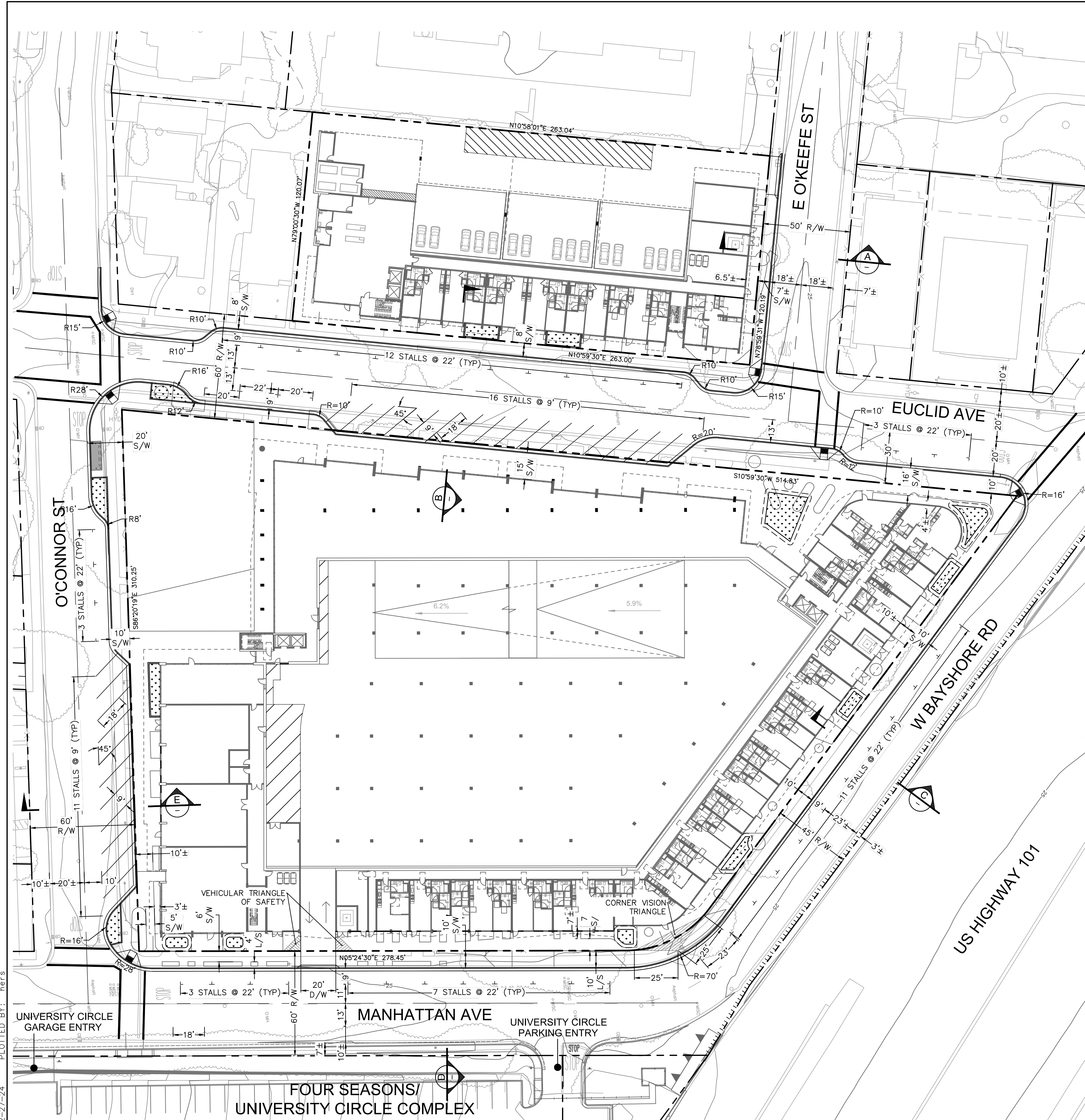
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PRELIMINARY SITE
PLAN

Sheet No.

C2.0

Date 2024-02-27
Project No. 20166089-20

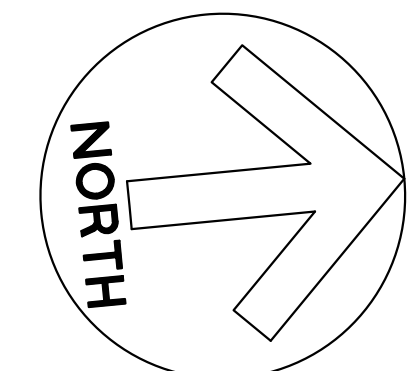
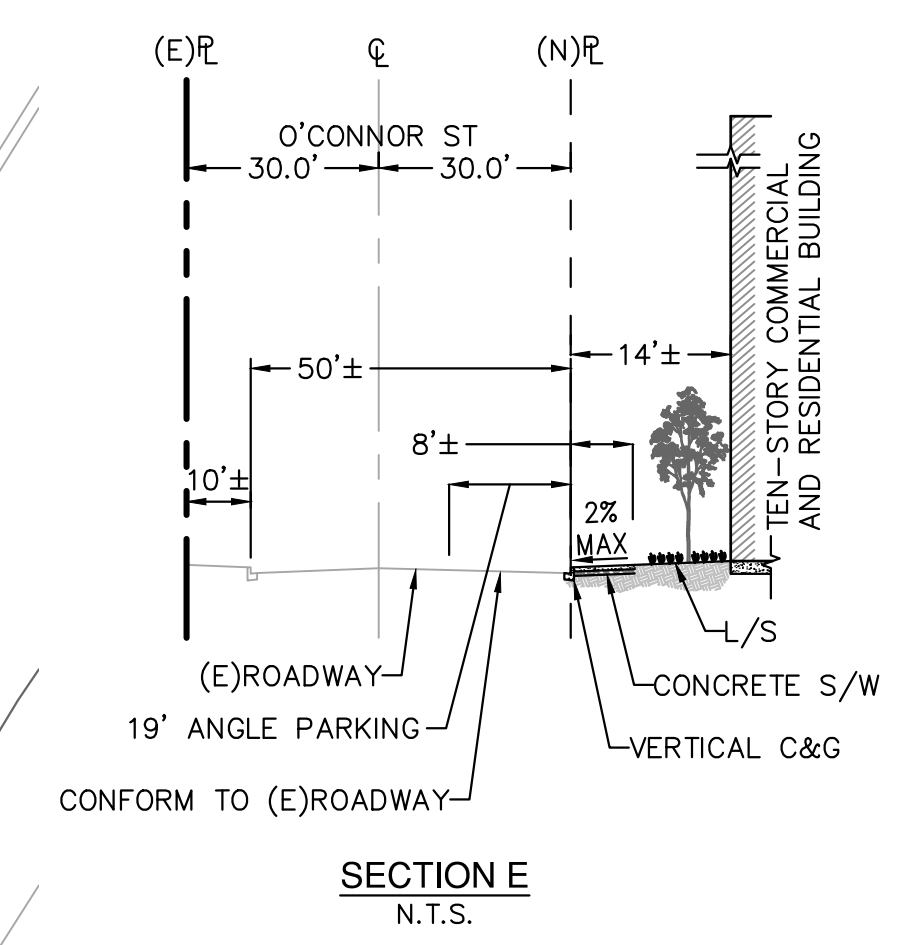
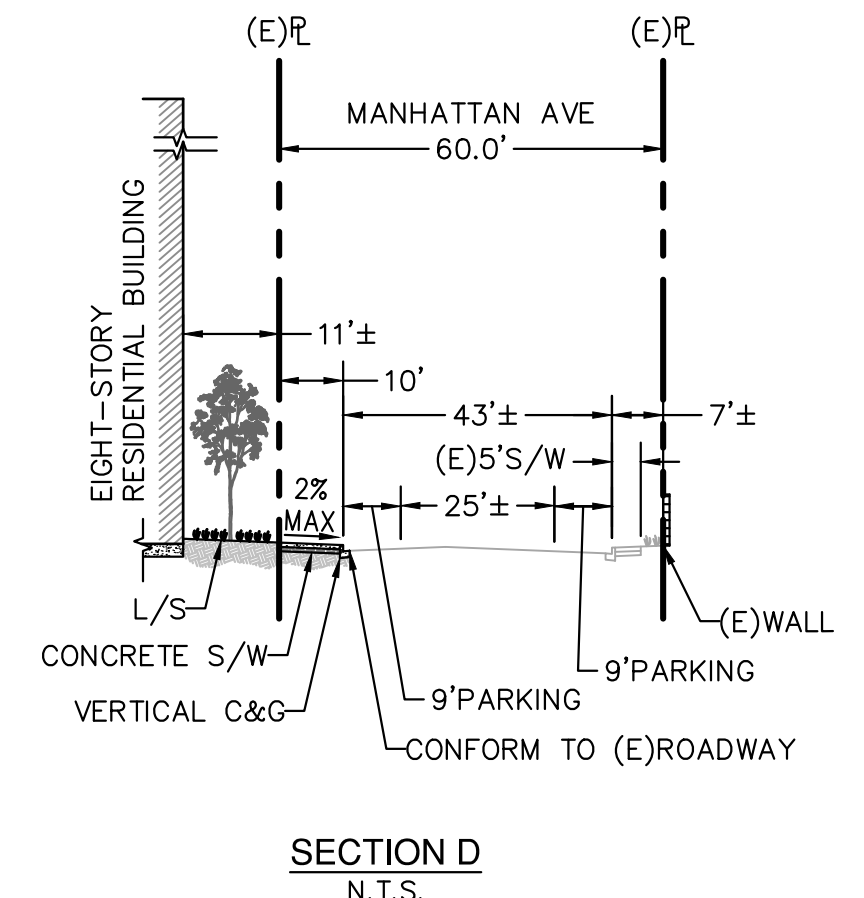
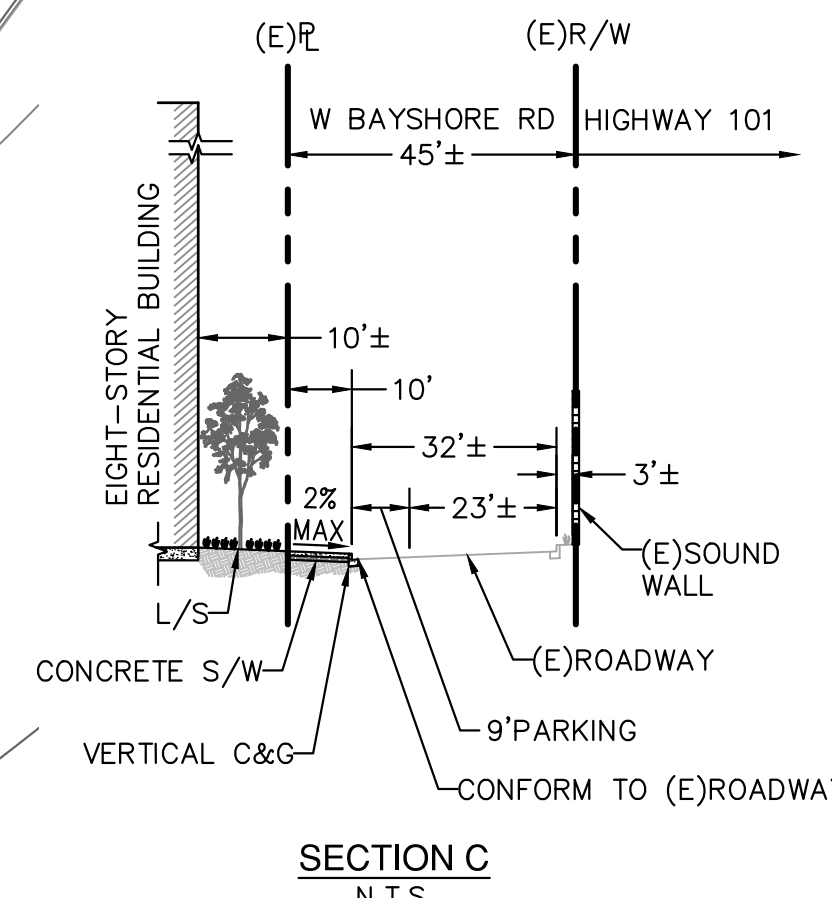
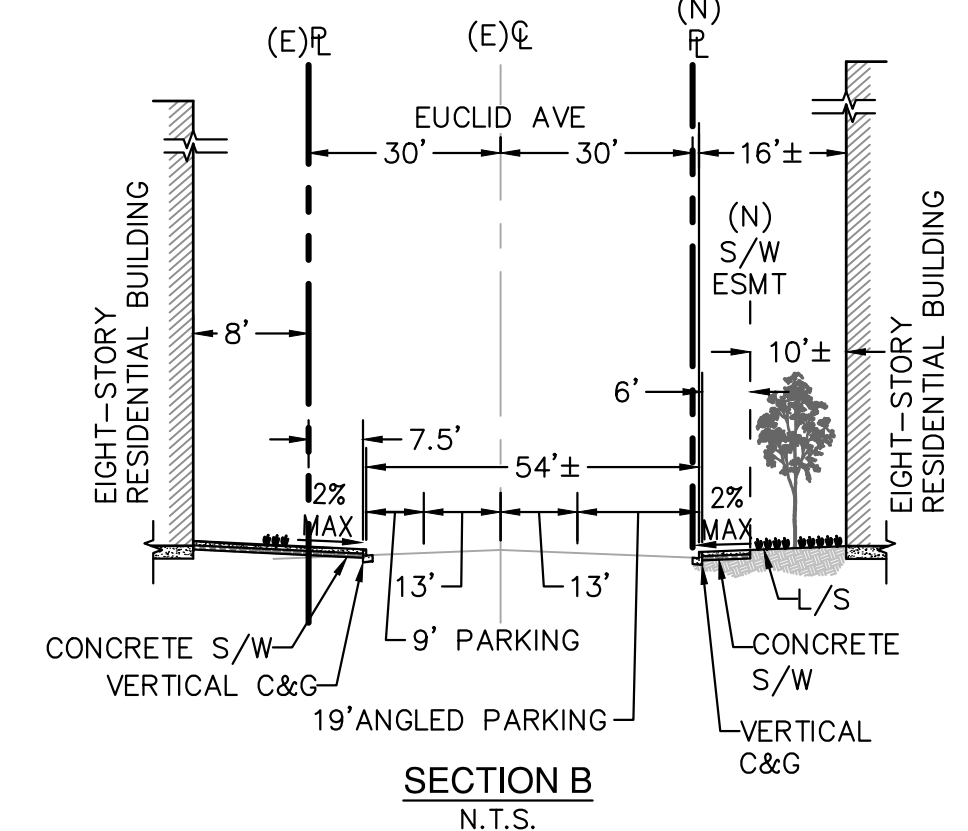
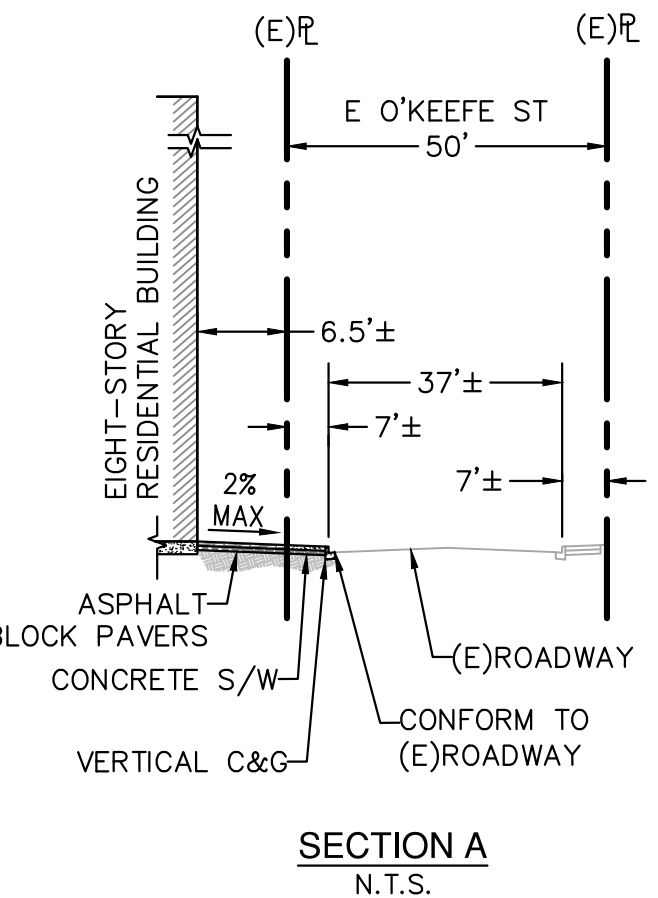


