

# WOODLAND PARK - EUCLID IMPROVEMENTS

## VICINITY MAP



## PROJECT DIRECTORY

### APPLICANT:

Woodland Park Communities  
5 Newell Court  
East Palo Alto, CA 94303  
ATTN: Michael Kramer  
mkramer@wlpcommunities.com

### ARCHITECT:

David Baker Architects  
461 2nd Street, Loft C-127  
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### LANDSCAPE ARCHITECT:

Hood Design Studio  
3016 Filbert Street #2  
Oakland, CA 94608  
ATTN: Alma du Solier  
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### CIVIL ENGINEER:

BKF Engineers  
1730 N. First Street, Suite 600  
San Francisco, CA 94112  
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## PROJECT DESCRIPTION

With no displacement, this project proposes the replacement of several aging, outdated structures containing 160 rent-stabilized housing units and one single family rental (non-RSO) with new mixed-income buildings containing 550 apartments, 29% of which will be deed-restricted rent-controlled, replacing the existing apartments one-for-one.

Note: No portion of the property is located in a Flood Zone as designated by the Federal Emergency Management Agency (FEMA).

## PROJECT SITE

**ZONING:**  
R-HD-5, R-UHD, Neighborhood Center Overlay (NCO)

**GENERAL PLAN DESIGNATION:**  
HIGH DENSITY RESIDENTIAL / URBAN  
RESIDENTIAL, NEIGHBORHOOD CENTER OVERLAY

**TOTAL SITE AREA:**  
170,941 SF = 3.92 ACRES

### EXISTING LOTS:

ADDRESSES:	APNS:
501 O'Connor St.	063282010
2012 Euclid Ave.	063282020
2032 Euclid Ave.	063282030
2036 Euclid Ave.	063282040
2040 & 2042 Euclid Ave.	063282050
2044 Euclid Ave.	063282060
2054 Euclid Ave.	063282070
2033 Manhattan Ave.	063282080
2001 Manhattan Ave.	063282090
2021 Euclid Ave.	063281020
2025 Euclid Ave.	063281030
2031 Euclid Ave.	063281040
2043 Euclid Ave.	063281100
2041 Euclid Ave./420 E O'Keefe St.	063281110

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C-2.0	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
C-5.1	PRELIMINARY STORMWATER MANAGEMENT PLAN
C-6.0	PRELIMINARY FIRE ACCESS PLAN
TM-1	VESTING TENTATIVE PARCEL MAP - TITLE SHEET
TM-2	VESTING TENTATIVE PARCEL MAP - MAPPING SHEET

### OTHER

WT-001	WATER TANK EXHIBIT
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## PROJECT DATA

### GROSS AREAS

CIRCULATION	52448 SF
COMMON	31837 SF
COMMUNITY SPACE	2500 SF
GARAGE / BIKE ROOM	139931 SF
RESIDENTIAL	418642 SF
RETAIL	2619 SF
SERVICE / TRASH	9455 SF
STAIRS / ELEVATORS	12831 SF
	670262 SF

### UNIT MIX

TYPE	EXISTING*	MIX	APPROVED	MIX	REVISED	MIX	AVG. AREA
STUDIO	53	33%	228	38%	21**	4%	495 sf
1 BR	102	64%	197	33%	343	62%	688 sf
2 BR	4	2%	178	29%	184	33%	977 sf
3 - 4 BR	2	<1%	2	<1%	2	<1%	1,298 sf
TOTAL	161		605		550		

\* There are 160 current rent-stabilized units and one 2 BR single-family rental (non-RSO)

\*\* 32 existing studios will be replaced by 1 BR units

### PARKING

STALLS	EXISTING	APPROVED	REVISED	
			BUILDING A	BUILDING B
OFF-STREET	155	625	136	434
ON-STREET	52	52		72

(14 of the proposed parking stalls are ADA, including 4 ADA van spaces)

Approved Parking Ratio = 1.03 spaces/unit  
Revised Parking Ratio = 1.03 spaces/unit  
Building A Parking Ratio = 1.03 spaces/unit  
Building B Parking Ratio = 1.03 spaces/unit

### LOT COVERAGE CALCULATIONS

BUILDING A LOT COVERAGE  
LOT AREA = 31,596 SF  
18,853 SF / 31,596 SF = **59%**

BUILDING B LOT COVERAGE  
TOTAL LOT AREA = 139,345 SF  
89,544 SF / 139,345 SF = **64%**

**TOTAL LOT COVERAGE**  
**108,397 / 170,941 SF = 63%**

F.A.R. REQUIRED: N/A

(PER DEVELOPMENT CODE SECTION 18.10 TABLE 2-2)

### ZONING COMPARISON

Development Standard	NCO Zone / GP Designation Requirement	Approved Project (Nov 2022)	Revised Project (Apr 2024)
Maximum Density	175 du/acre	155 du/acre	141 du/acre
Height	13 stories / 140 feet	13 stories / 135 feet	8 stories / 85 feet
Open Space	100 sf/unit	100 sf/unit	105 sf/unit or greater
Setbacks*			
Front	5 feet	9-12 feet	5-10 feet
Side/Street Side	5 feet	10-85 feet	5-69 feet
Rear	10 feet	10-20 feet	10-60 feet
Corner vision triangle	12 feet	12 feet	12 feet

\*Front Setback areas:  
Building B - W. Bayshore Rd.  
Building A - E. O'Keefe St.

### BIKE PARKING

REQ PER EPAMC:  
1 CLASS I SPACE FOR EVERY 3 UNITS = 183 CLASS I  
1 CLASS II SPACE FOR EVERY 15 UNITS = 36 CLASS II

PROVIDED

CLASS I:  
BUILDING A: 72 STALLS (ONE BIKE ROOM)  
BUILDING B: 252 STALLS (TWO BIKE ROOMS)  
TOTAL: 324 STALLS PROVIDED

CLASS II: 45 STALLS PROVIDED ON SITE

### OPEN SPACE

	AREA
COMMON OPEN SPACE	32,115 SF
PRIVATE OPEN SPACE	25,318 SF
Total	57,433 SF
Open space per unit (excluding Public Open Space)	104 SF/UNIT
PUBLIC OPEN SPACE	10,675 SF
PUBLIC PARK	9,355 SF

License Stamp

Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

Design Update -  
April 2024

Drawing Title

TITLE SHEET

Sheet No.

G-000

Date 04/18/2024  
Project No. 21620

Woodland Park  
Euclid  
Improvements



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# Woodland Park Euclid Improvements



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**PREVIOUSLY  
SUBMITTED SHEET  
NO CHANGE**

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Issuances

Description	Date
Entitlements Submission	09/25/2019

Revisions

Rev.	Description	Date
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Set Title

Application -  
September 2019

Drawing Title

CONTEXT

Sheet No.

G100

Date 08-23-2022  
Project No. 21620



1 - Intersection of West Bayshore Road and Euclid Avenue, Looking East



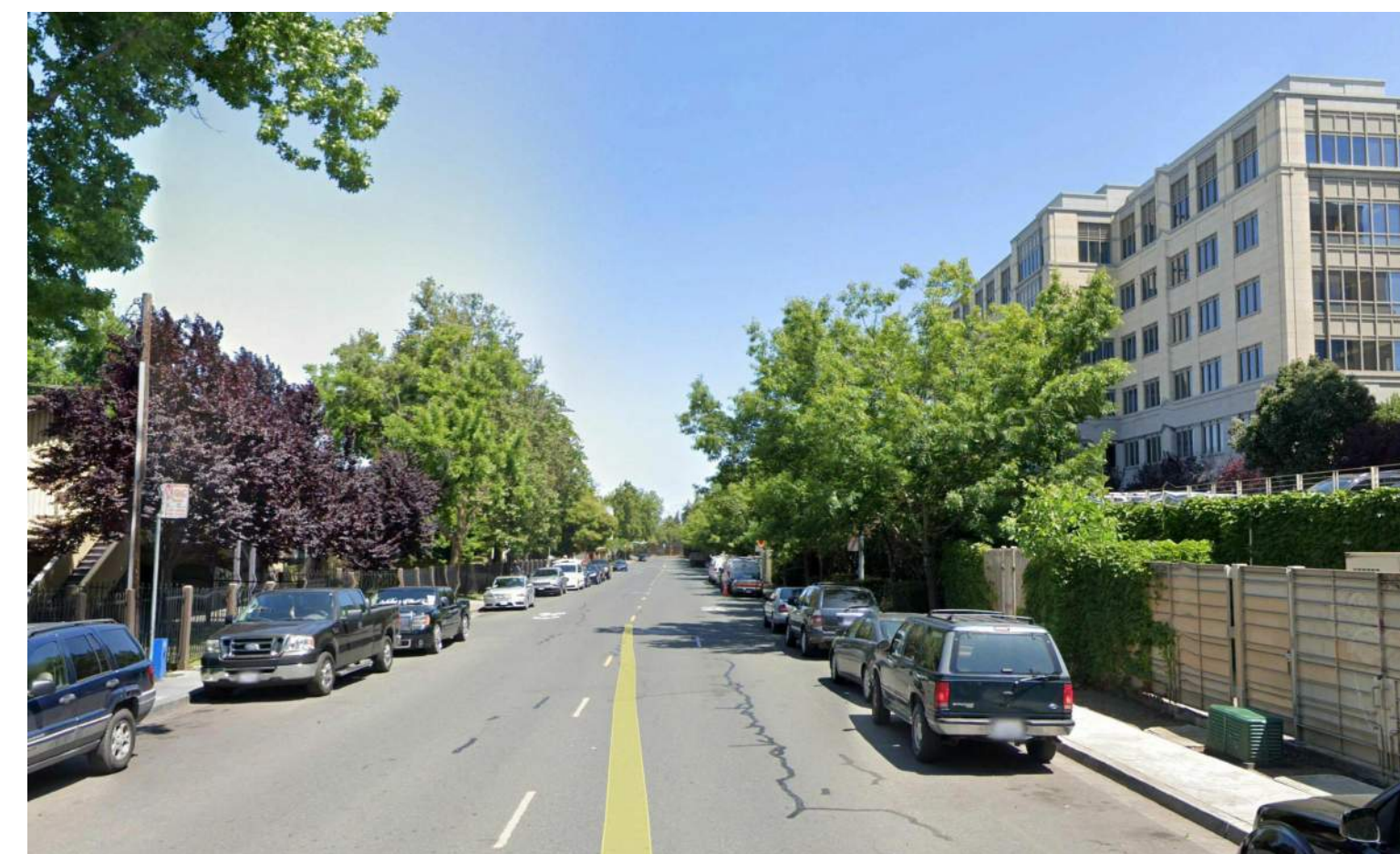
2 - West Bayshore Road, Looking East



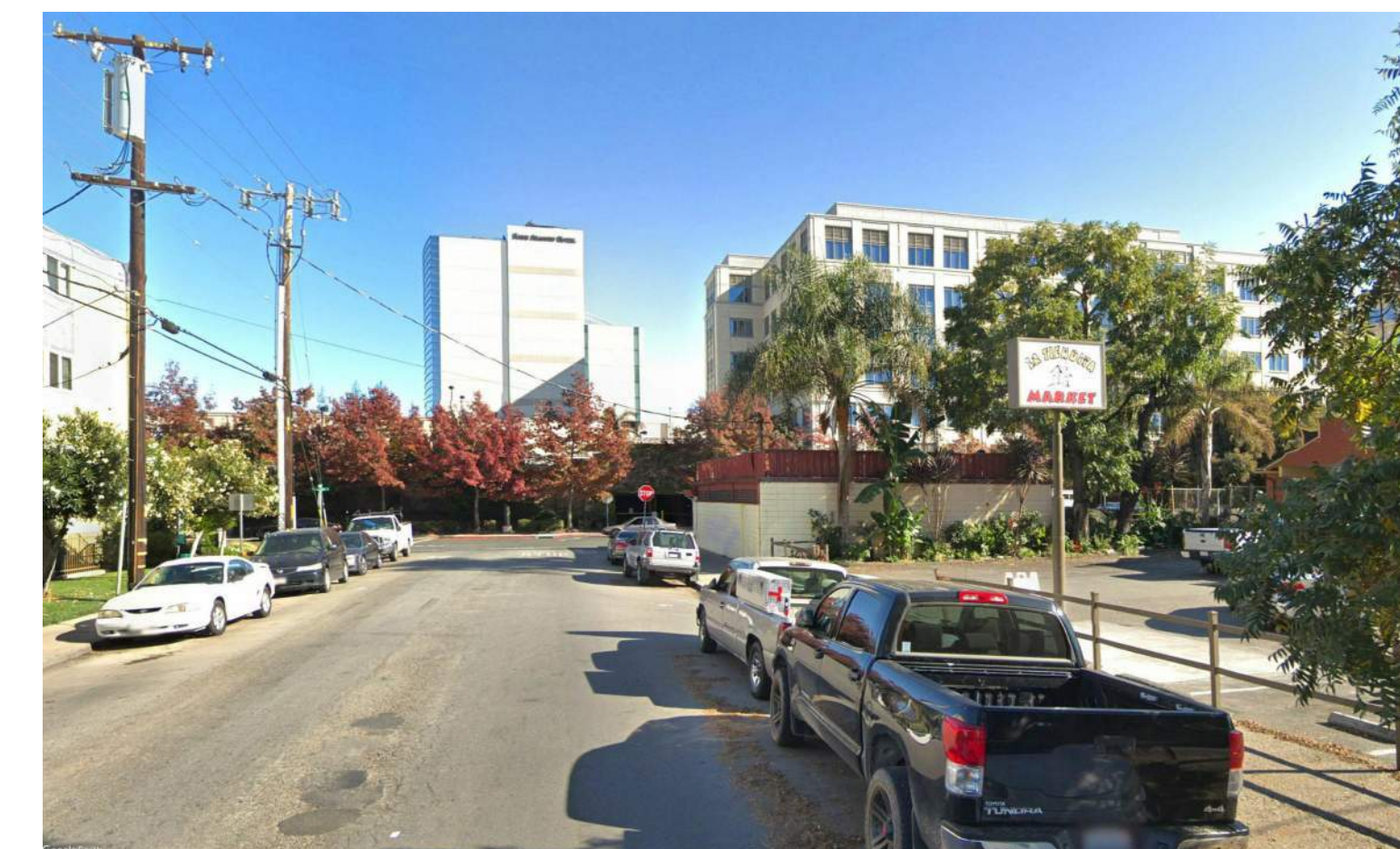
3 - Intersection of West Bayshore Road and Manhattan Avenue, Looking South



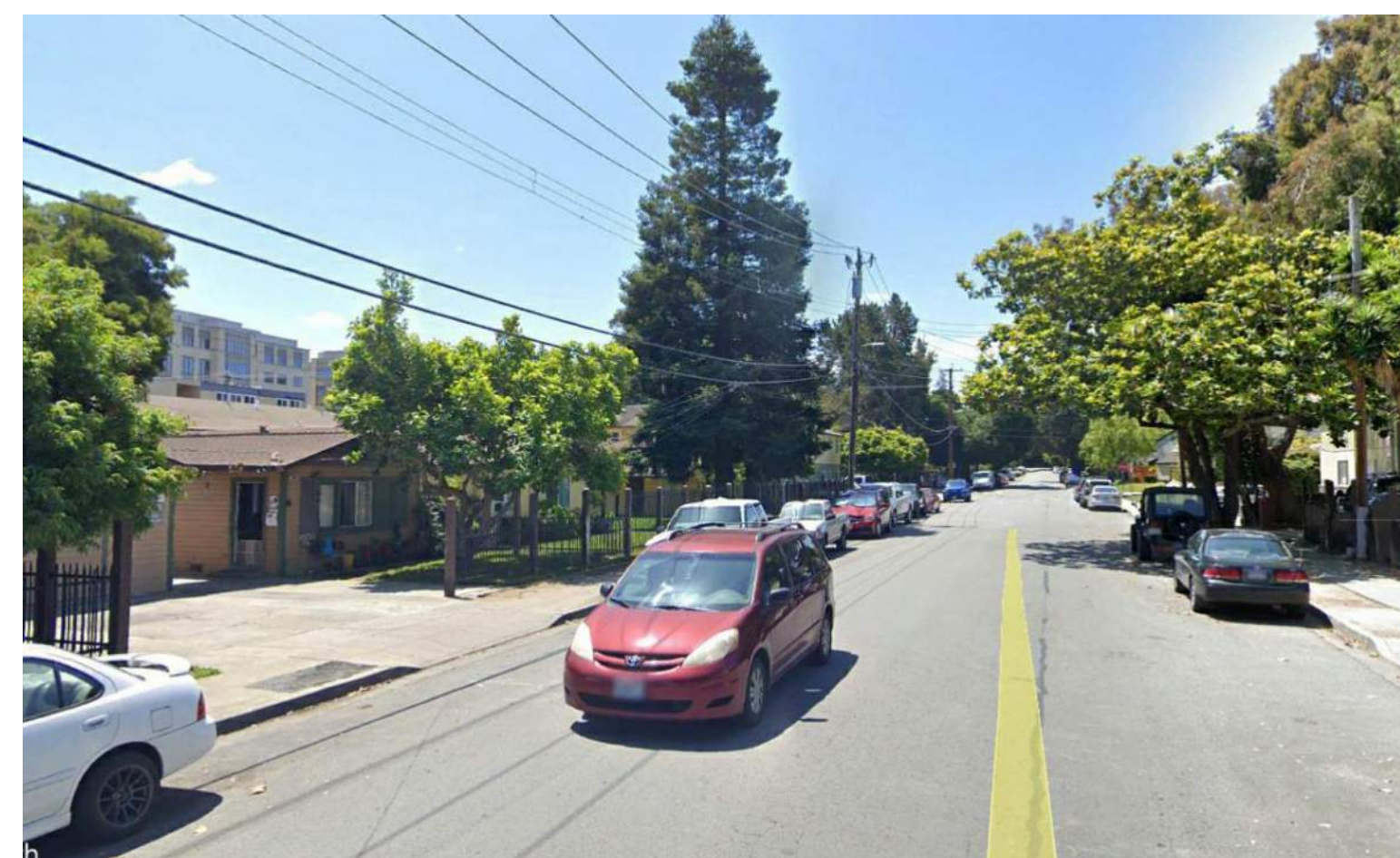
4 - Intersection of Manhattan Avenue and O'Connor Street, Looking North