ABBREVIATIONS:

- C&G CURB AND GUTTER
- D/W DRIVEWAY
- E EAST
- (E) EXISTING
- L/S LANDSCAPING
- NTS NOT TO SCALE
- PL PROPERTY LINE
- R/W RIGHT OF WAY
- SLP SEE LANDSCAPE PLANS
- S/W SIDEWALK
- W WEST

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- EASEMENT
- CONCRETE (SLP)
- PAVERS (SLP)
- BIORETENTION
- GRAVEL (SLP)



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- LEGEND:**
- GRADE BREAK
 - SLOPE
 - SPOT ELEVATION
 - SPOT ELEVATION, CONFORM TO EXISTING
 - SD JUNCTION BOX
 - SD OVERFLOW DRAIN
 - BIORETENTION AREA
 - PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT

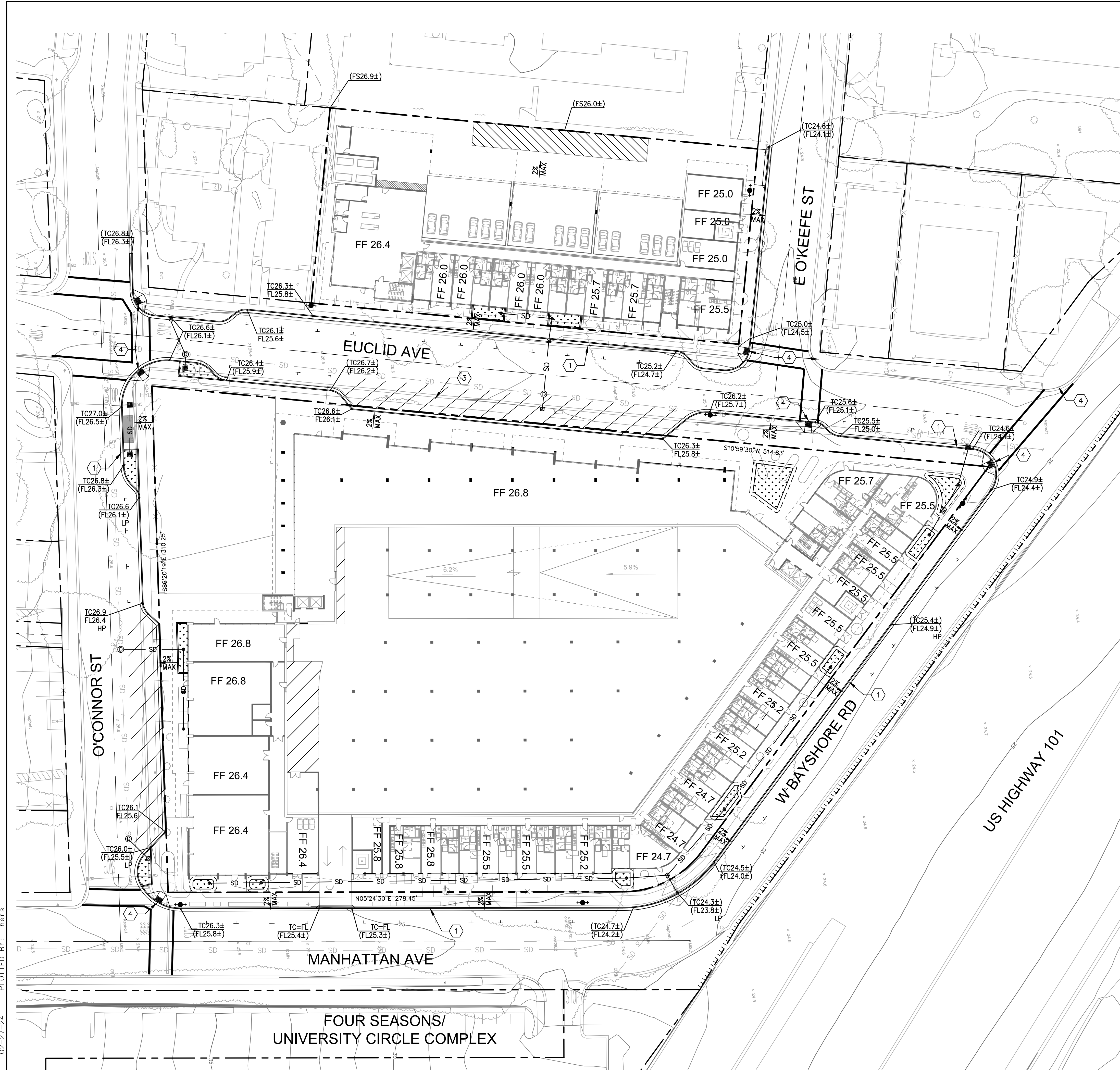
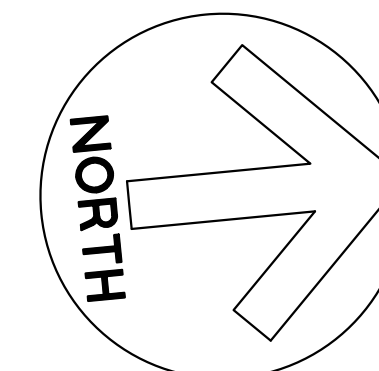
- ABBREVIATIONS:**
- ADA AMERICANS WITH DISABILITIES ACT
 - BLDG BUILDING
 - BW BACK OF SIDEWALK
 - EX EXISTING
 - FF FINISHED FLOOR
 - FG FINISHED GRADE
 - FL FLOWLINE
 - FS FINISHED SURFACE
 - HP HIGH POINT
 - LP LOW POINT
 - MA MATCH
 - MAX MAXIMUM
 - MIN MINIMUM
 - FL PAVEMENT
 - TC TOP OF CURB

GRADING NOTES:

1. UNLESS OTHERWISE NOTED, ALL EXTERIOR DOORWAYS AND ACCESSIBLE PATHS OF TRAVEL SHALL BE ADA COMPLIANT.
2. SLOPES ALONG ACCESSIBLE PATHS OF TRAVEL SHALL NOT EXCEED A RUNNING SLOPE OF 1:20 OR A CROSS SLOPE OF 1:48. ACCESSIBLE WALKS AND SIDEWALKS SHALL BE 48" WIDE, MINIMUM. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.
3. CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO PERFORM CORRECTIVE GRADING AT NO EXTRA COST TO THE OWNER.
4. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
5. LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 8" BELOW WOOD FRAMING AND SHEATHING THAT IS NOT NATURALLY DURABLE OR PRESERVATIVE-TREATED.
6. LANDSCAPING DIRECTLY ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 5% FOR THE FIRST 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALE USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.
7. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.
8. UNDERGROUND SERVICE ALERT (USA) SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
9. ANY LAND DISTURBING ACTIVITIES OCCURRING BETWEEN OCTOBER 1ST AND APRIL 30TH ARE RESTRICTED BY THE CITY. A DETAILED EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED FOR ACTIVITIES OCCURRING DURING THIS PERIOD AND APPROVAL IN WRITING BY THE CITY ENGINEER.
10. GRADING ACTIVITIES AND ASSOCIATED NOISE SHALL BE LIMITED TO WEEK DAYS BETWEEN THE HOURS OF 8AM TO 5PM. NO GRADING ACTIVITIES ARE TO OCCUR ON SATURDAYS AND SUNDAYS, WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
11. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
12. PER THE GEOTECHNICAL FEASIBILITY STUDY PREPARED BY GEOSPHERE CONSULTANTS, INC, DATED DECEMBER 27, 2017: THE HISTORICAL HIGH GROUNDWATER DEPTH IS ESTIMATED TO BE ON THE ORDER OF 13 FEET AT THE PROJECT SITE. DURING SITE INVESTIGATIONS, GROUNDWATER WAS ENCOUNTERED AT DEPTHS OF 15 TO 16 FEET BELOW EXISTING SURFACE (APPROXIMATE ELEVATION OF 7-10 FEET).

KEY NOTES:

- ① NEW VERTICAL CURB AND GUTTER
- ② NEW VERTICAL CURB
- ③ NEW VALLEY GUTTER
- ④ NEW CURB RAMP



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Revisions		
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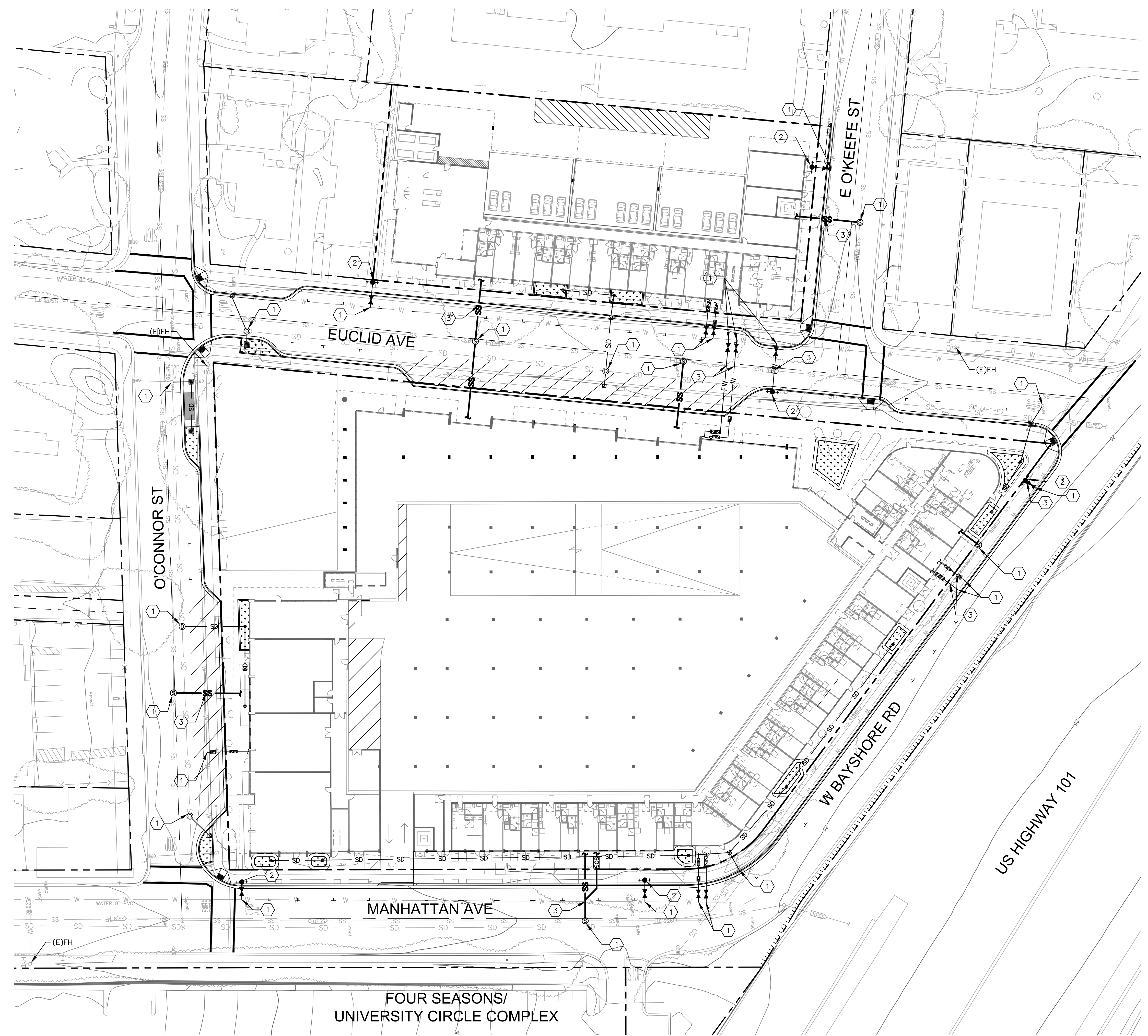
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PRELIMINARY GRADING AND DRAINAGE PLAN

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Date: 2024-02-27
Project No.: 20166089-20

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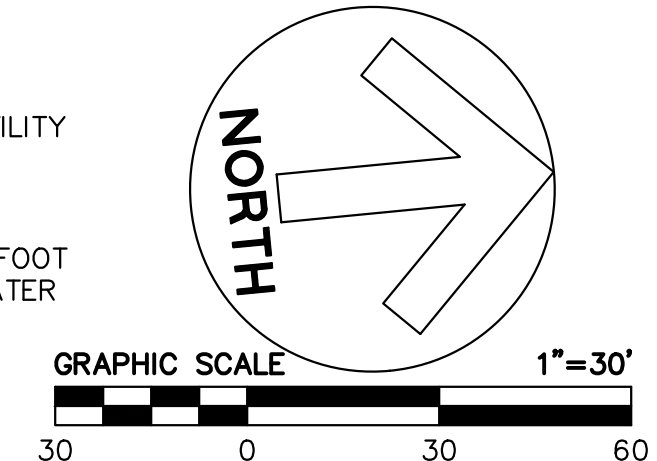
FOUR SEASONS/
UNIVERSITY CIRCLE COMPLEX

- LEGEND:**
- SS SANITARY SEWER LINE
 - ⊙ SANITARY SEWER MANHOLE
 - SD STORM DRAIN LINE
 - - - SD PERFORATED PIPE
 - SD CATCH BASIN
 - ⊗ SD JUNCTION BOX
 - SD OVERFLOW DRAIN
 - ⊙ STORM DRAIN MANHOLE
 - W DOMESTIC WATER LINE
 - FW FIRE WATER LINE, SEE NOTE 6
 - BS BACKFLOW PREVENTER
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - ⊙ BIORETENTION AREA

- ABBREVIATIONS:**
- BFP BACKFLOW PREVENTOR
 - CB CATCH BASIN
 - EX(E) EXISTING
 - FW FIRE WATER
 - HYD,FH FIRE HYDRANT
 - MH MANHOLE
 - PVC POLYVINYL CHLORIDE
 - SD STORM DRAIN
 - SDCO STORM DRAIN CLEANOUT
 - SDMH STORM DRAIN MANHOLE
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - W WATER
 - WM WATER METER

- UTILITY NOTES:**
1. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
 2. NO EXISTING UTILITY SERVICES WILL BE REUSED. ALL EXISTING SERVICES WILL BE REMOVED TO THE PROPERTY LINE AND ABANDONED OR REMOVED PER CITY STANDARDS.
 3. ALL WORK DONE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER SEPARATE PERMIT.
 4. SEE JOINT TRENCH PLANS FOR ALL DRY UTILITIES AND JOINT TRENCH INFORMATION.
 5. SEE MEP PLANS FOR CONTINUATION AT BUILDING POINT OF CONNECTION.
 6. NEW FIRE WATER SERVICE FOR REFERENCE ONLY. FINAL DESIGN BY FIRE PROTECTION ENGINEER.
 7. CONTRACTOR TO VERIFY ALL (E)UTILITY TIE-IN LOCATIONS AND CROSSINGS BY POTHOLING PRIOR TO INSTALLATION.
 8. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
 9. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES AND 1 FOOT VERTICAL WATER ABOVE SEWER WHERE LINES CROSS. WATER AND SEWER LINES SHALL NOT CROSS AT LESS THAN 45 DEGREES TO EACH OTHER.
 10. UTILITY TRENCHES SHALL USE TRENCH SAND AROUND ALL UTILITIES CONFORMING TO APPROPRIATE STANDARDS SUCH AS PG&E, CALIFORNIA AMERICAN WATER COMPANY STANDARDS, AND SAN MATEO COUNTY PUBLIC WORKS STANDARDS.
 11. THE CITY OF EAST PALO ALTO ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OR CONNECTION FOR INSPECTION OF ANY UTILITIES CONNECTING TO MUNICIPAL FACILITIES.
 12. EAST PALO ALTO SANITARY DISTRICT SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OF CONNECTION FOR INSPECTION OF SEWER LINES AND CONNECTIONS. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 13. PACIFIC GAS & ELECTRIC, COMCAST, AT&T, AND ALL OTHER APPROPRIATE UTILITIES COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO INSTALLATION TO SCHEDULE ANY REQUIRED INSPECTIONS, OR AS REQUIRED BY SAID UTILITIES. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
 14. ALL EXISTING WATER MAINS SHALL BE REPAIRED AND TESTED TO THE SATISFACTION OF AMERICAN WATER ENTERPRISES AND THE CITY ENGINEER.
 15. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO EAST PALO ALTO SUBDIVISION REGULATIONS, SAN MATEO COUNTY STANDARD DETAILS FOR PUBLIC WORKS, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS, GREEN BOOK STANDARD SPECIFICATIONS, AMERICAN WATER COMPANY CODE, EAST PALO ALTO SANITARY DISTRICT SEWER CODE, FIRE CODE, AND OTHER APPLICABLE UTILITY STANDARDS WITHIN THEIR RESPECTIVE JURISDICTIONS.