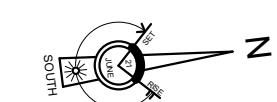
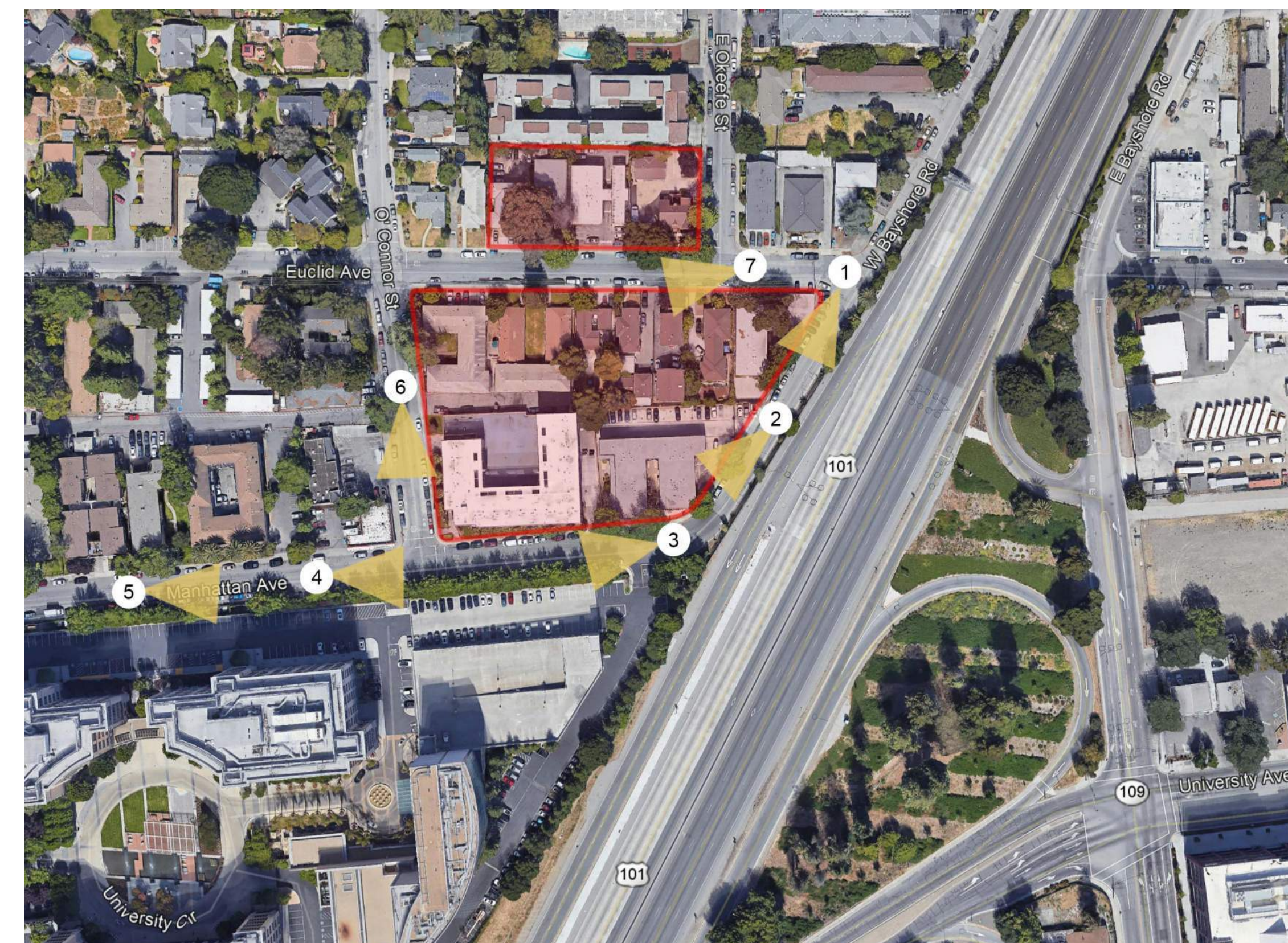
5 - Manhattan Avenue, Looking North



6 - O'Connor Street, Looking East



7 - Euclid Avenue, Looking South





# Woodland Park Euclid Improvements



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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

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April 2024**

Drawing Title

**PERSPECTIVE  
VIEWS**

Sheet No.

**G-101**

Date 04/18/2024  
Project No. 21620



1- VIEW OF PARK FROM O'CONNOR ST.



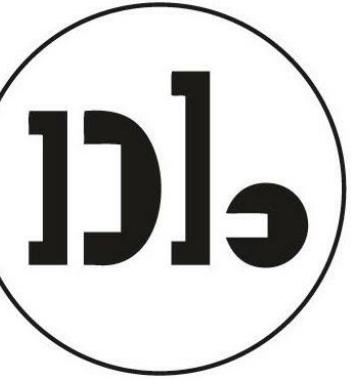
2- VIEW OF EUCLID LOOKING TOWARDS O'KEEFE ST.



KEY PLAN



# Woodland Park Euclid Improvements



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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

Drawing Title

**PERSPECTIVE  
VIEWS**

Sheet No.

**G-102**

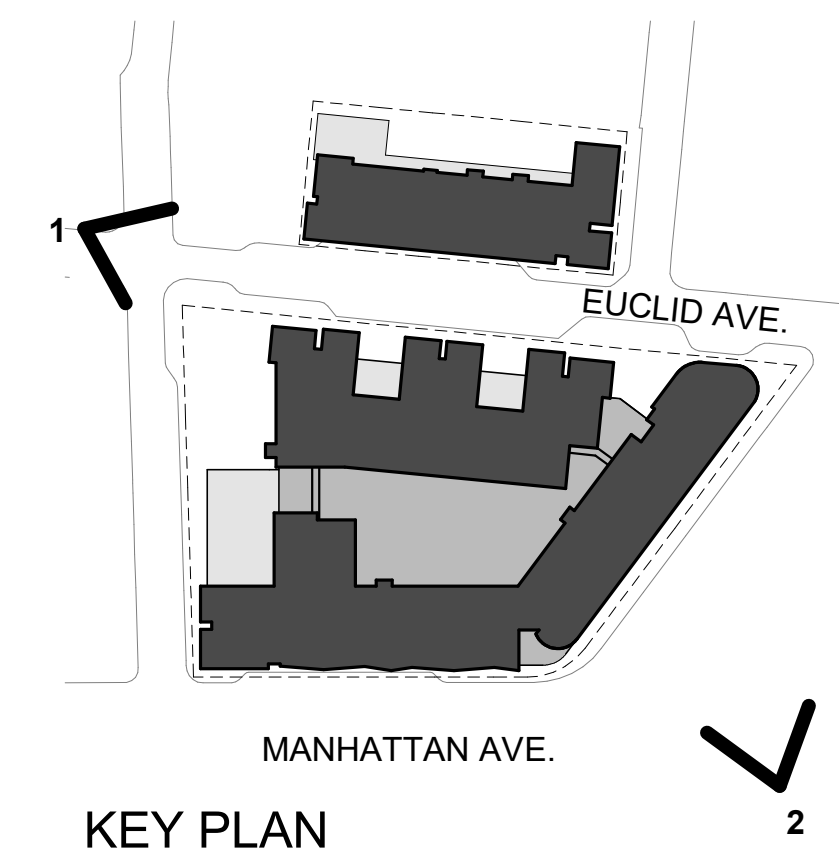
Date 04/18/2024  
Project No. 21620



1- VIEW DOWN EUCLID AVE. LOOKING NORTH



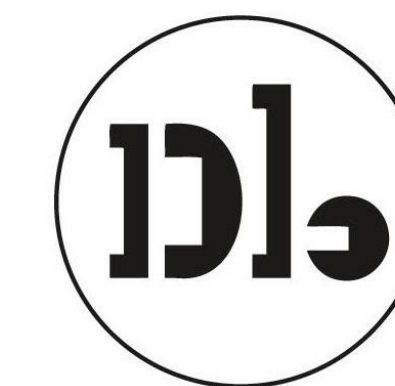
2- VIEW FROM US 101/ UNIVERSITY AVE OVERPASS (FOUR SEASONS HOTEL IN FOREGROUND)







# Woodland Park Euclid Improvements



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Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions	
Rev.	Date
1	Response to Comments 4/19/2024

## PROJECT



Set Title

**Design Update -  
April 2024**

Drawing Title

**AERIAL VIEW**

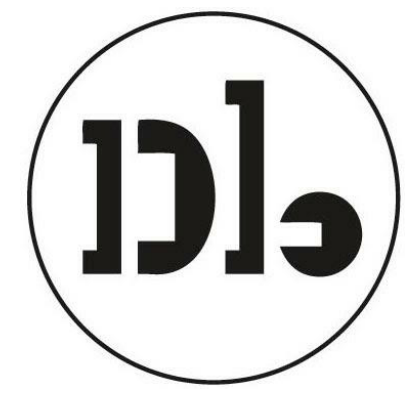
Sheet No.

**G-103**

Date 04/18/2024  
Project No. 21620



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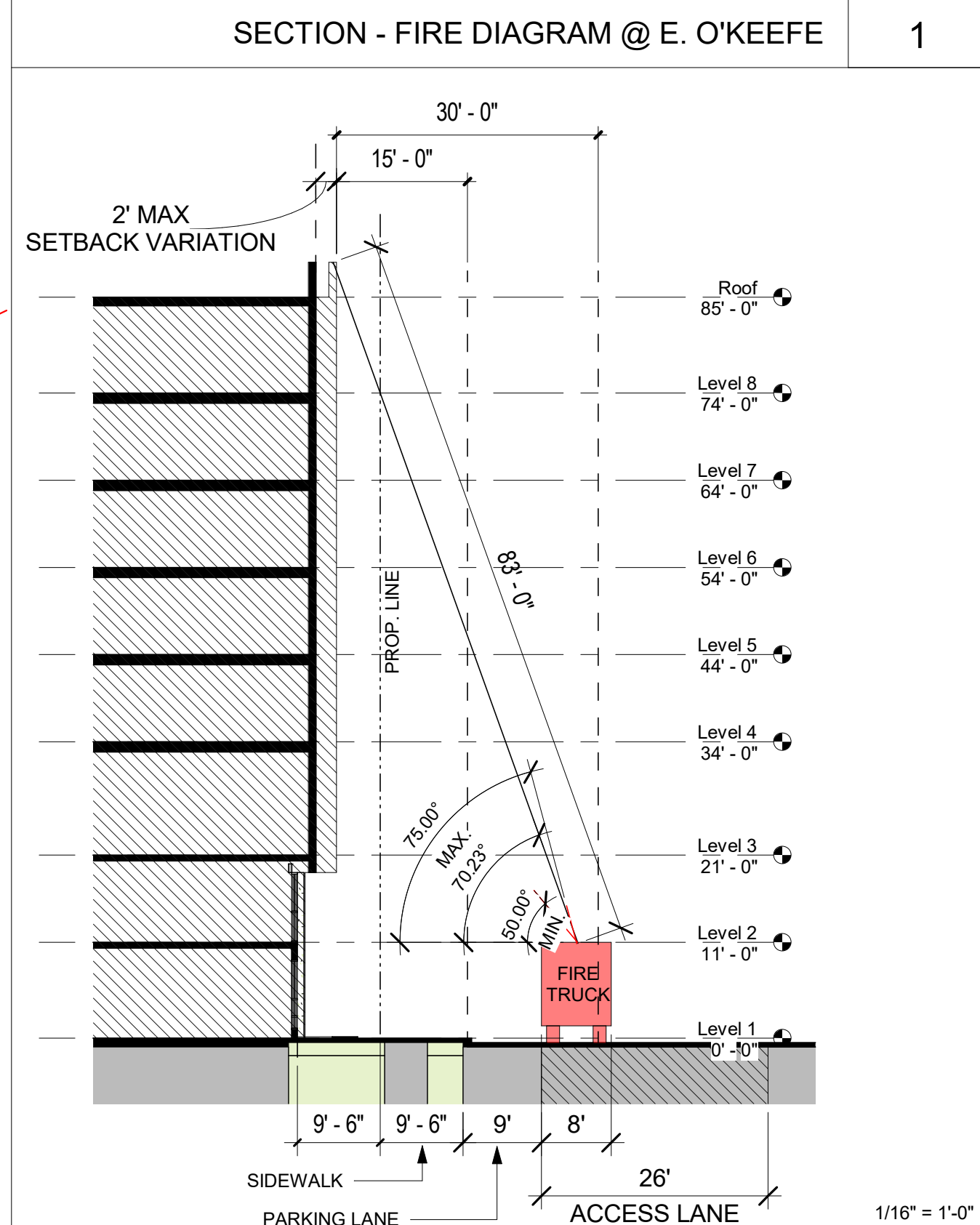
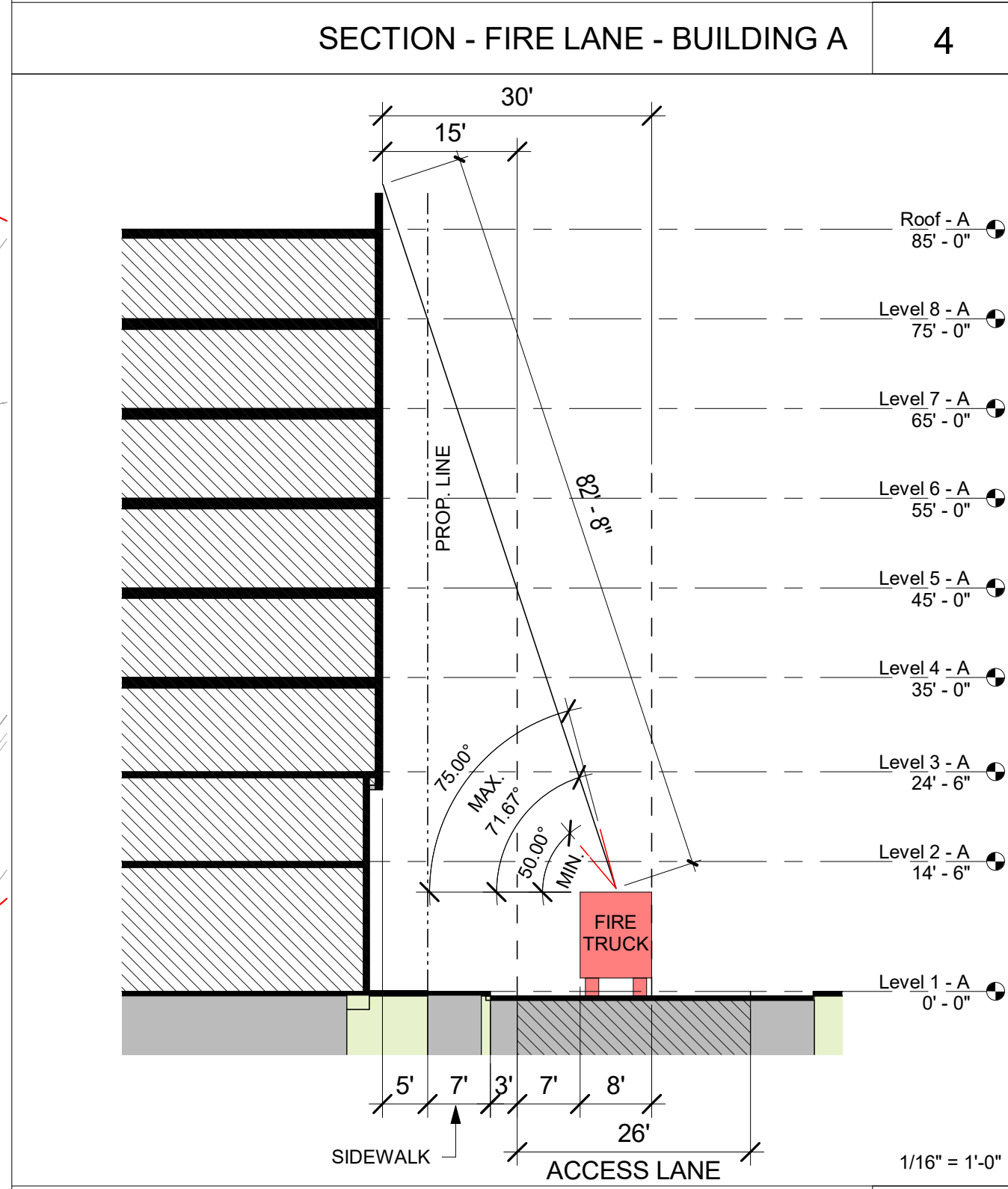
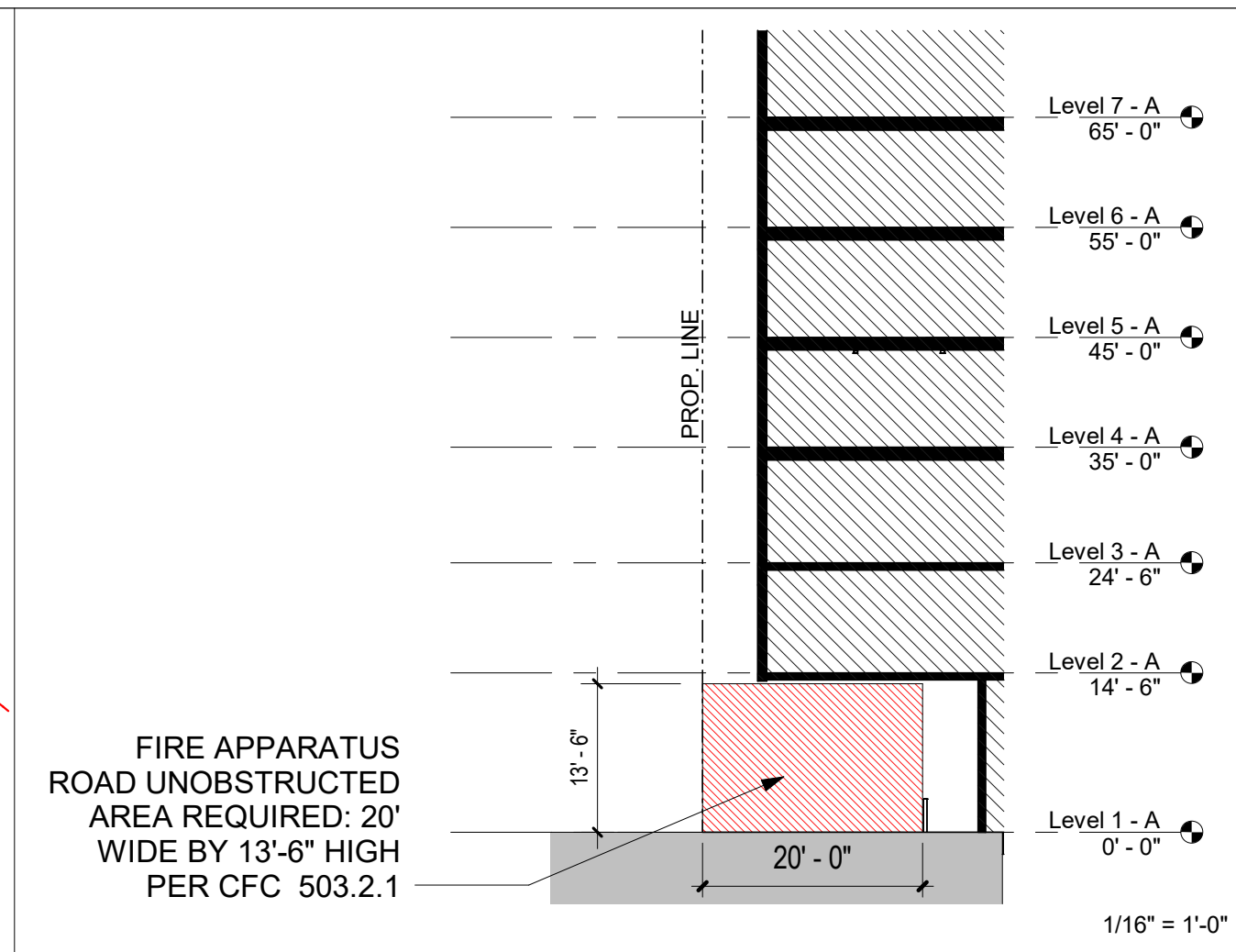
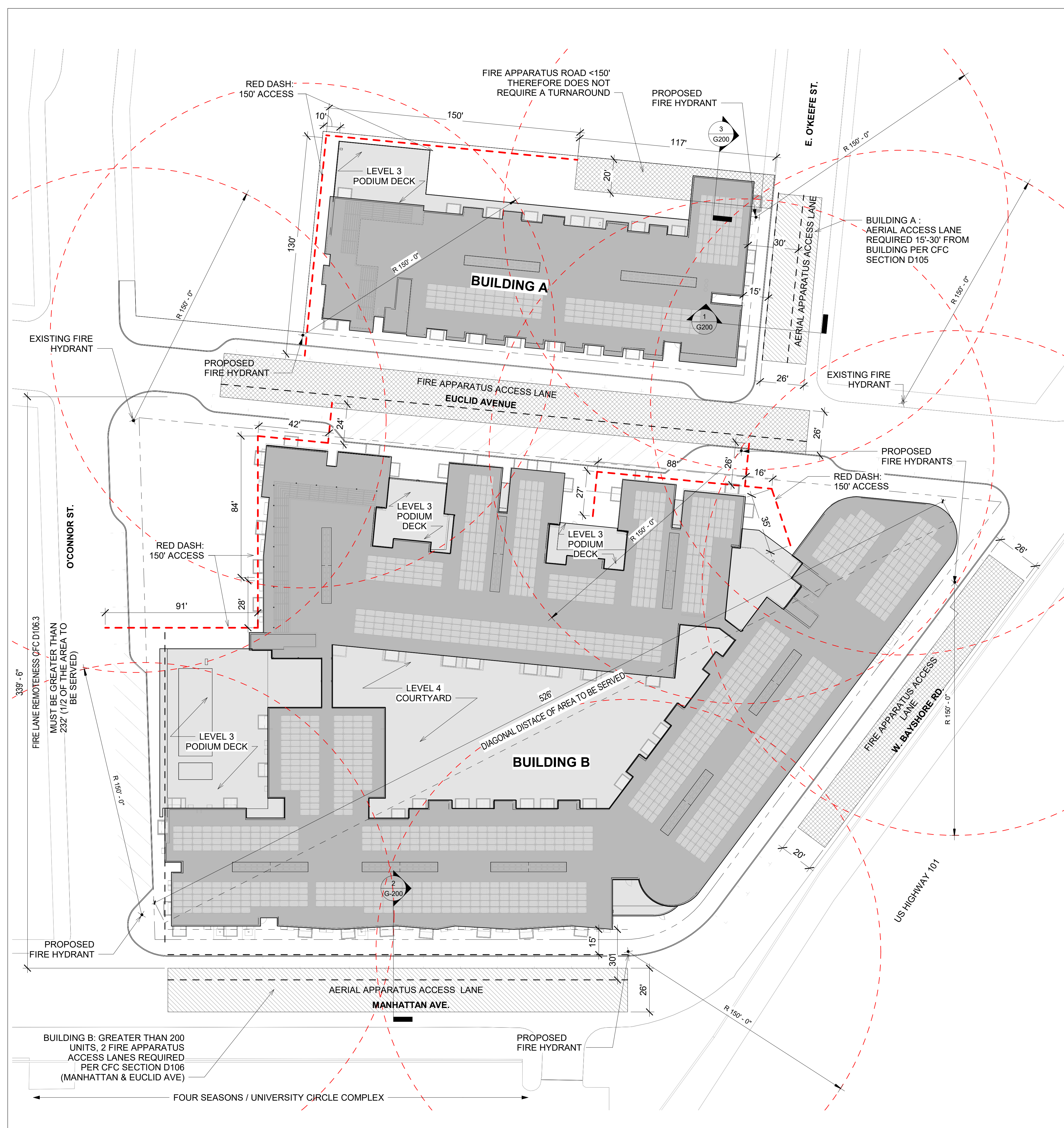
Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title  
**Design Update -  
April 2024**  
Drawing Title  
**FIRE DIAGRAMS**