- KEY NOTES:**
- 1 CONNECT TO EXISTING UTILITY
 - 2 NEW FIRE HYDRANT
 - 3 MAINTAIN MINIMUM OF 1 FOOT SEPARATION BETWEEN WATER OVER SEWER



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Design Update	02/27/2024

Revisions		
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Set Title
Design Update -
February 2024

Drawing Title
PRELIMINARY
UTILITY PLAN

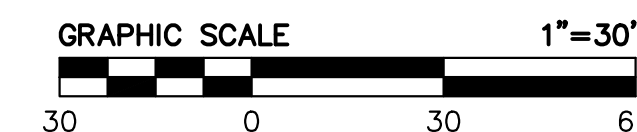
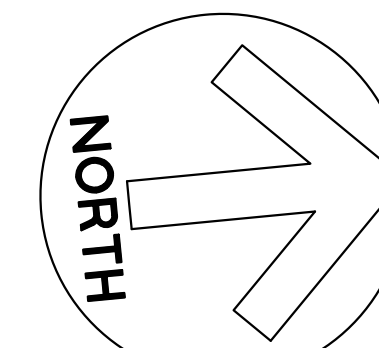
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C4.0

Date 2024-02-27
Project No. 20166089-20

DRAWING NAME: K:\2016\166089_Woodland_Park\ENR\EUCLID\PLANNING\SHEETS\C5-E-I-SWMP.dwg
PLOT DATE: 02-27-24 PLOTTED BY: hers



- LEGEND**
- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
 - INTEGRATED MANAGEMENT PRACTICE (IMP)
 - - - SD PERFORATED PIPE
 - SD CATCH BASIN
 - SD JUNCTION BOX
 - SD OVERFLOW DRAIN



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Drawing Title
PRELIMINARY STORMWATER MANAGEMENT PLAN

Sheet No.

C5.0

Date: 2024-02-27
Project No.: 20166089-20



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TREATMENT CONTROL MEASURE SUMMARY						
DRAINAGE AREAS	DRAINAGE AREA SIZE (SF)	PROPOSED CONDITION		TREATMENT MEASURE SIZE		TREATMENT MEASURE TYPE
		PERVIOUS SURFACE (SF)	IMPERVIOUS SURFACE (SF)	REQUIRED (SF)	PROVIDED (SF)	
DMA-1	6,039	LANDSCAPE 244	ROOF/SIDEWALK 5,795	232	244	STRUCTURAL BIORETENTION AREA
DMA-2	3,107	LANDSCAPE 93	ROOF/SIDEWALK 3,014	121	136	STRUCTURAL BIORETENTION AREA
DMA-3	3,107	LANDSCAPE 102	ROOF/SIDEWALK 3,005	120	137	STRUCTURAL BIORETENTION AREA
DMA-4	6,752	LANDSCAPE 229	ROOF/SIDEWALK 6,523	196*	229	STRUCTURAL BIORETENTION AREA
DMA-5	4,316	LANDSCAPE 129	ROOF/SIDEWALK 4,187	126*	129	STRUCTURAL BIORETENTION AREA
DMA-6	8,275	LANDSCAPE 640	ROOF/SIDEWALK 7,635	N/A	N/A	PERMEABLE PAVERS
DMA-7	8,920	LANDSCAPE 8,920	ROOF/SIDEWALK 0	N/A	N/A	PARK: SELF-TREATING AREA
DMA-8	4,473	LANDSCAPE 210	ROOF/SIDEWALK 4,263	171	173	STRUCTURAL BIORETENTION AREA
DMA-9	10,416	LANDSCAPE 510	ROOF/SIDEWALK 0	396	396	STRUCTURAL BIORETENTION AREA
DMA-10	1,819	LANDSCAPE 230	ROOF/SIDEWALK 1,589	64	73	NON-STRUCTURAL BIORETENTION AREA
DMA-11	1,433	LANDSCAPE 134	ROOF/SIDEWALK 1,299	52	53	NON-STRUCTURAL BIORETENTION AREA
DMA-12	5,479	LANDSCAPE 240	ROOF/SIDEWALK 5,239	210	231	STRUCTURAL BIORETENTION AREA
DMA-13	5,174	LANDSCAPE 204	ROOF/SIDEWALK 4,970	199	204	STRUCTURAL BIORETENTION AREA
DMA-14	6,482	LANDSCAPE 247	ROOF/SIDEWALK 6,233	249	249	STRUCTURAL BIORETENTION AREA
DMA-15	2,038	LANDSCAPE 390	ROOF/SIDEWALK 1,648	66	70	NON-STRUCTURAL BIORETENTION AREA
DMA-16	3,295	LANDSCAPE 70	ROOF/SIDEWALK 3,225	129	129	STRUCTURAL BIORETENTION AREA
DMA-17	4,865	LANDSCAPE 168	ROOF/SIDEWALK 4,697	142*	168	STRUCTURAL BIORETENTION AREA
DMA-18	2,035	LANDSCAPE 110	ROOF/SIDEWALK 1,925	77	86	NON-STRUCTURAL BIORETENTION AREA
DMA-19	2,800	LANDSCAPE 115	ROOF/SIDEWALK 2,685	107	115	NON-STRUCTURAL BIORETENTION AREA
DMA-20	4,078	LANDSCAPE 90	ROOF/SIDEWALK 3,988	160	180	NON-STRUCTURAL BIORETENTION AREA
DMA-21	10,930	LANDSCAPE 510	ROOF/SIDEWALK 10,420	417	434	NON-STRUCTURAL BIORETENTION AREA
DMA-22	7,464	LANDSCAPE 300	ROOF/SIDEWALK 7,164	287	300	STRUCTURAL BIORETENTION AREA
DMA-23	7,403	LANDSCAPE 285	ROOF/SIDEWALK 7,118	284	285	STRUCTURAL BIORETENTION AREA
DMA-24	7,782	LANDSCAPE 298	ROOF/SIDEWALK 7,484	299	299	STRUCTURAL BIORETENTION AREA
DMA-25	8,382	LANDSCAPE 324	ROOF/SIDEWALK 8,058	322	324	STRUCTURAL BIORETENTION AREA
DMA-26	13,907	LANDSCAPE 4,170	ROOF/SIDEWALK 9,737	390	390	STRUCTURAL BIORETENTION AREA
TOTAL	148,771	18,962	129,809	4,816	5,034	

NOTES

- 1) TREATMENT AREAS WERE SIZED USING THE "4 PERCENT METHOD" FLOW-BASED SIZING CRITERIA IN THE 2014 SAN MATEO COUNTY C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK, UNLESS THE REQUIRED SF IS FOLLOWED BY AN ASTERISK "**". IF REQUIRED SF HAS AN ASTERISK "**", TREATMENT IS SIZED USING THE COMBINED FLOW METHOD AND AT A MIN. PROVIDES AN EQUIVALENT OF 6-INCHES OF STORED RUNOFF IN SURFACE PONDING AREA.

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Issuances

Description	Date
Design Update	02/27/2024

Revisions

Rev.	Description	Date
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**PRELIMINARY
STORMWATER
MANAGEMENT PLAN**

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PRELIMINARY FIRE ACCESS PLAN

Sheet No.
C6.0

Date: 2024-02-27
 Project No.: 20166089-20

LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- ▭ FIRE TRUCK STAGING AREA
- FIRE HYDRANT
- EXISTING FIRE HYDRANT

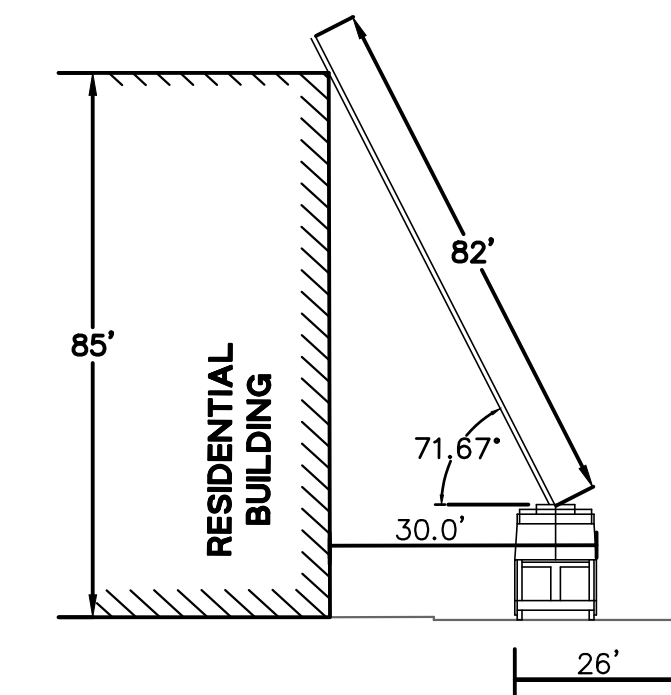
ABBREVIATIONS:

- E EAST
- (E) EXISTING
- FH FIRE HYDRANT
- NTS NOT TO SCALE
- W WEST

NOTES:

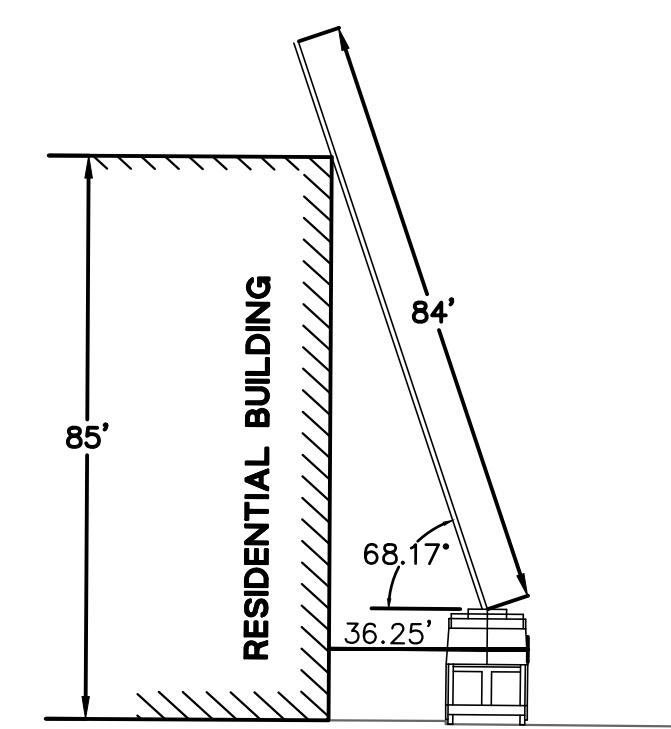
- ON-SITE WIDTH FOR AERIAL LADDER TRUCK SHALL BE 26 FEET. THE SET UP AREAS SHALL BE A MAXIMUM OF 30 FEET FROM THE BUILDINGS AND NO CLOSER THAN 15 FEET TO THE BUILDING.
- FIRE PUMP SHALL BE PROVIDED FOR ALL HIGH RISE BUILDINGS. THE PUMP SHALL BE RATED TO PUMP 150% OF THE REQUIRED DEMAND.
- ALL HIGH RISE BUILDINGS SHALL HAVE STAND BY POWER GENERATORS.
- ALL PUBLIC AND ON-SITE CURBS TO BE PAINTED, LETTERED, AND SIGNED AS FIRE LANES, FIRE ACCESS, AND AERIAL LADDER TRUCK ACCESS FOR RESCUE AND FIREFIGHTING OPERATIONS.
- SPACING FOR FIRE HYDRANTS IS 300 FEET. THE MINIMUM ACCEPTED MENLO PARK FIRE DISTRICT FIRE FLOW IS 2000 GPM AT 20 PSI RESIDUAL PRESSURE.
- ALL PUBLIC STREETS WHERE STREET WIDTHS ARE LESS THAN 26 FEET TO HAVE NO PARKING AND RED CURBS, ALL STREETS LESS THAN 32 FEET AND MORE THAN 26 FEET MAY HAVE PARKING ON ONE SIDE AND RED CURBS ON THE OTHER, STREETS 32 FEET OR GREATER MAY HAVE PARKING ON BOTH SIDES.
- FIRE LANES/EMERGENCY VEHICLE ACCESS TO HAVE RED PAINTED CURBS, CURB LETTERING AND POSTED SIGNS AS REQUIRED BY THE CVC, CFC AND MPFPD.
- ALL TURNING RADII TO BE CAPABLE OF A SINGLE INLINE VEHICLE OF 42 FEET IN LENGTH MAKING ALL TURNING MANEUVERS.
- FIRE HYDRANTS AND FIRE APPLIANCES (FIRE DEPARTMENT CONNECTIONS AND POST INDICATOR VALVES) TO BE CLEARLY ACCESSIBLE AND FREE FROM OBSTRUCTION.
- FIRE HYDRANT TO BE WET BARREL STANDARD STEAMER TYPE WITH ONE 4 1/2" AND TWO 2 1/2" OUTLETS (MPFPD CFC SEC. 507.5.1 APPENDIX C).
- DISCHARGE FIRE SPRINKLER TEST WATER TO ONSITE VEGETATED AREAS, OR TO THE SANITARY SEWER SYSTEM SUBJECT TO THE LOCAL SANITARY SEWER AGENCY'S AUTHORITY AND STANDARDS.

EXAMPLE STAGING CROSS SECTIONS:



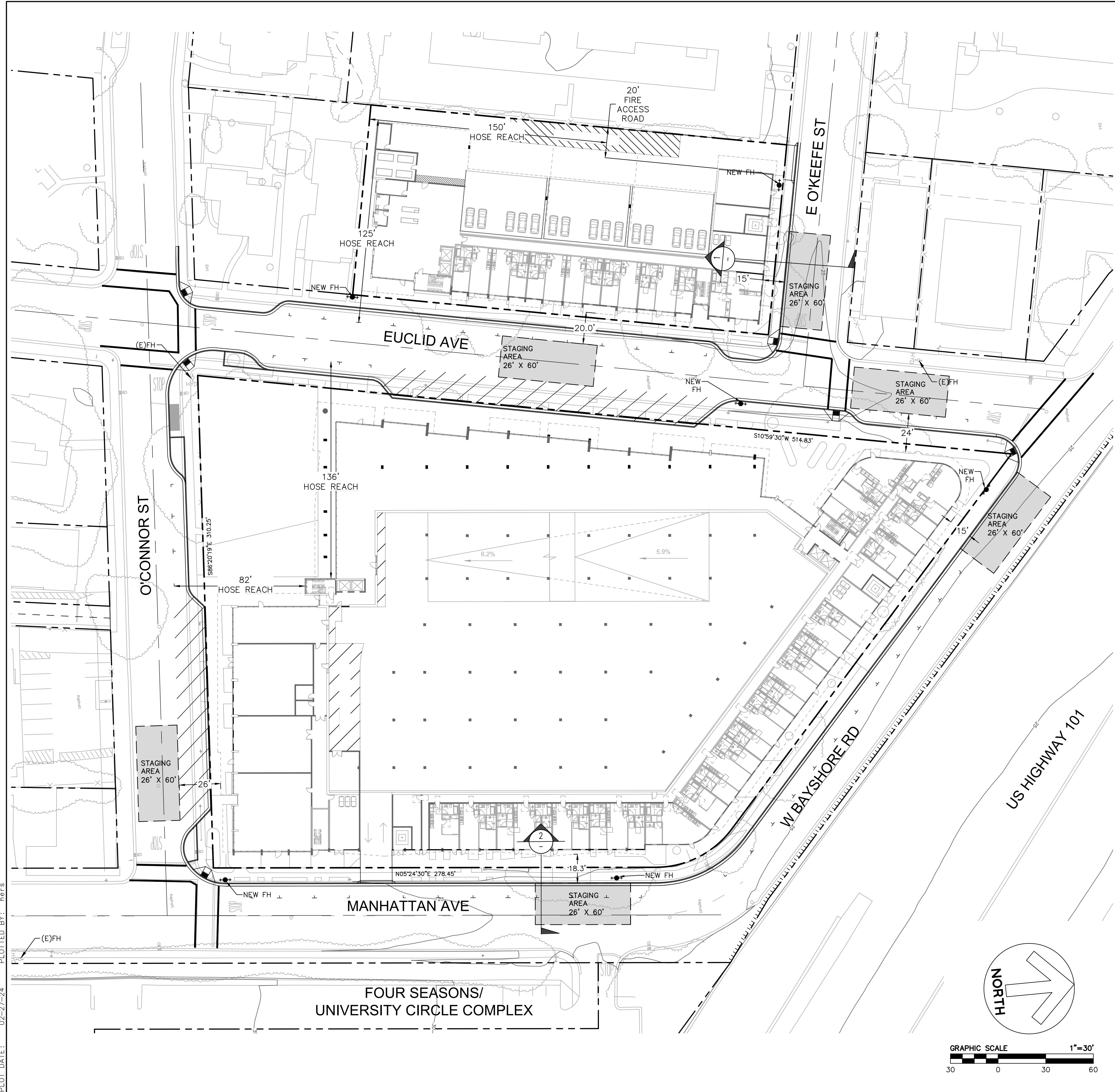
NOTE:
 1. MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

1 E. O'KEEFE ST. FIRE STAGING
 NTS



NOTE:
 1. MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

2 MANHATTAN AVE FIRE STAGING
 NTS

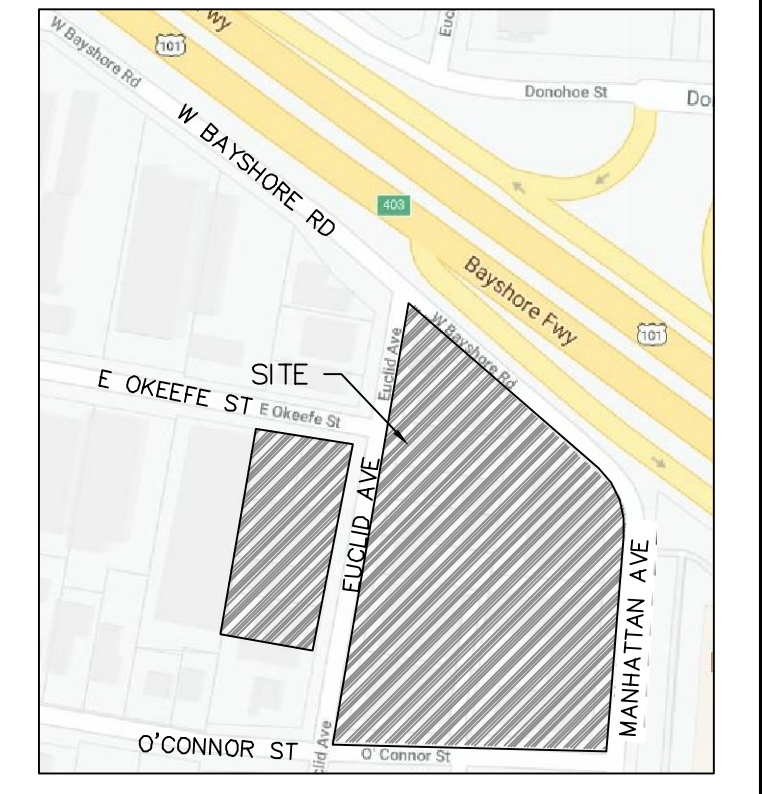


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 PLOT DATE: 02-27-24
 PLOTTED BY: hers

VESTING TENTATIVE PARCEL MAP EUCLID IMPROVEMENTS

EAST PALO ALTO, SAN MATEO COUNTY, CA

CONSISTING OF 1 VERTICAL AIRSPACE LOT FOR COMMERCIAL USE AND 2 RESIDENTIAL LOTS



VICINITY MAP
NTS
NORTH

ABBREVIATIONS

(E)	EXISTING
NTS	NOT TO SCALE
R/W	RIGHT OF WAY
SF	SQUARE FEET
(TYP)	TYPICAL

SHEET INDEX

TM-1	TITLE SHEET
TM-2	MAPPING SHEET

LEGEND

	PROJECT BOUNDARY LINE
	ADJACENT PROPERTY LINE
	(E)EASEMENT
	(E)EASEMENT TO BE QUITCLAIMED
	RELINQUISHMENT OF ABUTTERS RIGHTS
	CENTERLINE
	(E)LOT LINE TO BE REMOVED

PROJECT DATA

OWNER AND SUBDIVIDER:	WOODLAND PARK PROPERTY OWNER, LLC AND WP INDEPENDENT, LLC 965 PAGE MILL ROAD PALO ALTO, CA, 94304 CONTACT: MICHAEL KRAMER
ENGINEER:	BKF ENGINEERS 1730 N. FIRST STREET, SUIT 600 SAN JOSE, CA 95112
(E)GROSS AREA:	± 3.92 ACRES
PROPOSED GROSS AREA:	± 3.93 ACRES
(E)ZONES:	R-HD-5 AND R-UHD
PROPOSED ZONES:	R-HD-5 AND R-UHD WITH OVERLAY (SEE GENERAL NOTE 5)
(E)USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL/COMMERCIAL
NUMBER OF (E)LOTS:	14
PROPOSED LOTS:	3
NUMBER OF UNITS:	605
WATER SUPPLY:	AMERICAN WATER SERVICES
SEWAGE DISPOSAL:	EAST PALO ALTO SANITARY SEWER DISTRICT
GAS & ELECTRIC:	PACIFIC GAS AND ELECTRIC
COMMUNICATIONS:	AT&T, COMCAST
GARBAGE:	RECOLOGY
FLOOD ZONE:	ZONE X, AREA OF MINIMAL FLOOD HAZARD PER MAP 06081C0309F EFFECTIVE 4/5/2019.

BASIS OF BEARING

THE BEARING, N04°43'36"E, TAKEN ON THE CENTERLINE OF MANHATTAN AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON MAY 17TH, 2000 IN BOOK 72 OF PARCEL MAPS AT PAGES 70-75, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP SUBMITTAL HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

DOUG PETERSEN
No. 76759 EXP 12/31/24
BKF ENGINEERS

GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- BUILDING TYPE: THE BUILDING FOOTPRINTS SHOWN ARE FOR CONCEPTUAL PURPOSES ONLY. THE BUILDING TYPE, LOCATION AND STYLES WILL BE PERMITTED AS CONSTRUCTED IN CONFORMANCE WITH PROJECT PLANNING REQUIREMENTS PRIOR TO THE APPLICATION FOR BUILDING PERMITS.
- MULTIPLE FINAL MAPS: PURSUANT TO SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BOUNDED.
- APPROXIMATELY 113 SF OF PUBLIC R/W ON WEST BAYSHORE ROAD TO BE VACATED BY THE CITY OF EAST PALO ALTO.
- THESE PARCELS WILL BE PART OF A NEW NEIGHBORHOOD CENTER RESIDENTIAL OVERLAY (NCO) TO AUTHORIZE GROUND-LEVEL NEIGHBORHOOD-SERVING COMMERCIAL AND COMMUNITY USES AND ADDITIONAL HOUSING UNITS IN SELECT PORTIONS OF THE MULTIPLE-FAMILY HIGH DENSITY RESIDENTIAL ZONE (R-HD-5) AND THE MULTIPLE-FAMILY URBAN HIGH DENSITY RESIDENTIAL ZONES (R-UHD).

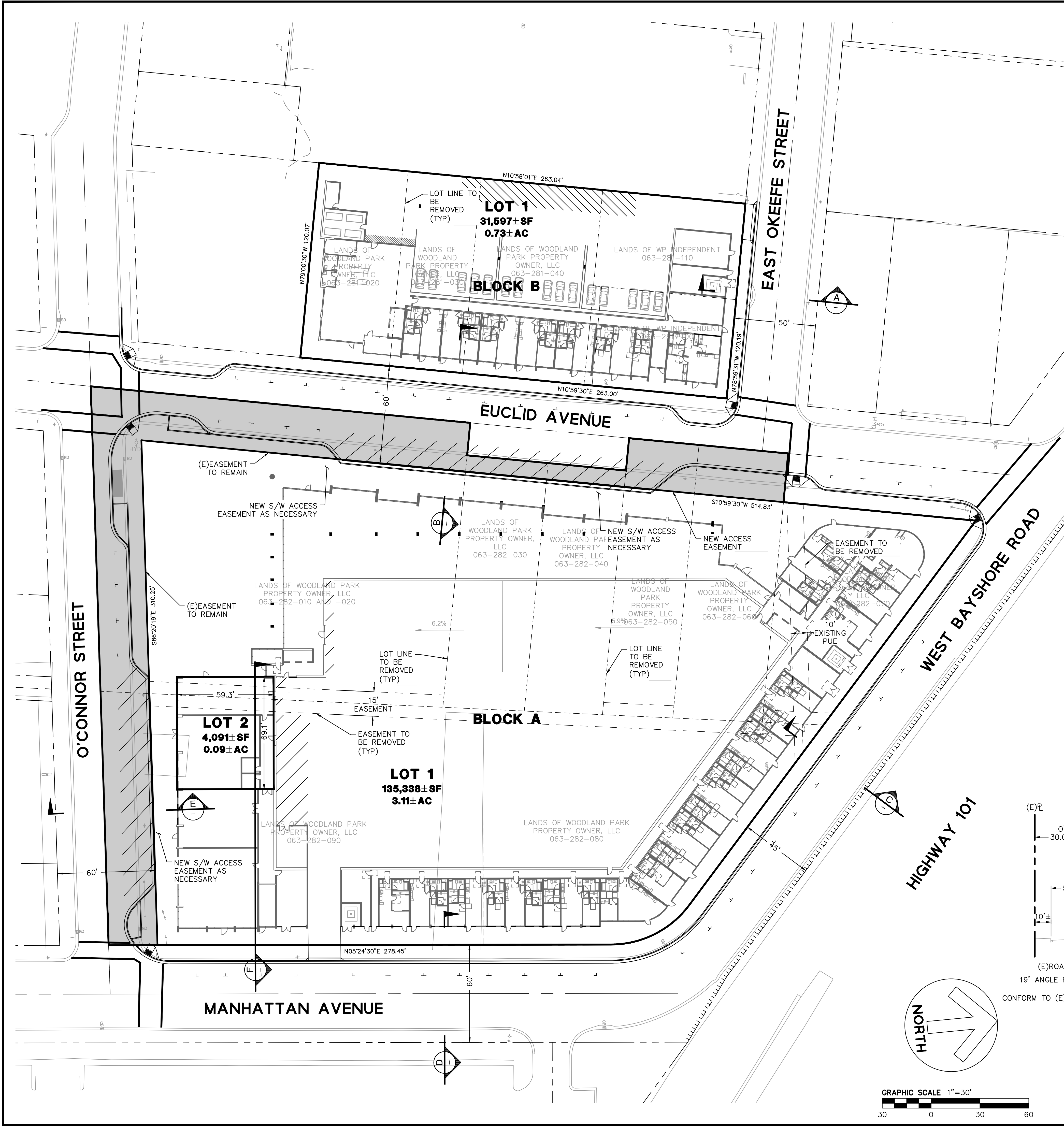
PROJECT DESCRIPTION

WITH NO DISPLACEMENT, THIS PROJECT PROPOSES THE REPLACEMENT OF SEVERAL AGING, OUTDATED STRUCTURES CONTAINING 160 RENT-STABILIZED HOUSING UNITS AND ONE SINGLE FAMILY RENTAL (NON-RSO) WITH NEW MIXED-INCOME BUILDINGS CONTAINING 605 APARTMENTS, 26% OF WHICH WILL BE DEED-RESTRICTED RENT-CONTROLLED, REPLACING THE EXISTING APARTMENTS ONE-FOR-ONE.



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PLOT BY: hers

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 PLOT DATE: 02-27-24
 PLOTTED BY: hers