Sheet No.  
**G-200**

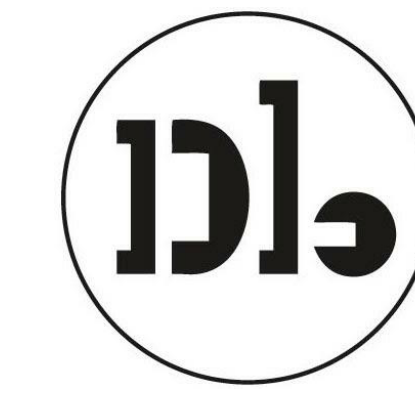
Date 04/18/2024  
Project No. 21620



FIRE DIAGRAM 3

SECTION - FIRE DIAGRAM @ MANHATTAN 2





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Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

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**Design Update -  
April 2024**

Drawing Title

**CODE ANALYSIS  
- GENERAL**

Sheet No.

**G-201**

Date: 04/18/2024  
Project No.: 21620

## BUILDING A

### AREAS:

**BUILDING AREA A (TYPE I-A):**  
ALLOWABLE BUILDING AREA IS UNLIMITED

TOTAL AREA: Area A 45215 SF

ALLOWABLE BUILDING AREA IS UNLIMITED FOR TYPE I-A CONSTRUCTION, THEREFORE **COMPLIES**

**BUILDING AREA B (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.5) = 36,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$  SF

TOTAL AREA: Area B 52478 SF

BUILDING AREA B: < 72,000 SF THEREFORE **COMPLIES**

**BUILDING AREA C (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.5) = 36,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$  SF

TOTAL AREA: Area C 42730 SF

BUILDING AREA C: < 72,000 SF THEREFORE **COMPLIES**

## BUILDING B

### AREAS:

**BUILDING AREA D (TYPE I-A):**  
ALLOWABLE BUILDING AREA IS UNLIMITED

TOTAL AREA: Area D 261481 SF

ALLOWABLE BUILDING AREA IS UNLIMITED FOR TYPE I-A CONSTRUCTION, THEREFORE **COMPLIES**

**BUILDING AREA E (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.5) = 36,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$  SF

TOTAL AREA: Area E 64150 SF

BUILDING AREA E: < 72,000 SF THEREFORE **COMPLIES**

**BUILDING AREA F (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.5) = 36,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$  SF

TOTAL AREA: Area F 69228 SF

BUILDING AREA F: < 72,000 SF THEREFORE **COMPLIES**

**BUILDING AREA G (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.25) = 30,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.25)] \times 2 = 60,000$  SF

TOTAL AREA: Area G 59709 SF

BUILDING AREA G: < 60,000 SF THEREFORE **COMPLIES**

**BUILDING AREA H (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.75) = 42,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.75)] \times 2 = 84,000$  SF

TOTAL AREA: Area H 39829 SF

BUILDING AREA H: < 84,000 SF THEREFORE **COMPLIES**

**BUILDING AREA I (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.5) = 36,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$  SF

TOTAL AREA: Area I 46380 SF

BUILDING AREA I: < 72,000 SF THEREFORE **COMPLIES**

**BUILDING AREA J (TYPE III-A):**

ALLOWABLE AREA OF PER STORY  $At + (ns \times if) = Aa$   
 $24,000 + (24,000 \times 0.5) = 36,000$  SF  
 TOTAL ALLOWABLE AREA  $[At + (NS \times If)] \times Sa = Aa$   
 $[24,000 + (24,000 \times 0.5)] \times 2 = 72,000$  SF

TOTAL AREA: Area J 59523 SF

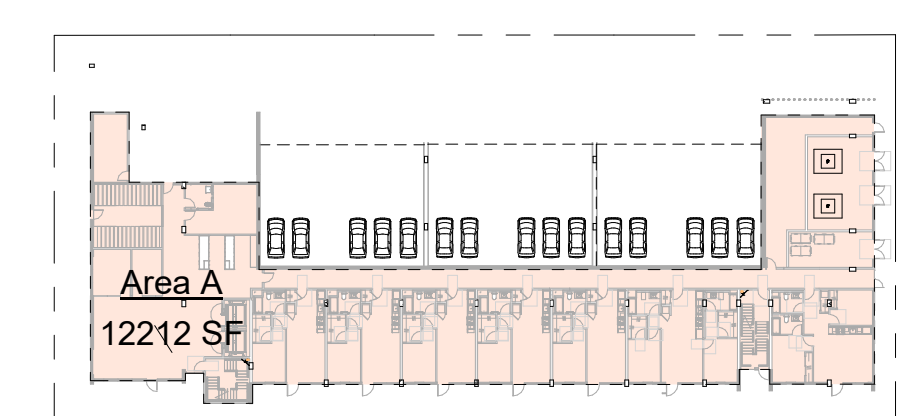
BUILDING AREA J: < 72,000 SF THEREFORE **COMPLIES**

### AREA CALCULATIONS:

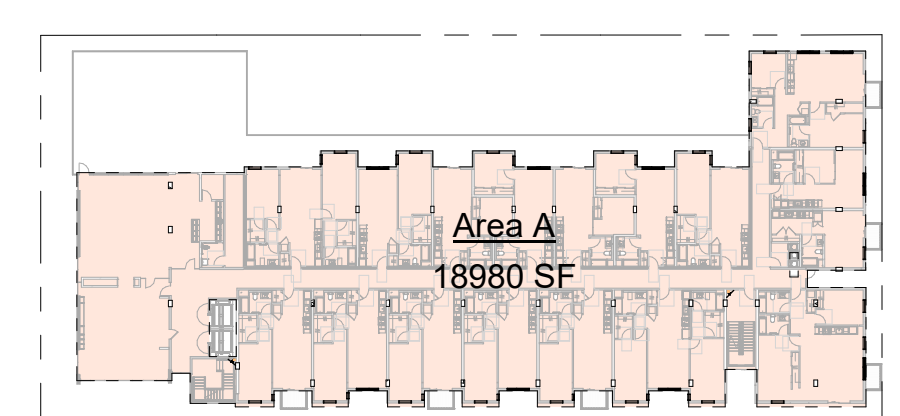
ALLOWABLE AREA OF EACH STORY OF A SINGLE-OCCUPANCY, MULTISTORY BUILDING FROM EQUATION 5-2 (CBC 506.2.1):  
 $Aa = At + (ns \times if)$

TOTAL ALLOWABLE AREA OF A SINGLE-OCCUPANCY BUILDING MORE THAN THREE STORIES ABOVE GRADE PLANE:  
 EQUATION 5-2 (CBC 506.2.1):  
 $Aa = [At + (NS \times If)] \times Sa$

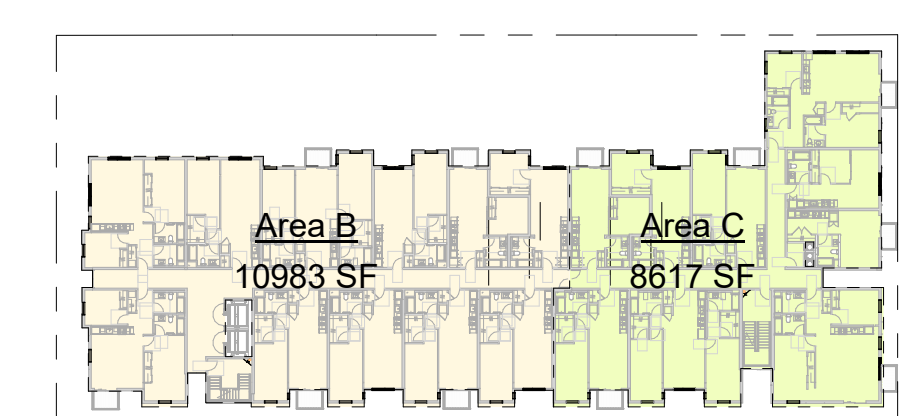
SEE PLAN DIAGRAMS ON THIS SHEET FOR COMPLIANCE OF ALLOWABLE AREA PER STORY



① Level 1 Building A  
1" = 60'-0"

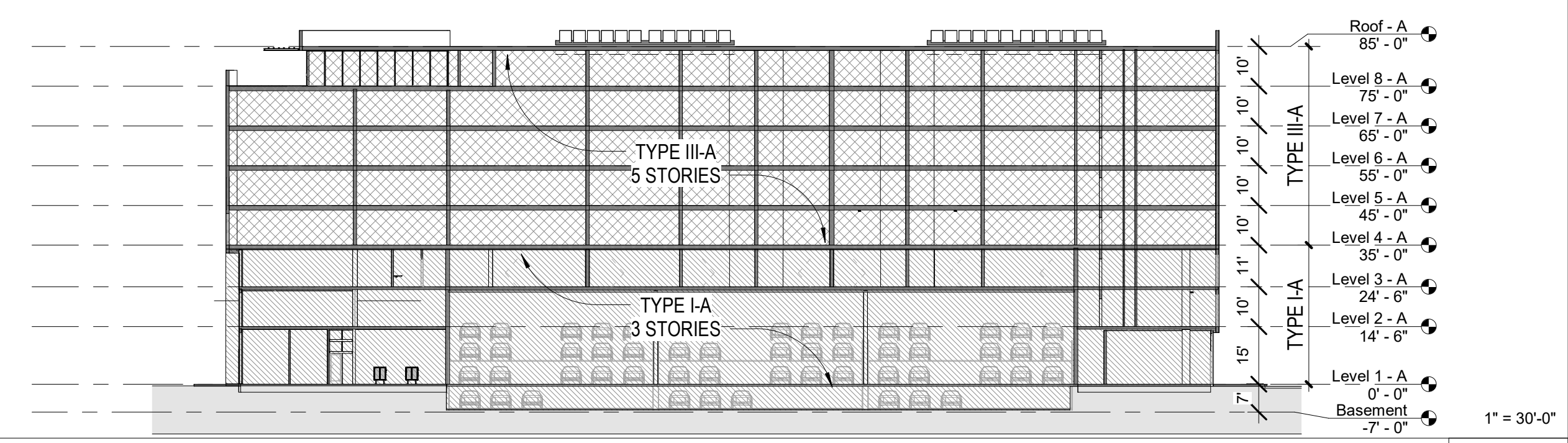


③ Levels 3 Building A  
1" = 60'-0"



⑤ Level 4-8 Building A  
1" = 60'-0"