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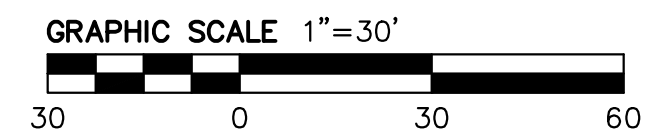
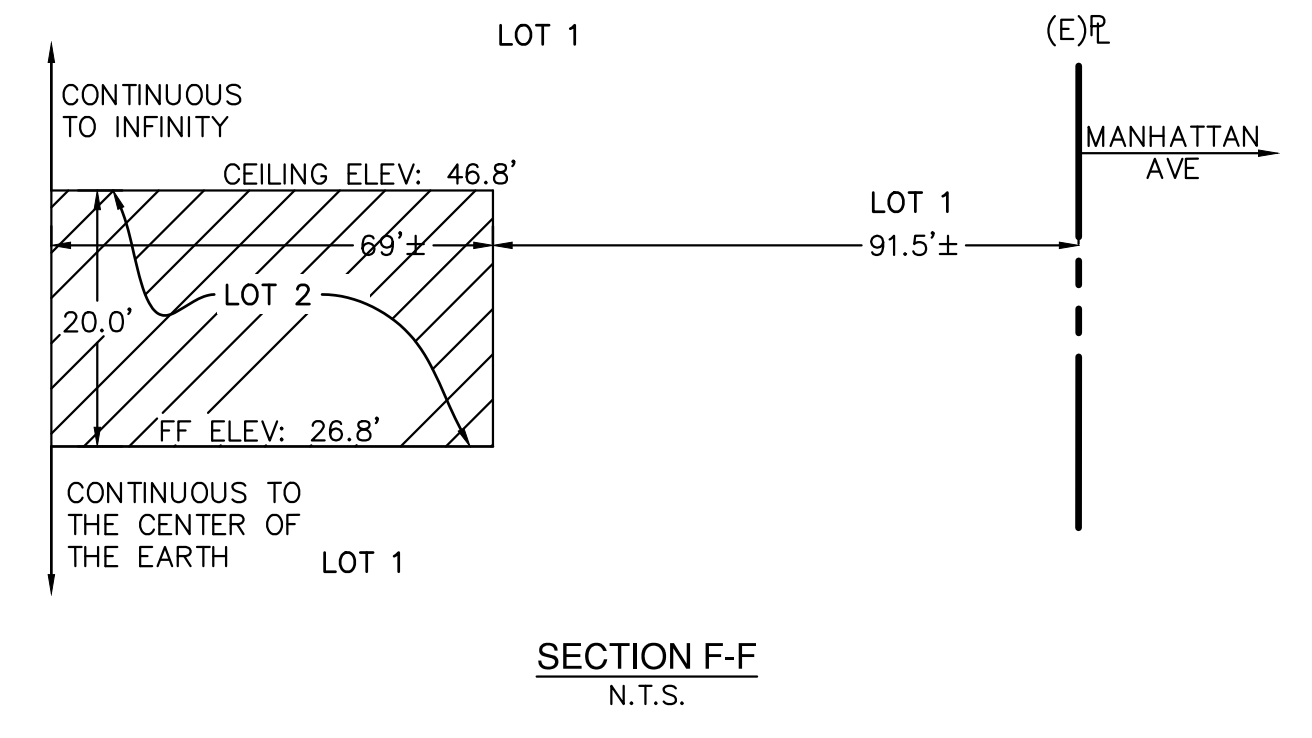
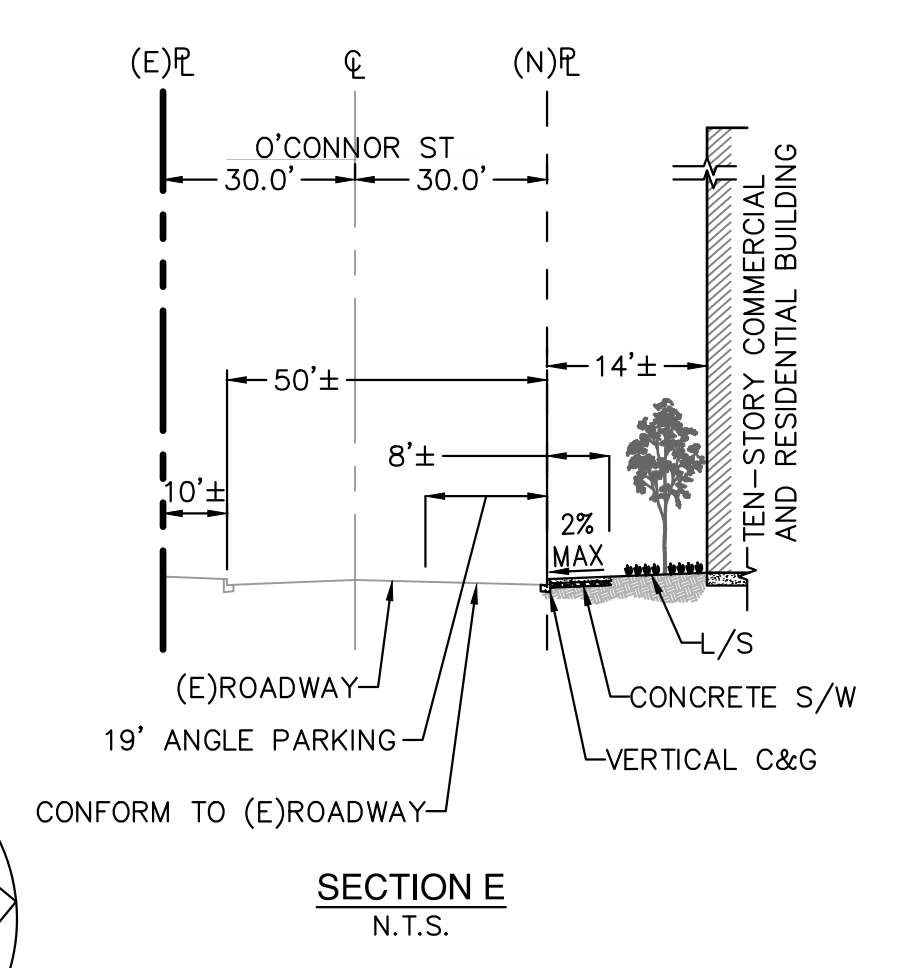
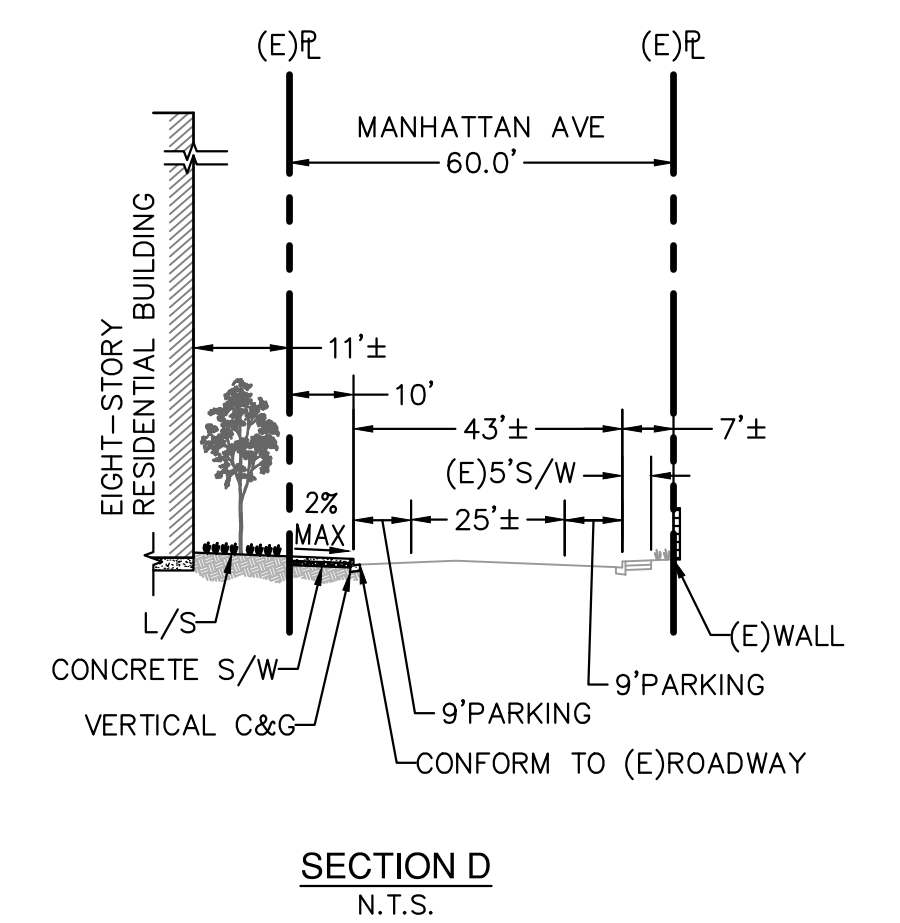
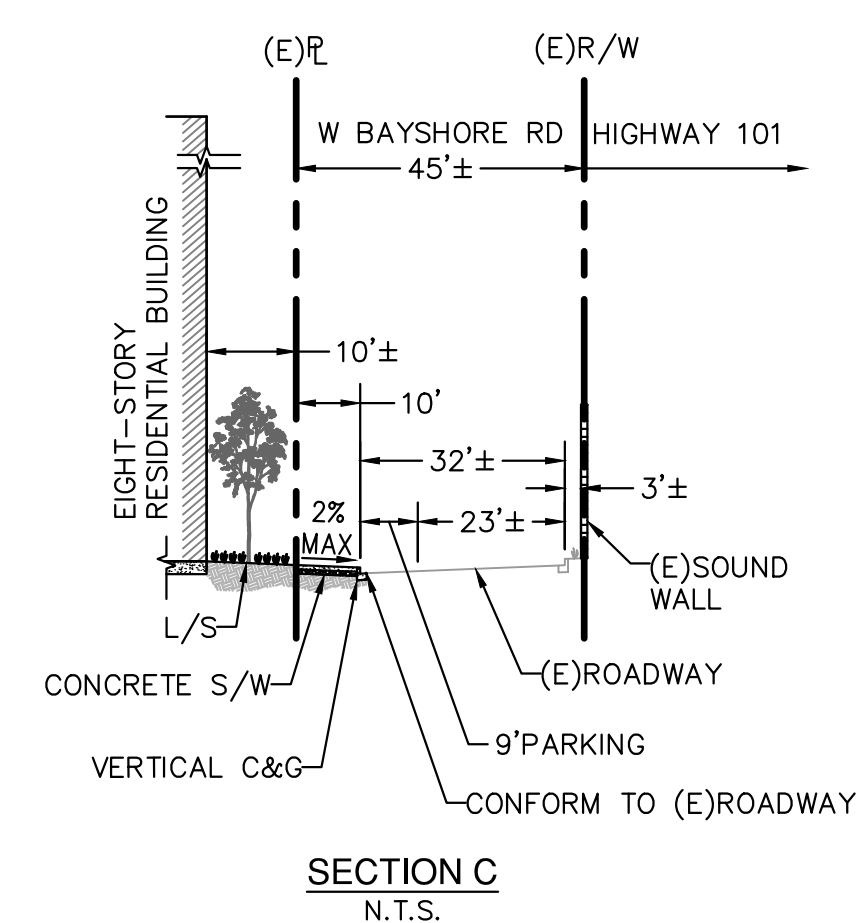
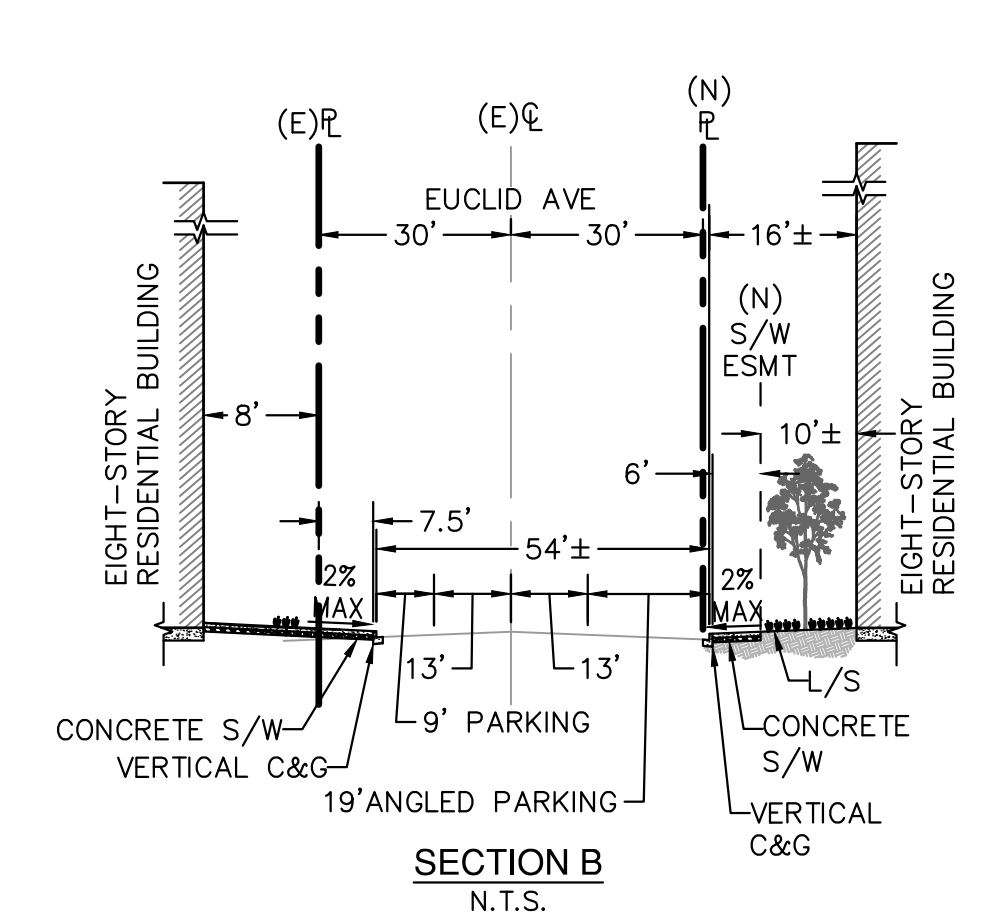
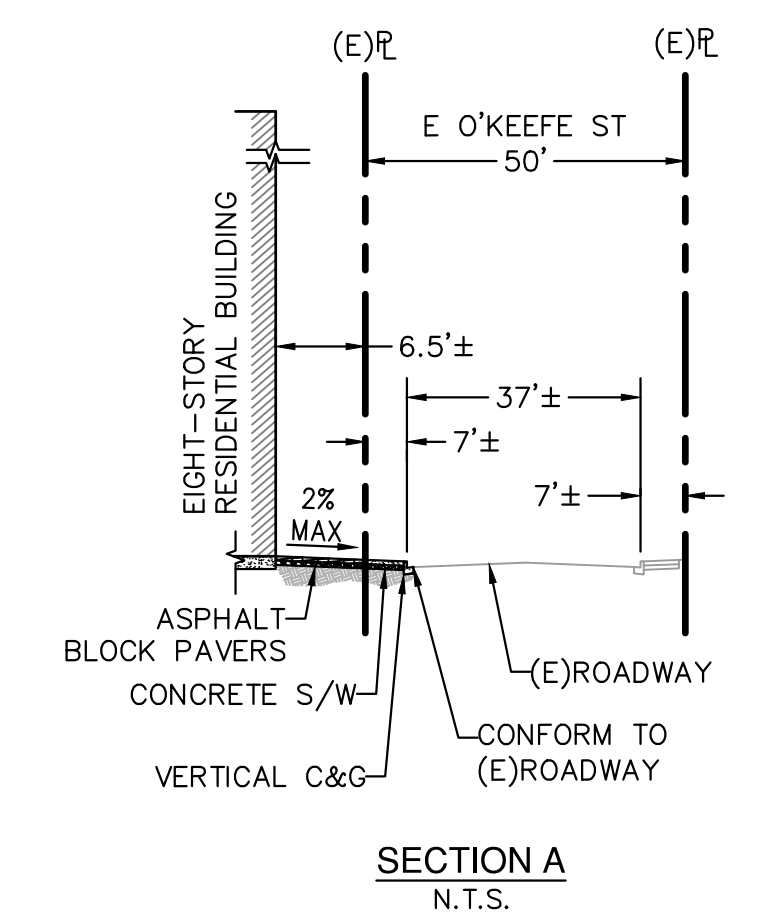
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- ||||| RELINQUISHMENT OF ABUTTER'S RIGHTS
- - - LOT LINE TO BE REMOVED
- - - EASEMENT TO BE QUITCLAIMED
- PROJECT BOUNDARY LINE
- █ PROPOSED ROW DEDICATION

ABBREVIATIONS

- AC ACRES
- CB CATCH BASIN
- (E) EXISTING
- E EAST
- ELEV ELEVATION
- FF FINISH FLOOR
- L LENGTH
- L/S LANDSCAPING
- N NORTH
- NTS NOT TO SCALE
- R RADIUS
- S SOUTH
- (TYP) TYPICAL
- W WEST

NOTES:

1. LOT 2 OF BLOCK A HAS A FINISH FLOOR ELEVATION OF 26.8' AND A CEILING ELEVATION OF 46.8'.
2. BLOCK A IS LOCATED IN ZONE R-UHD WITH PROPOSED NCO OVERLAY (SEE GENERAL NOTE 5 OF TM-1).
3. BLOCK B IS LOCATED IN ZONE R-HD-5 WITH PROPOSED NCO OVERLAY (SEE GENERAL NOTE 5 OF TM-1).



No.	Revisions

Date	02/27/24
Scale	AS SHOWN
Design	SH
Drawn	SH
Approved	DP
Job No	20166089

Woodland Park Euclid Improvements



David Baker Architects
dbarchitect.com
461 Second St, Loft c127
San Francisco, CA 94107
415.896.6700

PREVIOUSLY
SUBMITTED SHEET
NO CHANGE

License Stamp

Issuances

Description	Date
Entitlements Submission	09/25/2019

Revisions

Rev.	Description	Date
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Set Title

Application -
September 2019

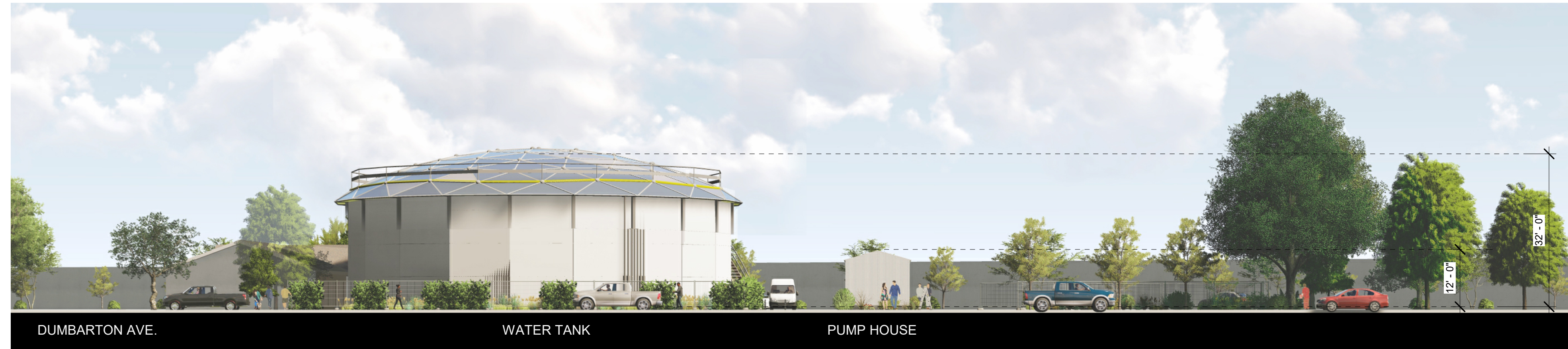
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WATER TANK
EXHIBIT

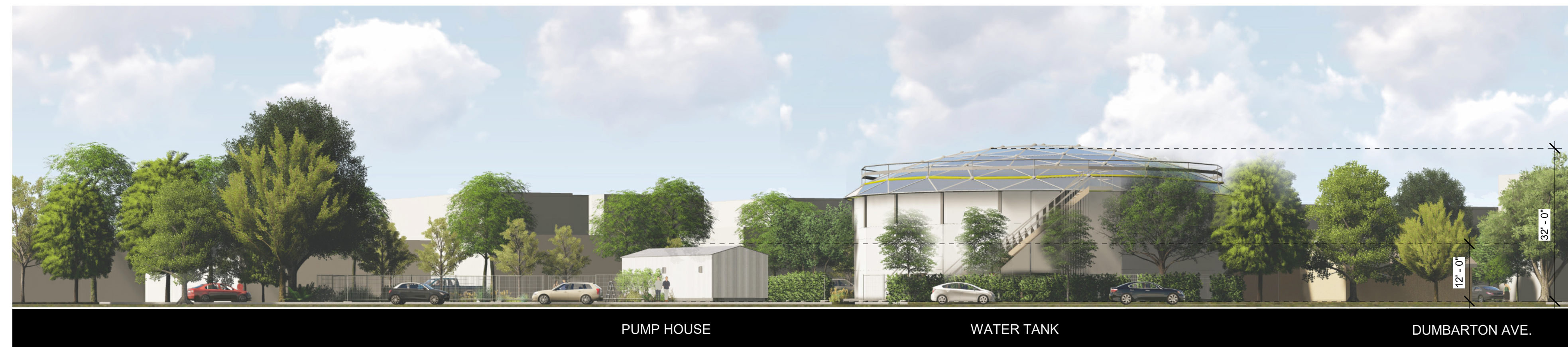
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WT-001

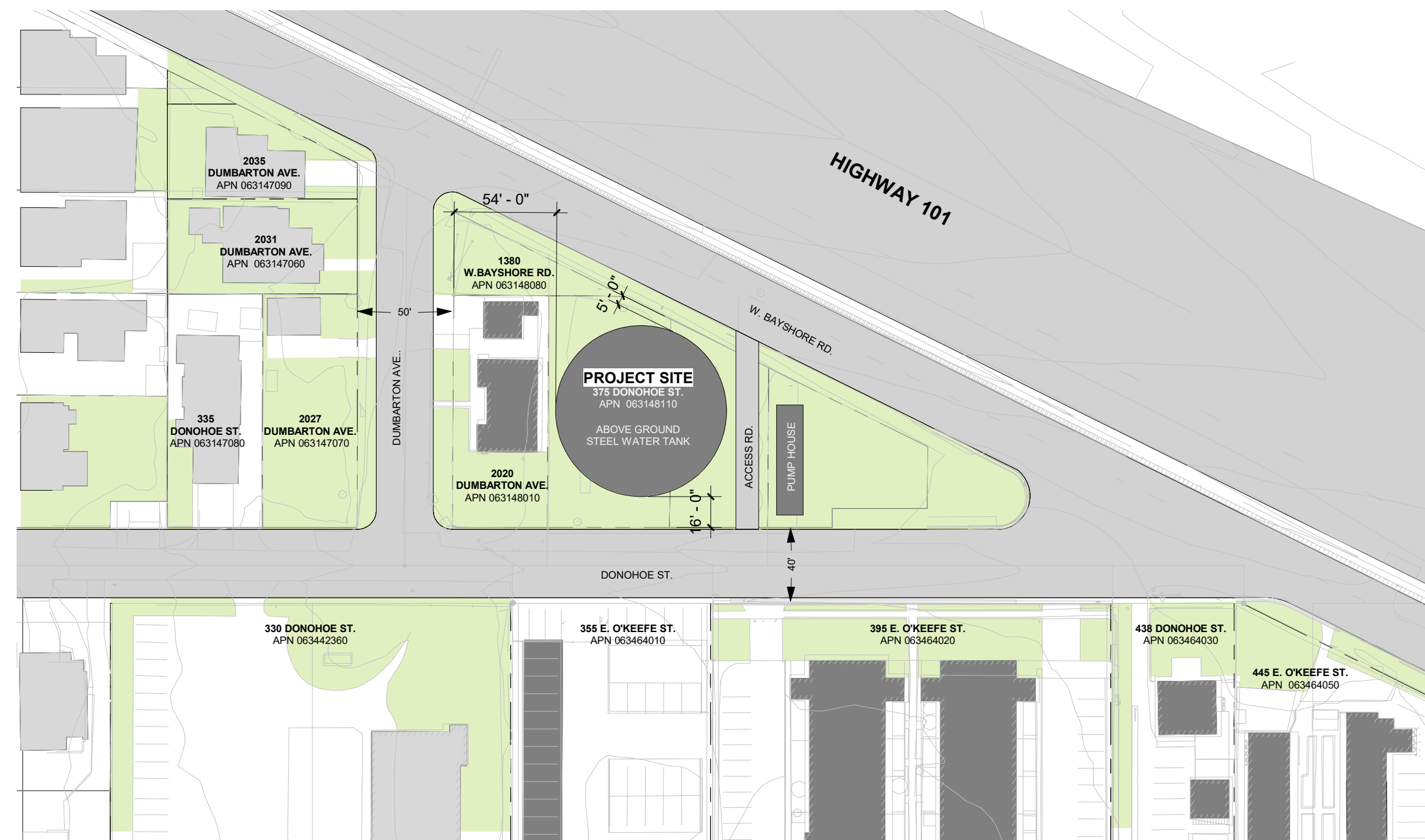
Date 08/23/2022
Project No. 21620



② DONOHOE ST. ELEVATION
1/16" = 1'-0"



③ W. BAYSHORE ELEVATION
1/16" = 1'-0"



① Site Parcel Map
1" = 60'-0"



3D View - Donohoe St.