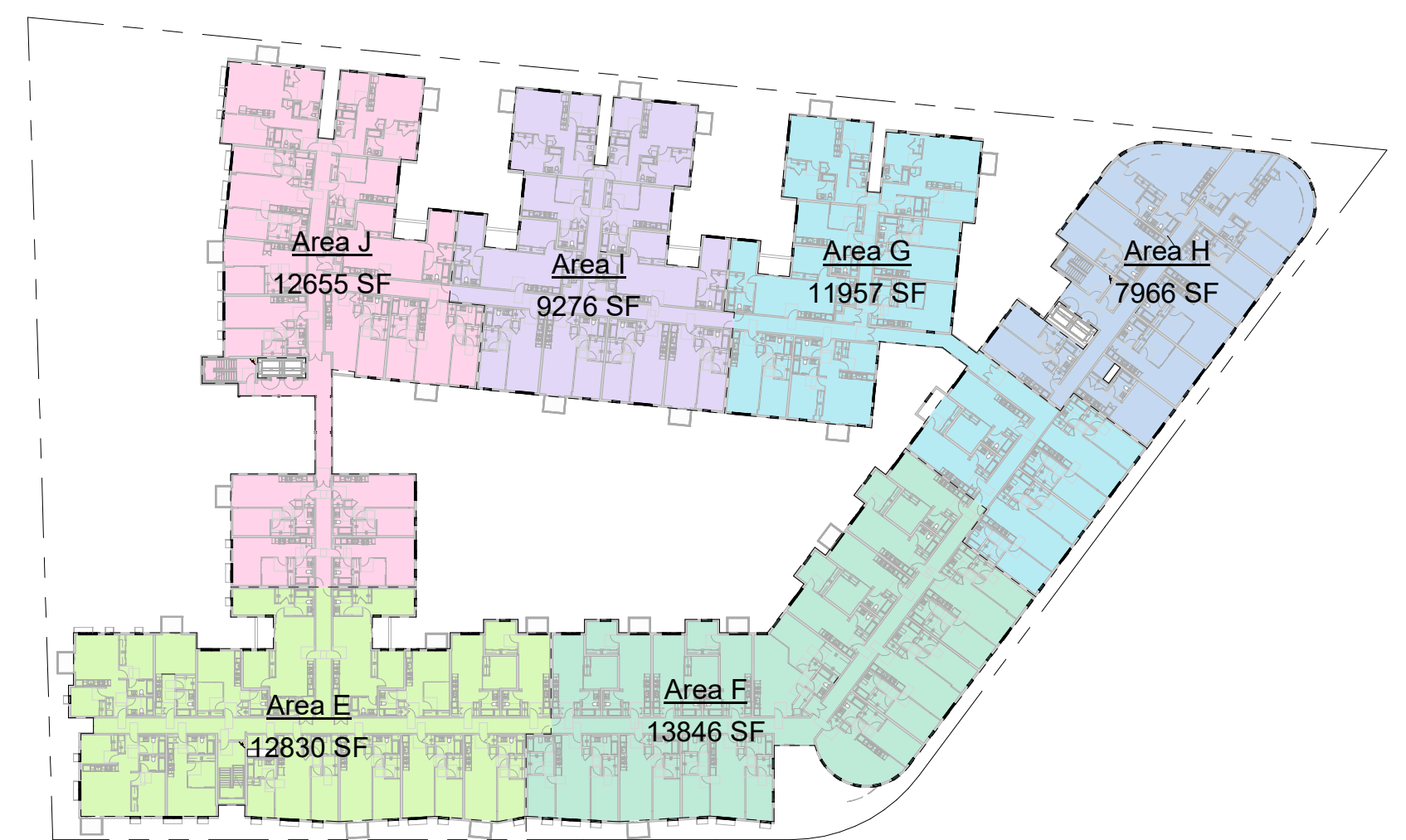
AREA CALCULATIONS - BUILDING A 4



CODE ANALYSIS - SECTION - BUILDING A 3

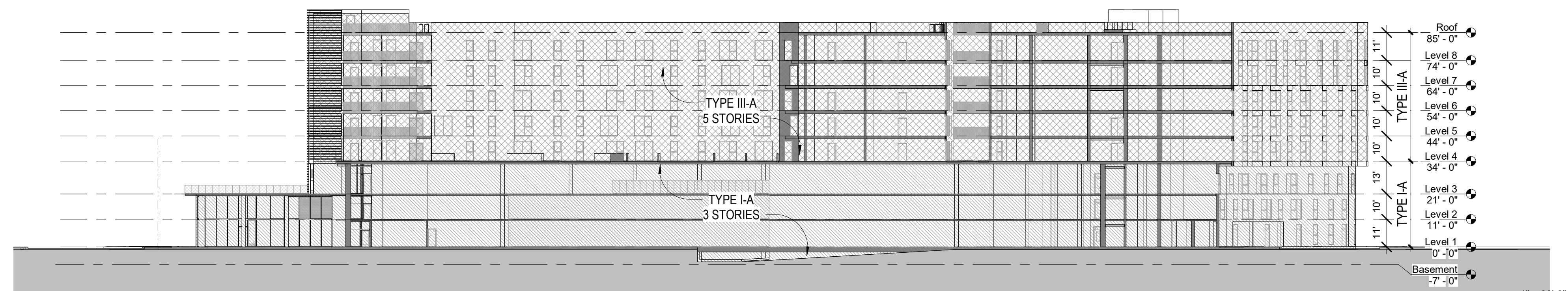


② Level 1 Building B  
1" = 60'-0"



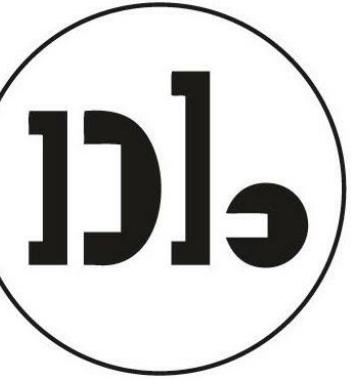
④ Level 4-8 Building B  
1" = 60'-0"

AREA CALCULATIONS - BUILDING B 2



CODE ANALYSIS - SECTION - BUILDING B (NORTH SOUTH) 1





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Issuances

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Revisions

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1	Response to Comments	4/19/2024

Set Title

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April 2024

Drawing Title

PLANNING  
DIAGRAMS

Sheet No.

G-202

Date 04/18/2024  
Project No. 21620

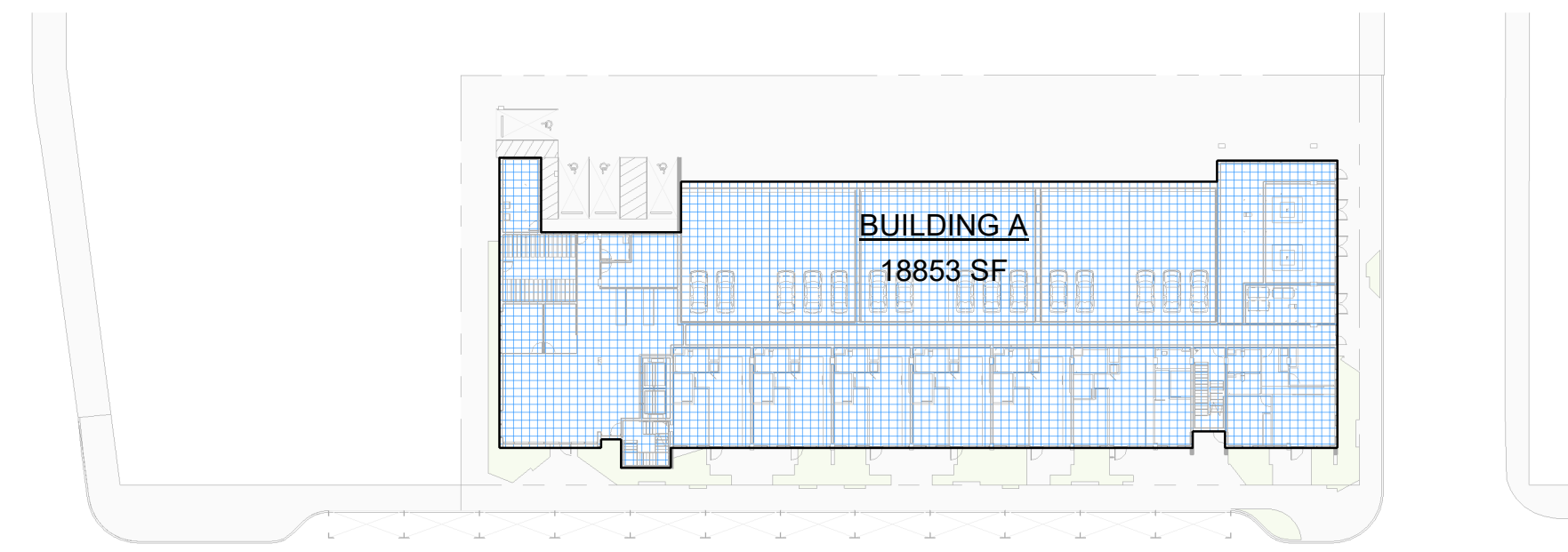
**BUILDING A LOT COVERAGE**

**ALLOWABLE**  
ALLOWABLE LOT COVERAGE = 70% MIN  
(PER EPAMC 18.10.030)

**ACTUAL**  
LOT AREA = 31,596 SF  
BUILDING FOOTPRINT:

BUILDING A	18853 SF
------------	----------

ACTUAL LOT COVERAGE = 59%



① BUILDING A SITE COVERAGE  
1" = 50'-0"

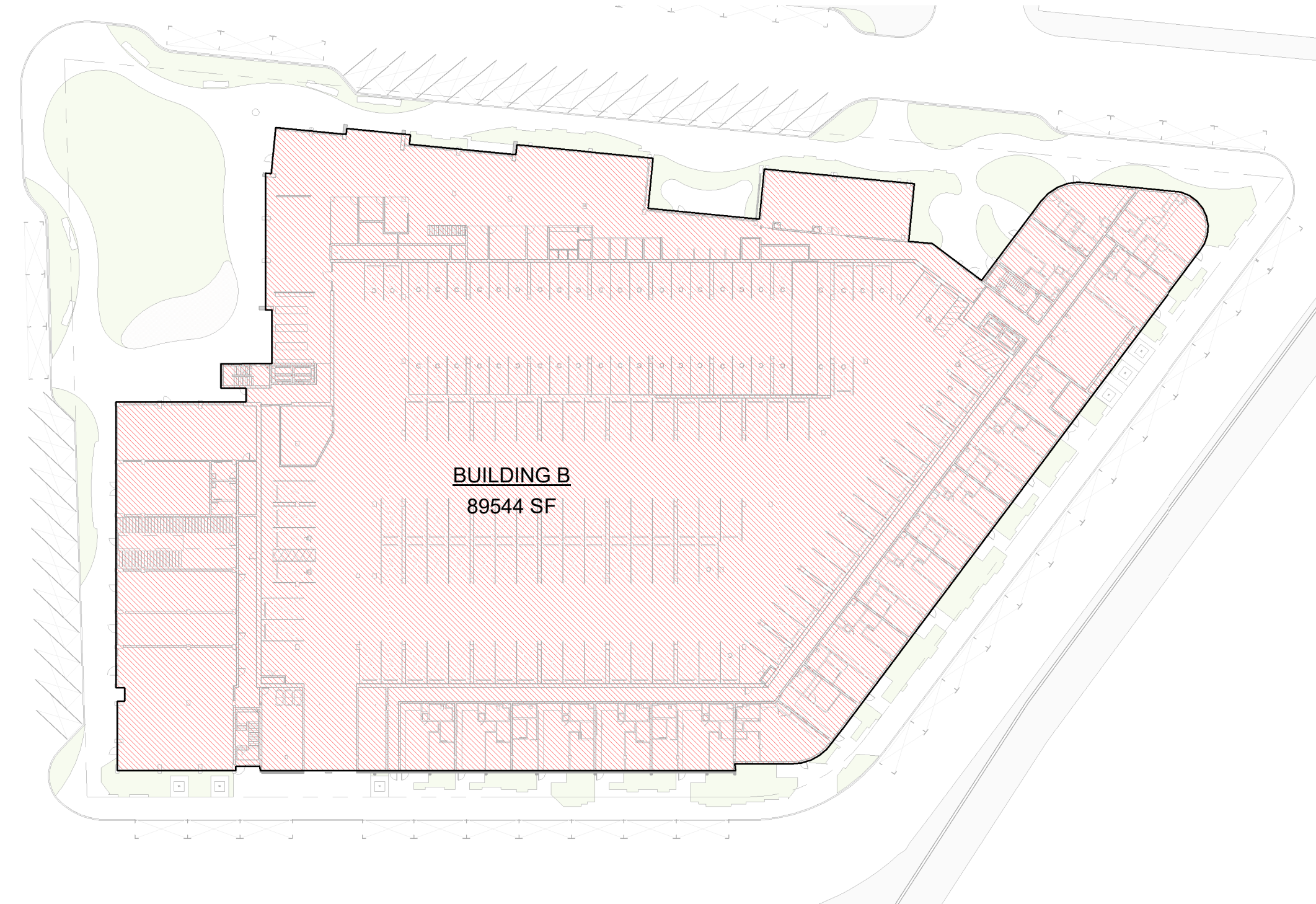
**BUILDING B LOT COVERAGE**

**ALLOWABLE**  
ALLOWABLE LOT COVERAGE = 70%  
(PER EPAMC 18.10.030)

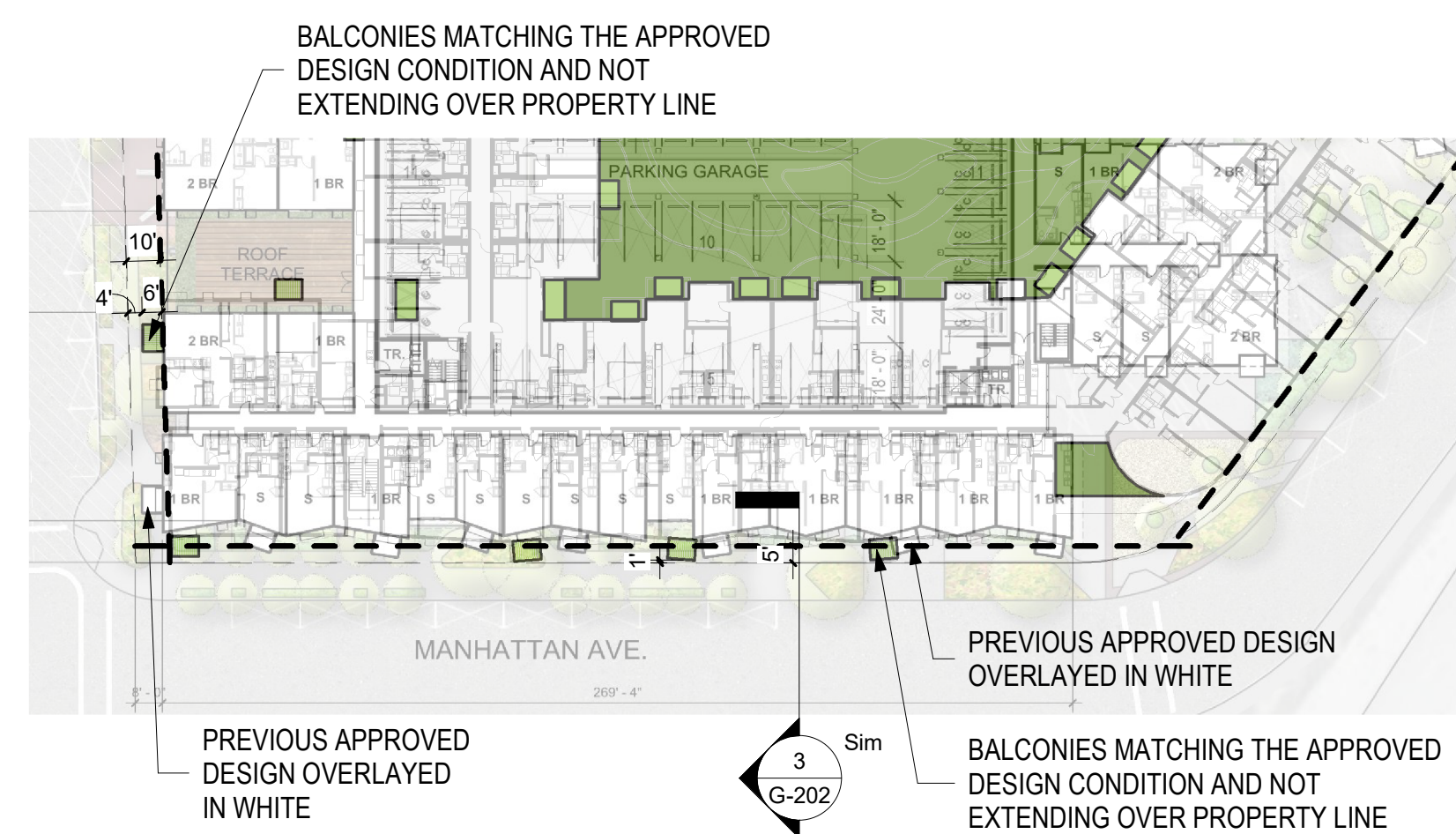
**ACTUAL**  
LOT AREA = 139,345 SF  
BUILDING FOOTPRINT:

BUILDING B	89544 SF
------------	----------

ACTUAL LOT COVERAGE = 64%



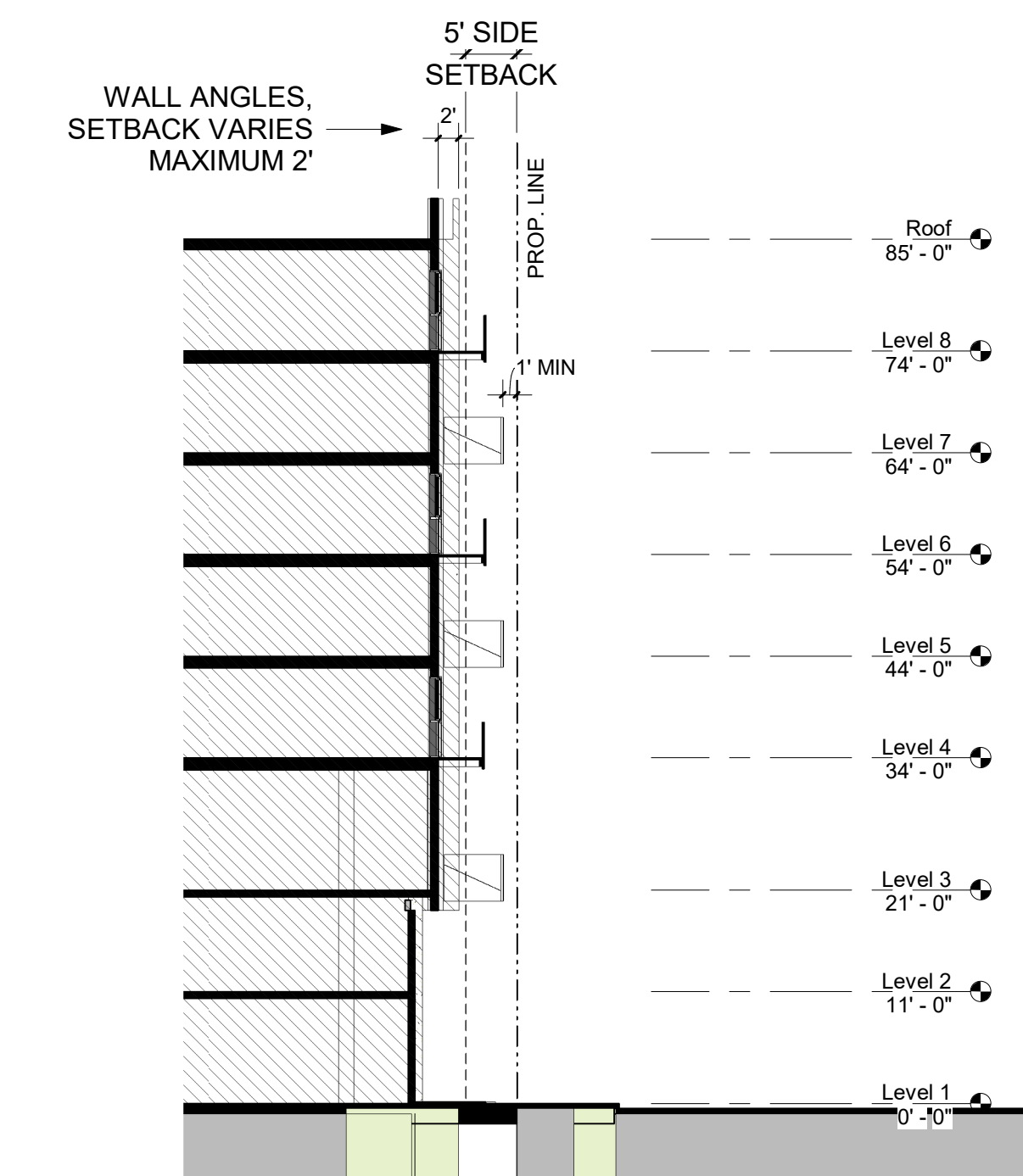
② BUILDING B SITE COVERAGE  
1" = 50'-0"



④ BALCONIES - MANHATTAN AVE.  
1" = 50'-0"



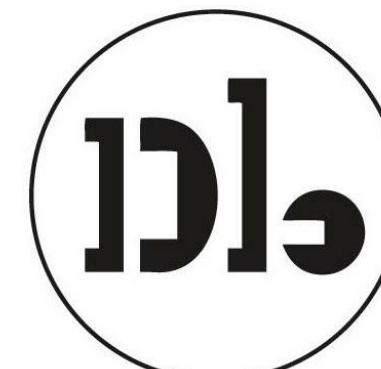
⑤ BALCONIES - EUCLID AVE.  
1" = 50'-0"



③ SECTION - BALCONIES @ MANHATTAN  
1/16" = 1'-0"



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Revisions

Rev.	Description	Date
------	-------------	------

Set Title

Application -  
September 2019

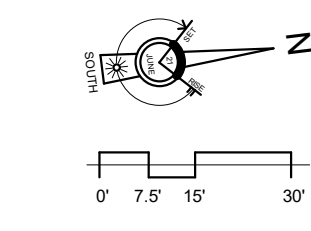
Drawing Title

**SITE PLAN -  
EXISTING**

Sheet No.

**A100**

Date 08-23-2022  
Project No. 21620



## Existing properties:

**2021 Euclid Avenue  
(11 rent-stabilized units)**

11 x Studio Units

**2025 Euclid Avenue  
(7 rent-stabilized units)**

6 x Studio Units  
1 x 1 Bedroom Unit

**2031 Euclid Avenue  
(12 rent-stabilized units)**

12 x 1 Bedroom Units

**2032 Euclid Avenue**

1 x 2 Bedroom Single-Family-House  
(non-RSO)

**2036 Euclid Avenue  
(4 rent-stabilized units)**

2 x Studio Units  
1 x 1 Bedroom Unit  
1 x 2 Bedroom Unit

**2040 & 2042 Euclid Avenue  
(2 rent-stabilized units)**

1 x 2 Bedroom Unit  
1 x 4 Bedroom Unit

**2041 Euclid Avenue  
(also known as 420 O'Keefe)**

Community Engagement Office

**2043 Euclid Avenue**

Resident Services Office and  
Community Technology Center

**2044 Euclid Avenue  
(2 rent-stabilized units)**

1 x 2 Bedroom Unit  
1 x 3 Bedroom Unit

**2054 Euclid Avenue  
(8 rent-stabilized units)**

8 x 1 Bedroom Units

**2012 Euclid Avenue/501 O'Connor Street  
(22 rent-stabilized units)**

22 x 1 Bedroom Units

**2001 Manhattan Avenue  
(60 rent-stabilized units)**

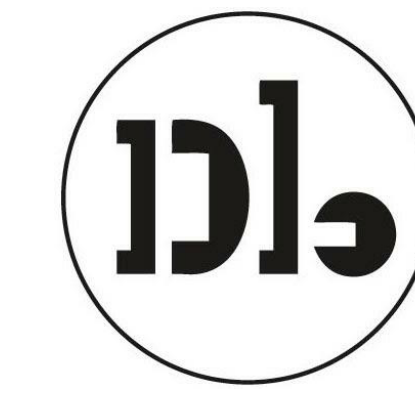
8 x Studio Units  
52 x 1 Bedroom Units

**2033 Manhattan Avenue  
(32 rent-stabilized units)**

26 x Studio Units  
6 x 1 Bedroom Units



# Woodland Park Euclid Improvements



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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

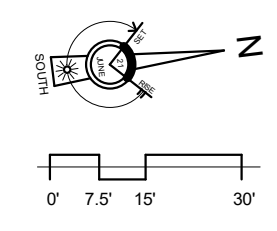
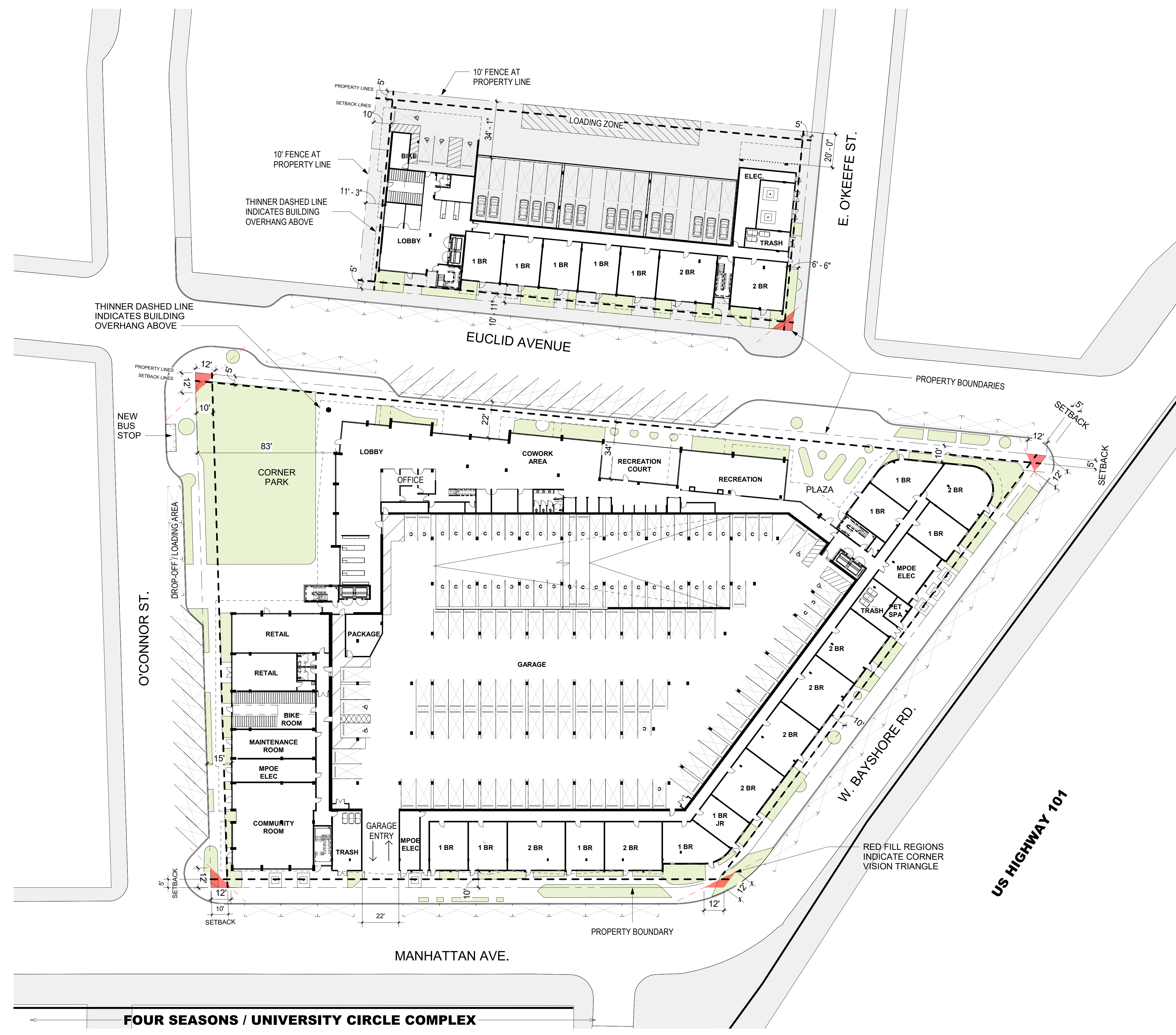
Drawing Title

**SITE PLAN -  
PROPOSED**

Sheet No.

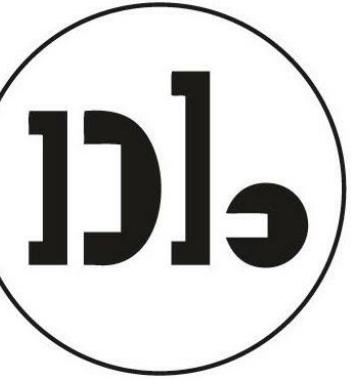
**A-101**

Date: 04/18/2024  
Project No.: 21620





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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

Design Update -  
April 2024

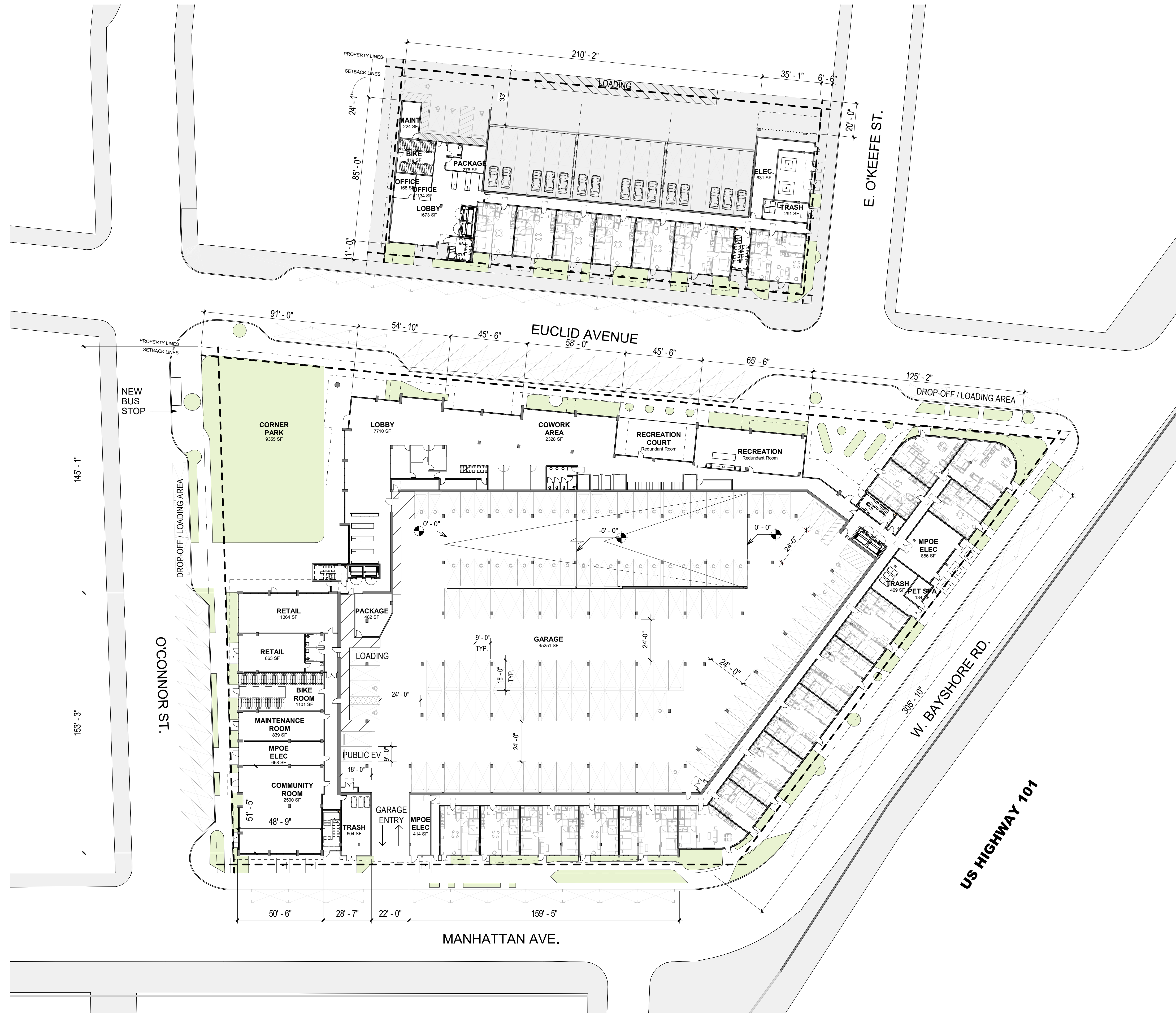
Drawing Title

FLOOR PLAN -  
LEVEL 1

Sheet No.

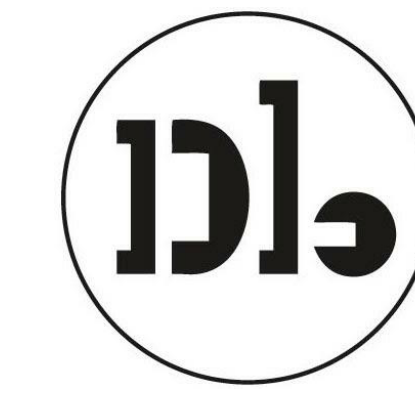
A-201

Date 04/18/2024  
Project No. 21620





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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

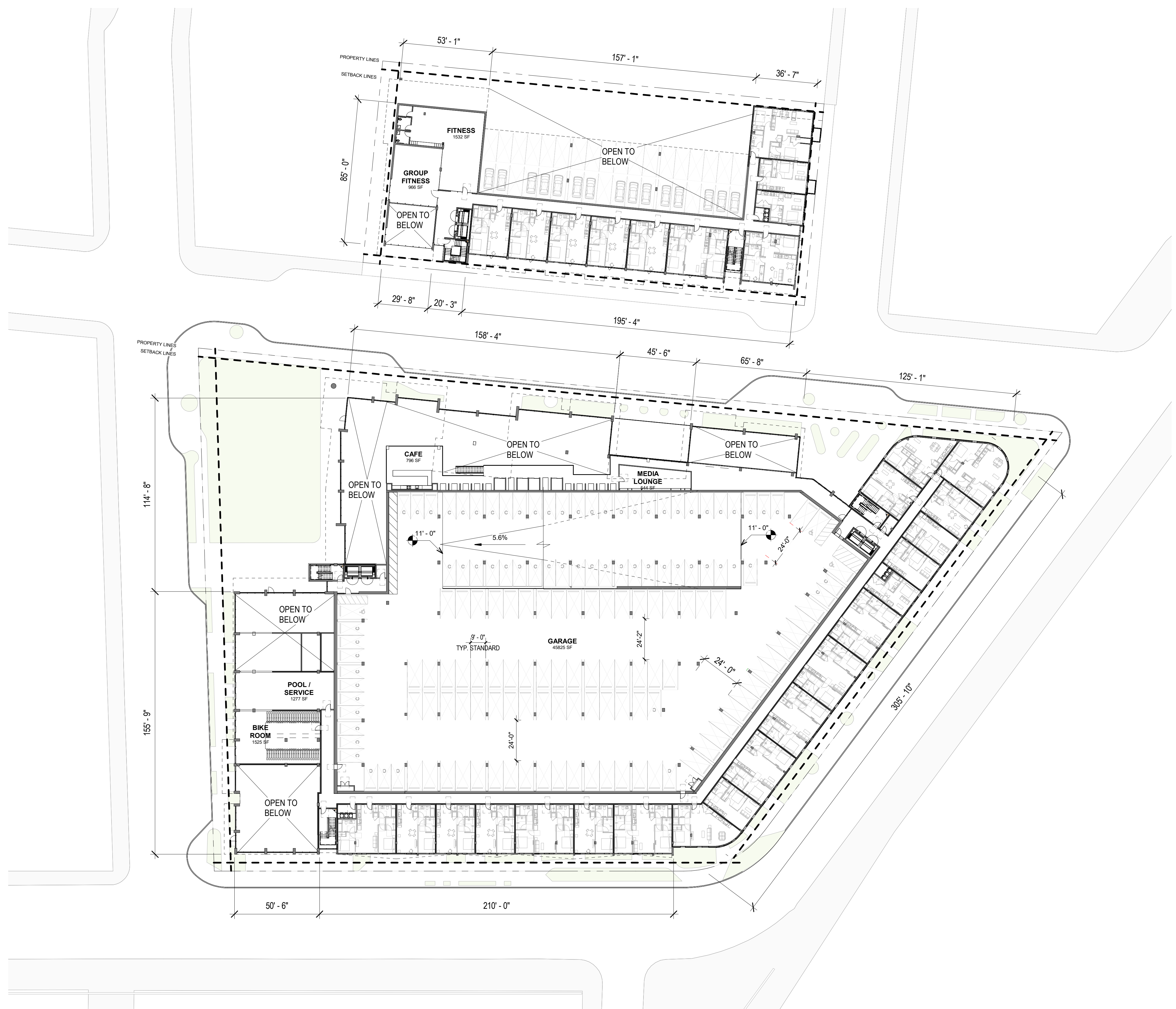
Drawing Title

**FLOOR PLAN -  
LEVEL 2**

Sheet No.

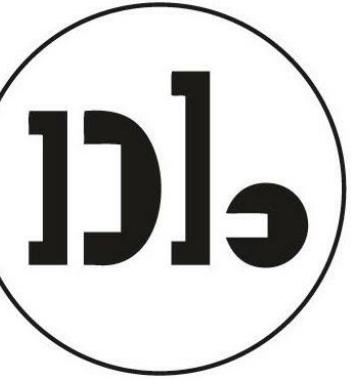
**A-202**

Date: 04/18/2024  
Project No.: 21620





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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

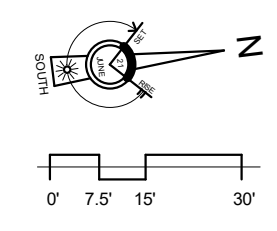
Drawing Title

**FLOOR PLAN -  
LEVEL 3**

Sheet No.

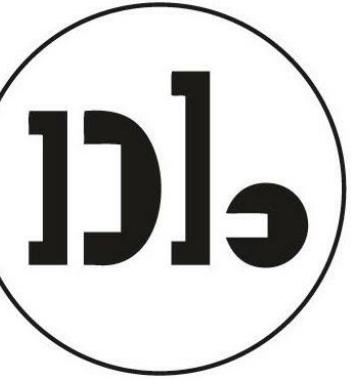
**A-203**

Date 04/18/2024  
Project No. 21620





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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

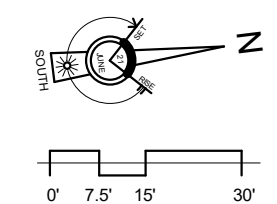
Drawing Title

**FLOOR PLAN -  
LEVEL 4**

Sheet No.

**A-204**

Date: 04/18/2024  
Project No.: 21620





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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

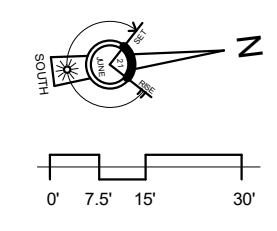
Drawing Title

**FLOOR PLAN -  
LEVELS 5-7**

Sheet No.

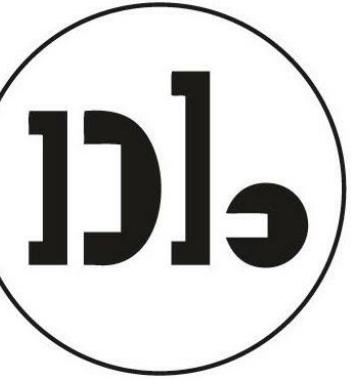
**A-205**

Date: 04/18/2024  
Project No.: 21620





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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

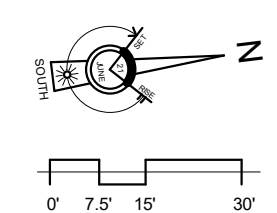
Drawing Title

**FLOOR PLAN -  
LEVELS 8**

Sheet No.

**A-206**

Date 04/18/2024  
Project No. 21620





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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

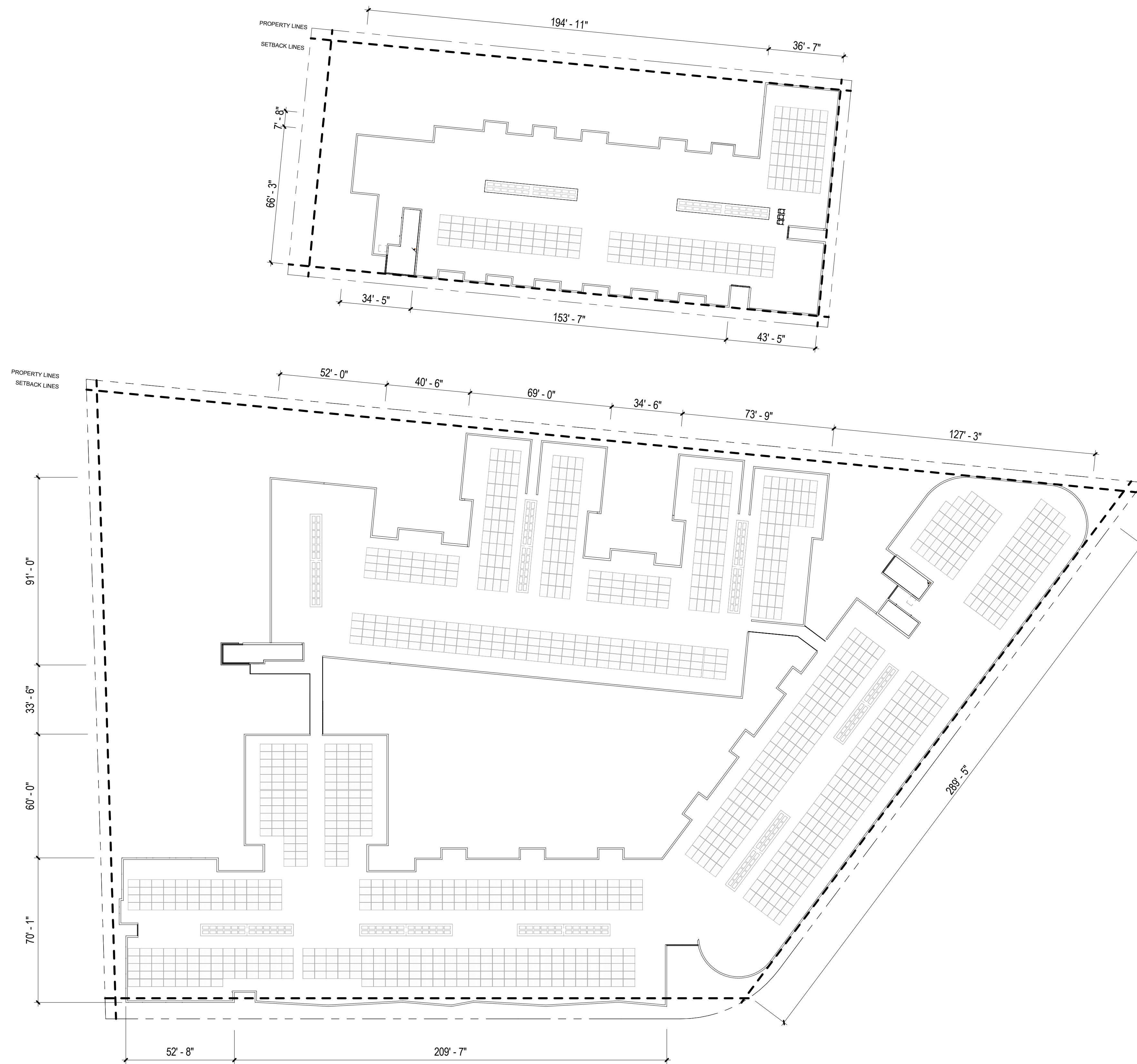
Drawing Title

**FLOOR PLAN -  
ROOF**

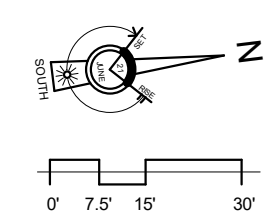
Sheet No.

**A-207**

Date: 04/18/2024  
Project No.: 21620

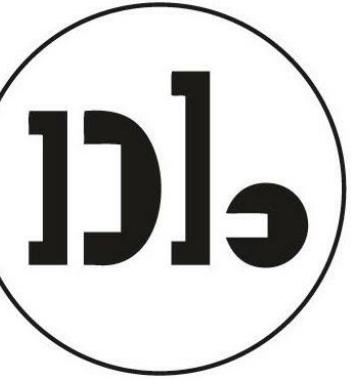


① BUILDING B - ROOF LEVEL FLOOR PLAN  
1" = 30'-0"





# Woodland Park Euclid Improvements



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Issuances

Description	Date
Entitlements Update	2/27/2024

Revisions

Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

**Design Update -  
April 2024**

Drawing Title

**BUILDING  
ELEVATIONS**

Sheet No.

**A-300**

Date: 04/18/2024  
Project No.: 21620

## MATERIAL LEGEND

- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
- 10 - Balconies with Perforated Metal Guardrails
- 11 - Corten Steel Panels
- 12 - Smooth Concrete
- 13 - Metal Sunshade
- 14 - Standing Seam Steel



Key Plan  
1" = 160'-0"

NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



3 O'Connor St. Elevation - East Building  
1" = 30'-0"



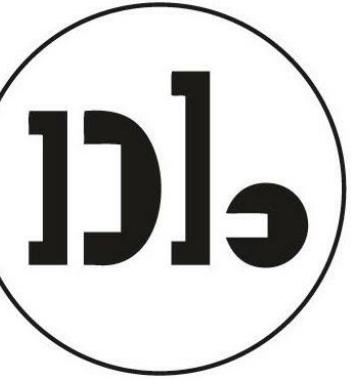
2 W. Bayshore Rd. Elevation - East Building  
1" = 30'-0"



1 Euclid Ave. Elevation - East Building  
1" = 30'-0"



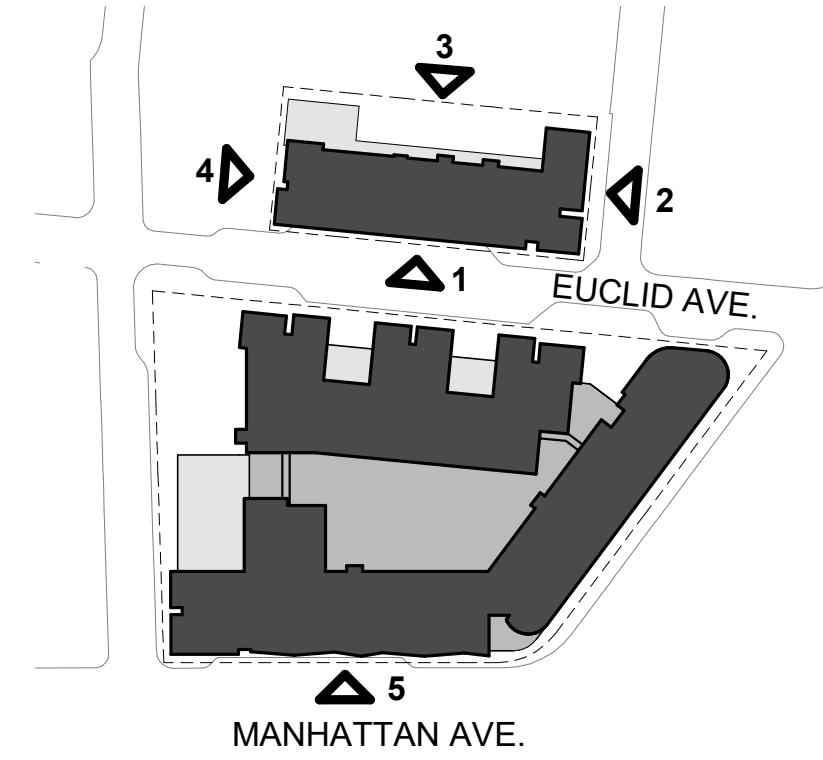
# Woodland Park Euclid Improvements



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## MATERIAL LEGEND

- 1 - Textured Concrete with Vine Cover
- 2 - Vertical Wood Siding
- 3 - Storefront System
- 4 - Cement Board (Dark)
- 5 - Cement Board (Light)
- 6 - Perforated Metal Screen (Painted)
- 7 - GFRC
- 8 - Thin Brick
- 9 - Aluminum Windows
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- 11 - Corten Steel Panels
- 12 - Smooth Concrete
- 13 - Metal Sunshade
- 14 - Standing Seam Steel



Key Plan  
1" = 160'-0"

NOTE: PLEASE REFER TO LANDSCAPE PLAN FOR PLANTING LOCATIONS



5 Manhattan Ave. Elevation - East Building  
1" = 30'-0"



4 BUILDING A - SOUTH ELEVATION Copy 1  
1" = 30'-0"



3 BUILDING A - WEST ELEVATION Copy 1  
1" = 30'-0"



2 East O'Keefe St. Elevation - West Building  
1" = 30'-0"



1 Euclid Ave. Elevation - West Building  
1" = 30'-0"

License Stamp

Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title

Design Update -  
April 2024

Drawing Title

**BUILDING  
ELEVATIONS**

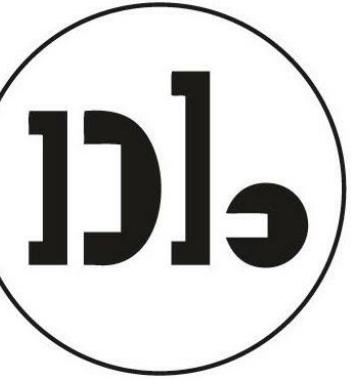
Sheet No.

**A-301**

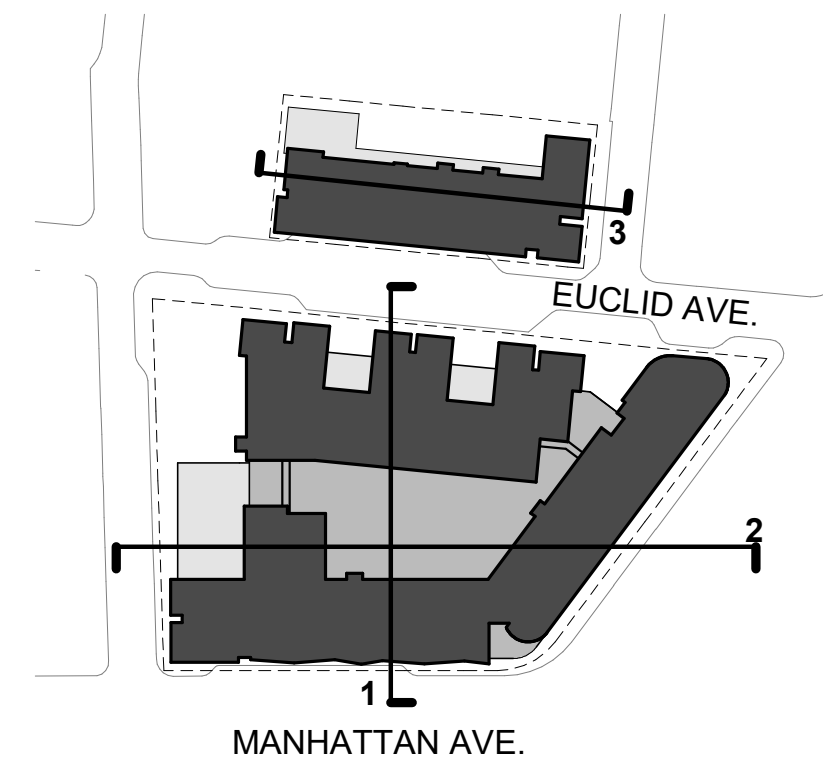
Date 04/18/2024  
Project No. 21620



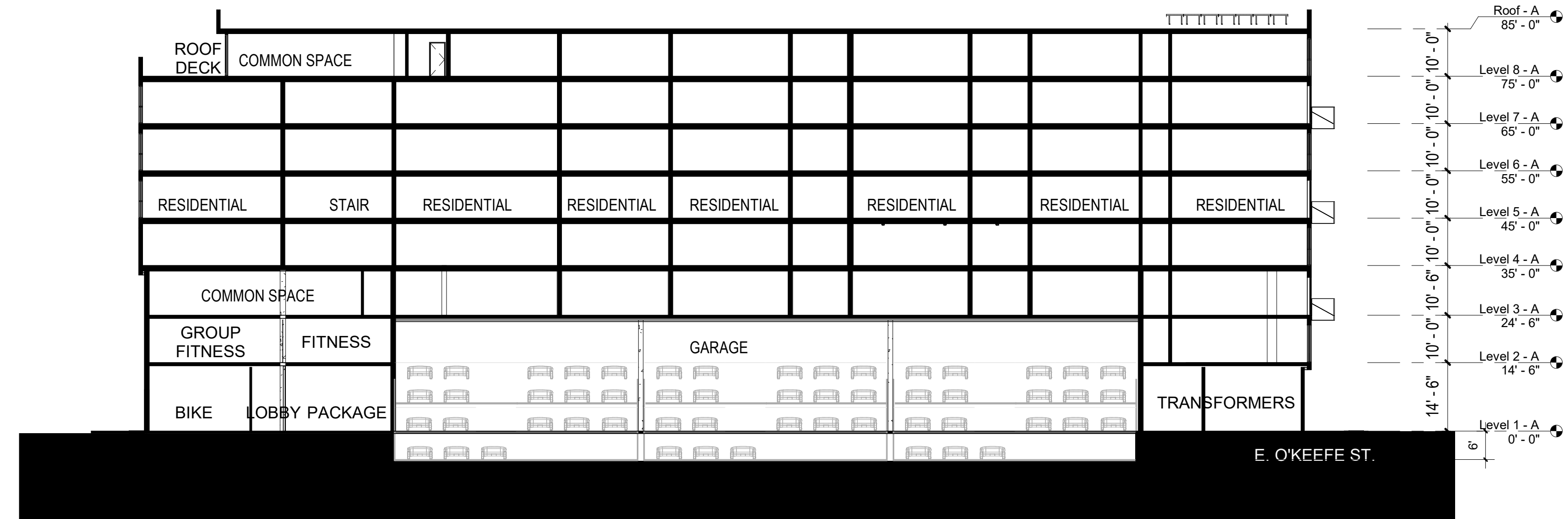
# Woodland Park Euclid Improvements



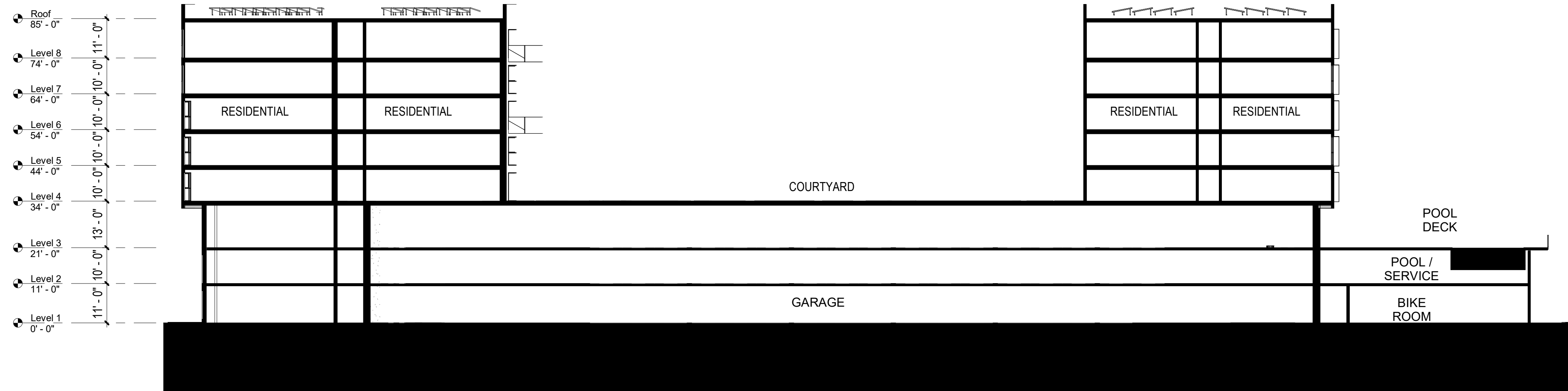
**David Baker Architects**  
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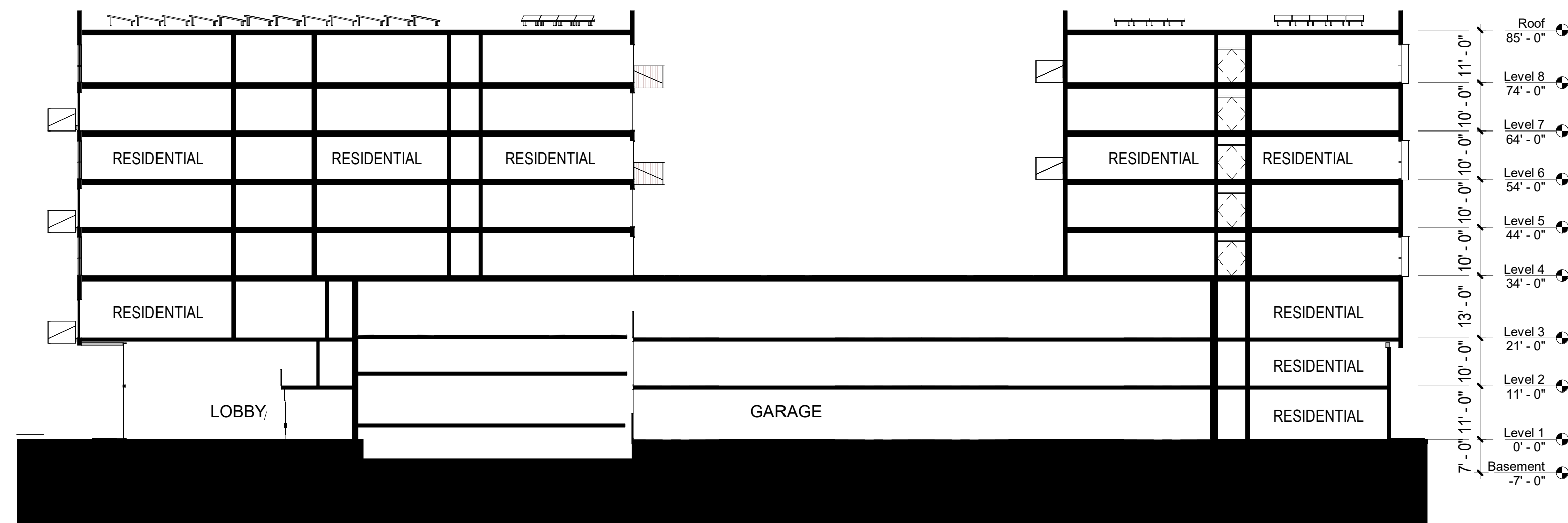
Key Plan  
1" = 160'-0"



3 Building Section - N/S West Building  
1" = 20'-0"



2 Building Section - N/S  
1" = 20'-0"



1 Building Section - E/W  
1" = 20'-0"

License Stamp

Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions	
Rev.	Date
1	Response to Comments 4/19/2024

Set Title  
**Design Update -  
April 2024**

Drawing Title  
**BUILDING  
SECTIONS**

Sheet No.  
**A-302**

Date: 04/18/2024  
Project No.: 21620



# Woodland Park Euclid Improvements



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**PREVIOUSLY  
SUBMITTED SHEET  
NO CHANGE**

License Stamp

Issuances

Description	Date
Entitlements Update	1/8/2024

Revisions

Rev.	Description	Date
------	-------------	------

Set Title

Entitlements -  
January 2024

Drawing Title

**EXTERIOR  
MATERIALS**

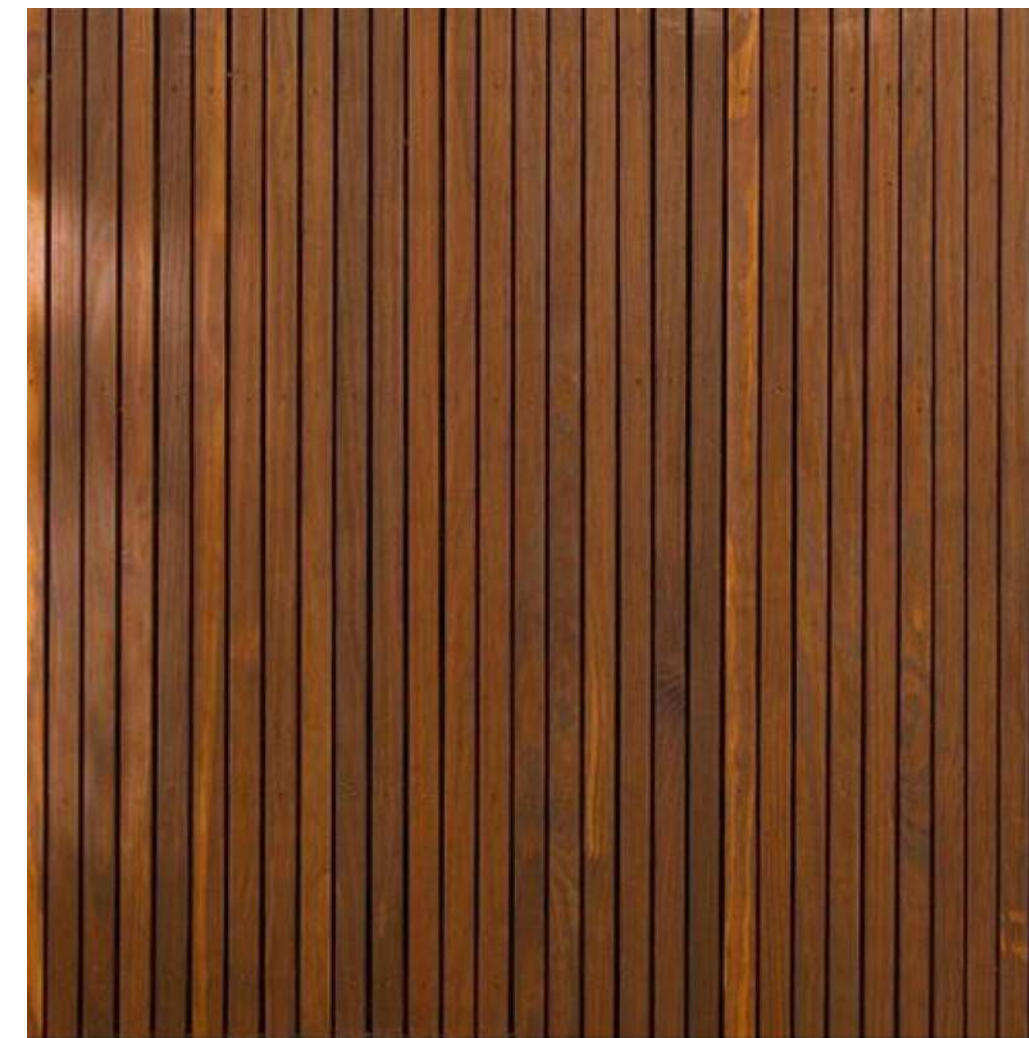
Sheet No.

**A303**

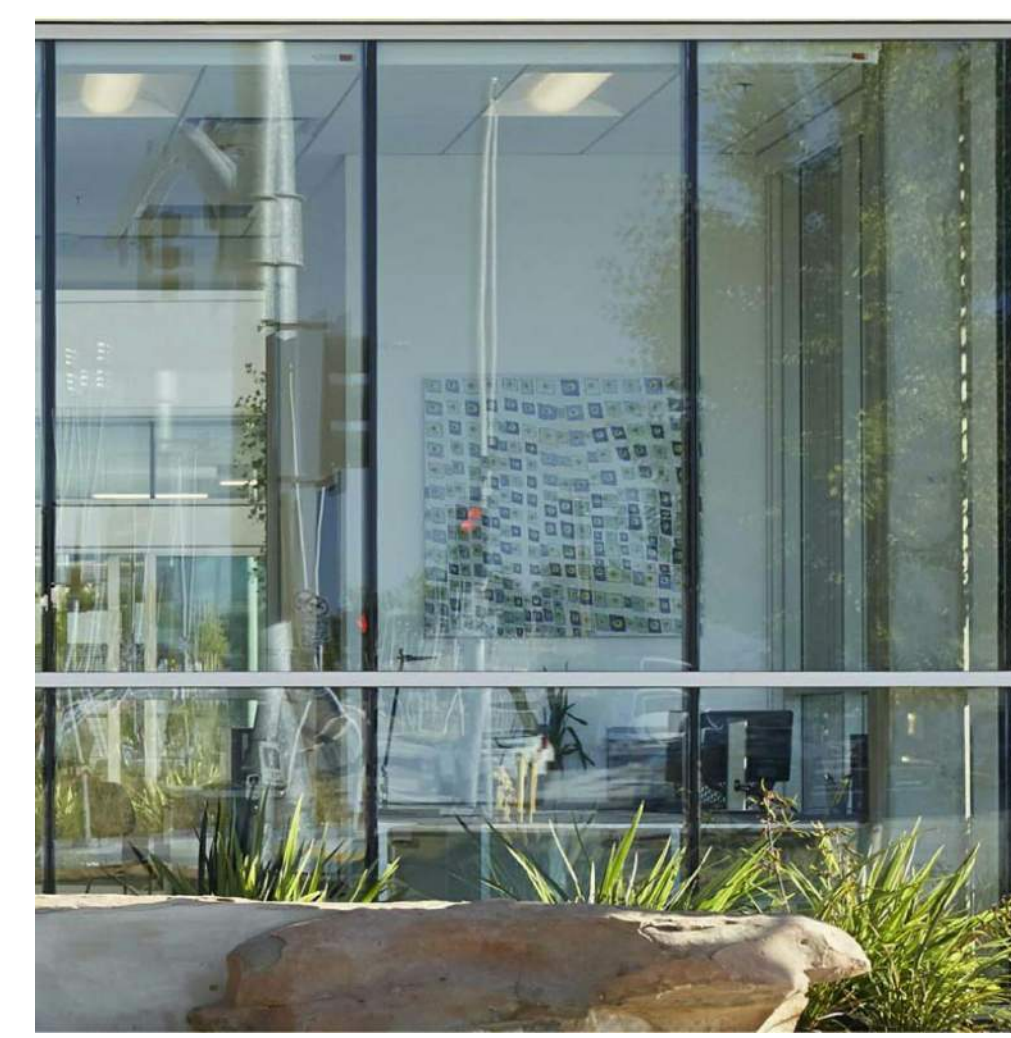
Date 12-08-2023  
Project No. 21620



1 - Textured Concrete with Vine Cover



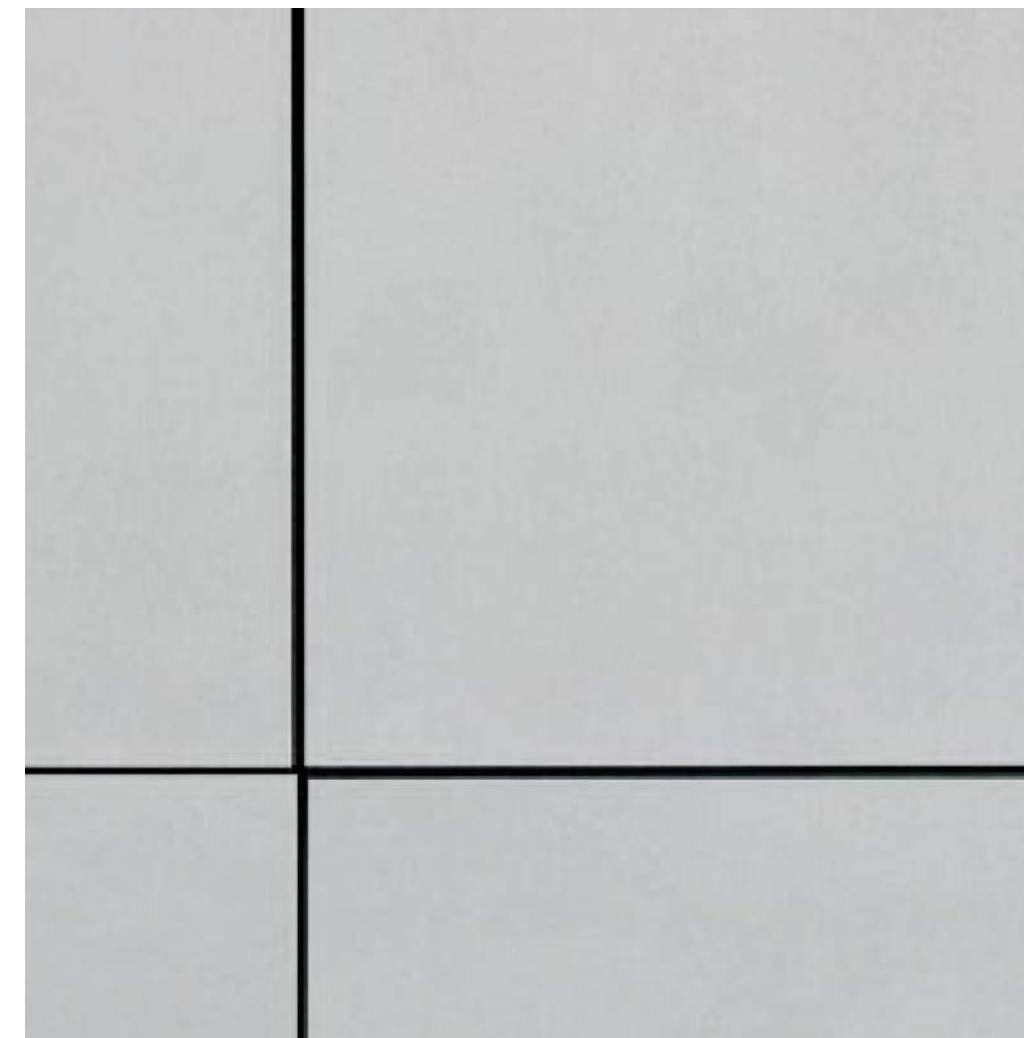
2 - Vertical Wood Siding



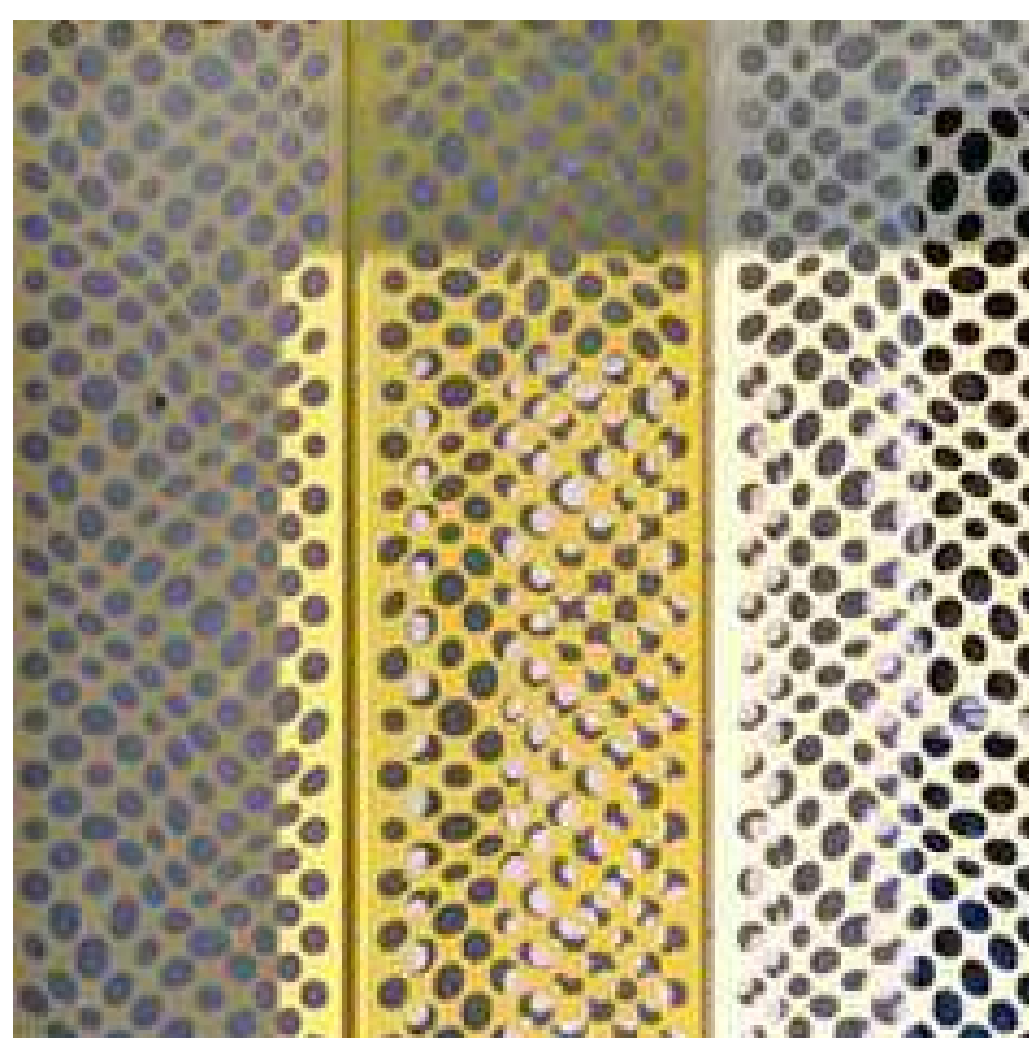
3 - Storefront System



4 - Cement Board (Dark)



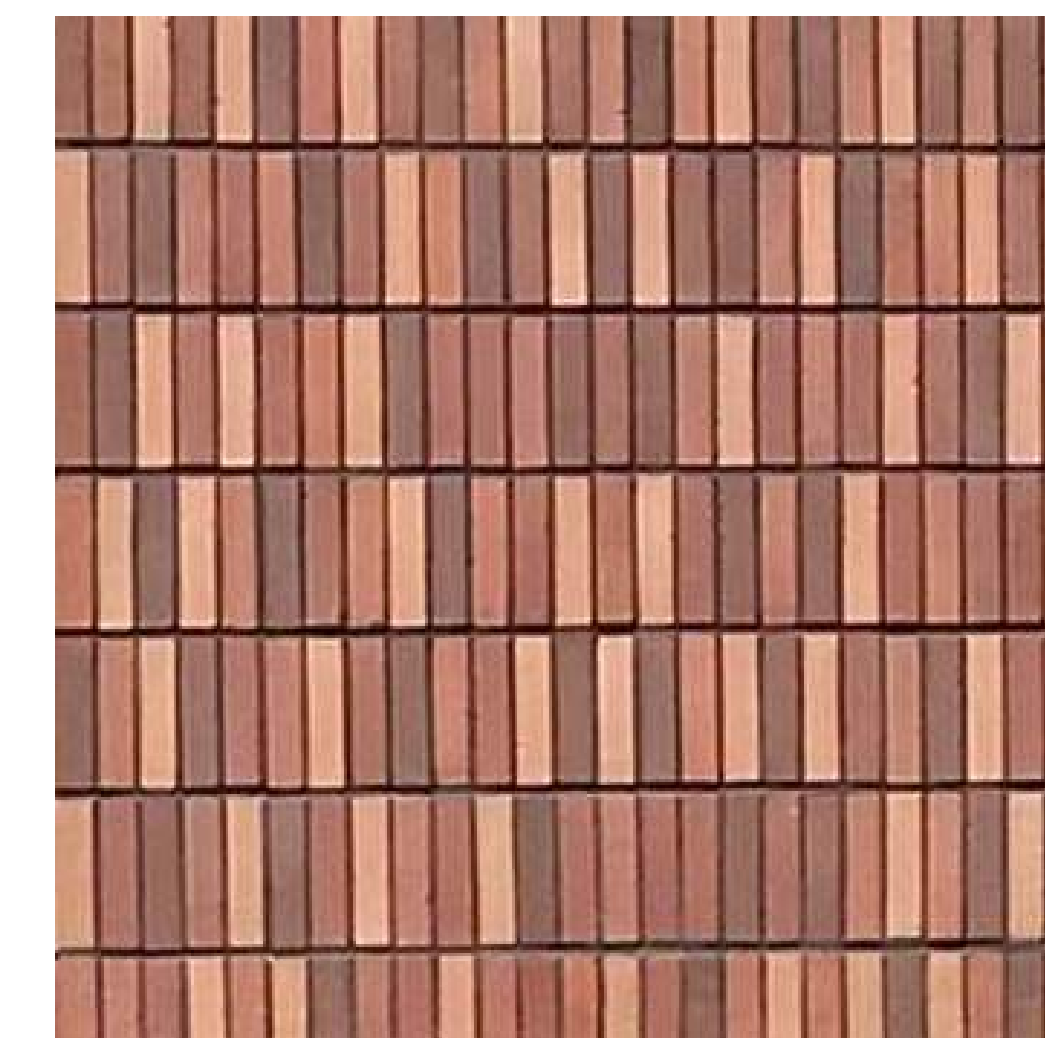
5 - Cement Board (Light)



6 - Perforated Metal Screen (Painted)



7 - GFRC



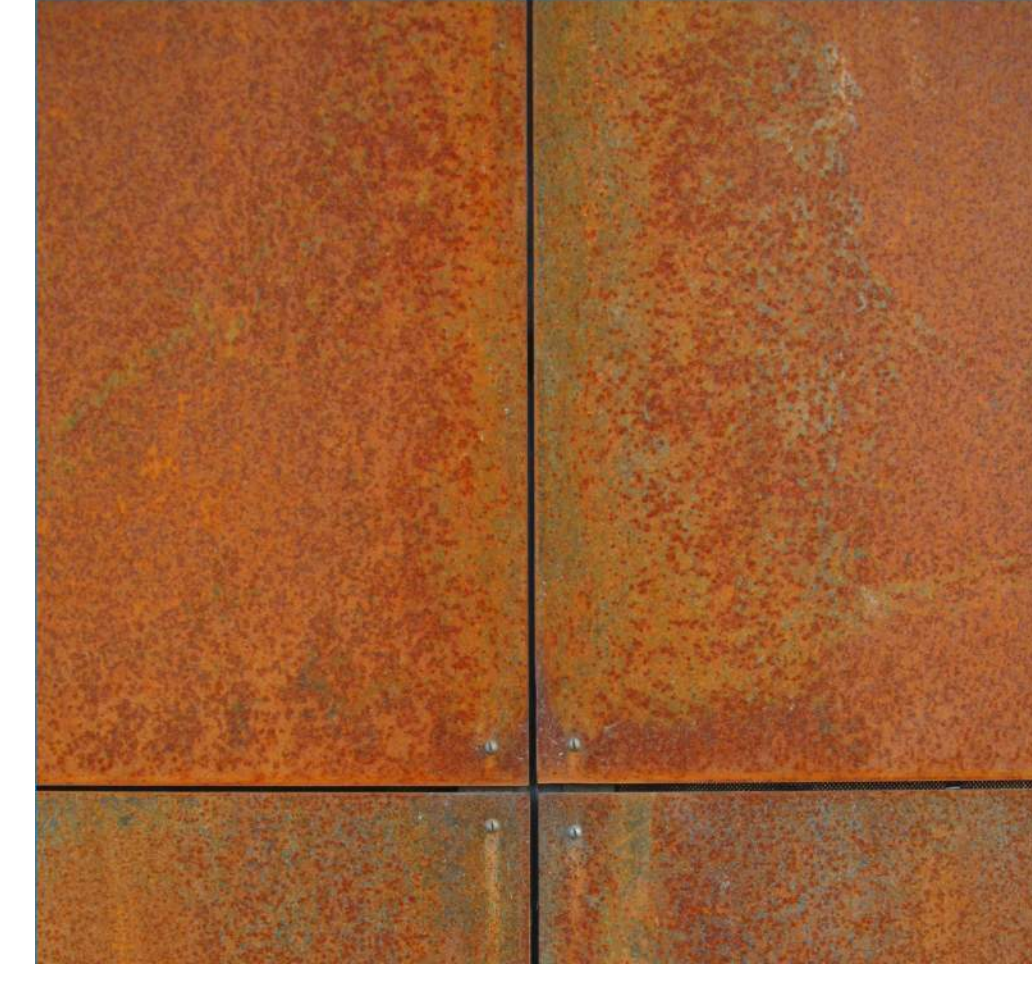
8 - Thin Brick



9 - Aluminum Windows



10 - Balconies with Perforated Metal Guardrails




11 - Corten Steel Panels




12 - Smooth Concrete

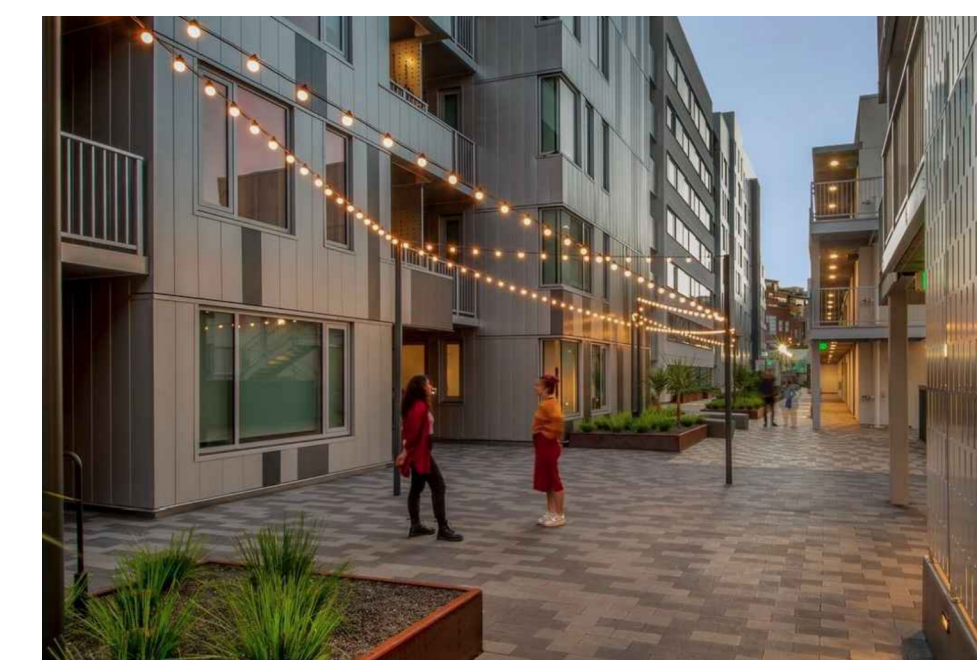





L1  
 DECORATIVE BOLLARD LIGHT



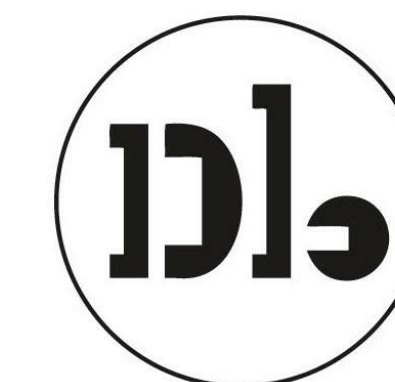
L2  
 WALL MOUNTED DOWN LIGHT



L3  
 HANGING STRING "FESTOON-STYLE" LIGHTS

- NOTES:**
1. OUTDOOR LIGHTING WILL COMPLY WITH EPAMC 18.22.050
  2. OUTDOOR LIGHTING LEVELS WILL COMPLY WITH EPAMC 18.22.050 (C)
  3. OUTDOOR LIGHTING WILL BE DESIGNED TO MINIMIZE ADVERSIVE IMPACTS ON ADJACENT PROPERTIES AND TO NOT PRODUCE GLARE ONTO ADJACENT PROPERTIES OR ROADWAYS.
  4. PARKING AREA LIGHT FIXTURES AND LIGHT FIXTURES ON STRUCTURES SHALL BE FULL CUT-OFF FIXTURES

# Woodland Park Euclid Improvements



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Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions	
Rev.	Description
1	Response to Comments

Set Title

**Design Update -  
April 2024**

Drawing Title

**CONCEPTUAL  
LIGHTING PLAN**

Sheet No.

**A-511**

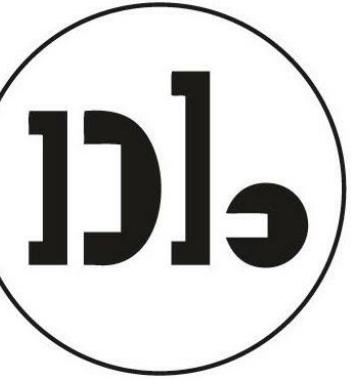
Date 04/18/2024  
 Project No. 21620







# Woodland Park Euclid Improvements

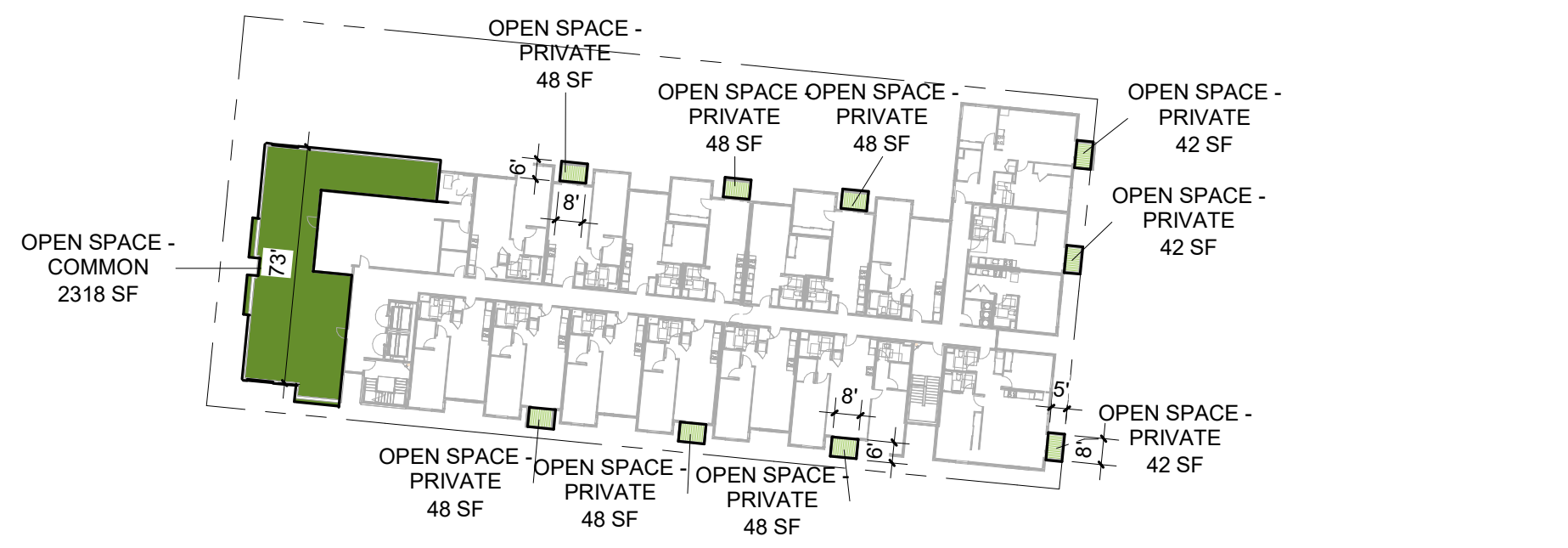


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① LEVEL 4 PLAN - OPEN SPACE DIAGRAM  
1" = 50'-0"



② LEVEL 8 PLAN - OPEN SPACE DIAGRAM  
1" = 50'-0"

Issuances	
Description	Date
Entitlements Update	2/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title  
**Design Update -  
April 2024**

Drawing Title  
**OPEN SPACE  
DIAGRAMS**

Sheet No.

**A-502**

Date 04/18/2024  
Project No. 21620



# Woodland Park Euclid Improvements



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**HOOD DESIGN STUDIO, Inc.**  
3001 FLORIST AVE  
SUITE 2  
OAKLAND, CA 94608  
510.486.0888  
www.hooddesignstudio.com

**LEGEND:**

PAVING		
KEY	SYMBOL	DESCRIPTION / LOCATION
P1		DECOMPOSED GRANITE
P2		GRAVEL
P3		CIP CONCRETE
P4		ASPHALT BLOCK PAVER
P5		CIP COLORED CONCRETE
P6		STONE PAVERS

FURNISHINGS		
KEY	SYMBOL	DESCRIPTION / LOCATION
F1		WOOD BENCH
F2		PICNIC TABLE
F3		BBQ GRILL
F4		CUSTOM PLAY AND SEATING STRUCTURE
F5		CURVED CONCRETE BENCH
F6		GARDEN BED
F7		BIKE RACK / BOLLARD

LIGHT FIXTURES		
KEY	SYMBOL	DESCRIPTION / LOCATION

PLANT LIST		
TREES		
KEY	SYMBOL	COMMON NAME
		PROTECTED TREE
FRAM		WHITE ASH
ARMA		MARINA STRAWBERRY TREE
QUDO		BLUE OAK
PIXR		RED PUSH PISTACHE
QUKI		KINDRED SPIRIT OAK
PAPE		IRONWOOD

PA PLANTING AREA



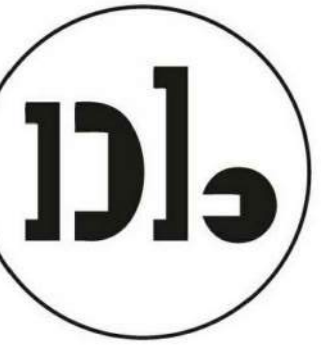
Issuances	
Description	Date

Revisions		
Rev.	Description	Date

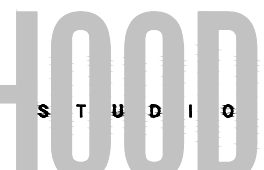
Set Title  
**Entitlements  
Application**  
Drawing Title  
**Landscape  
Site Plan**



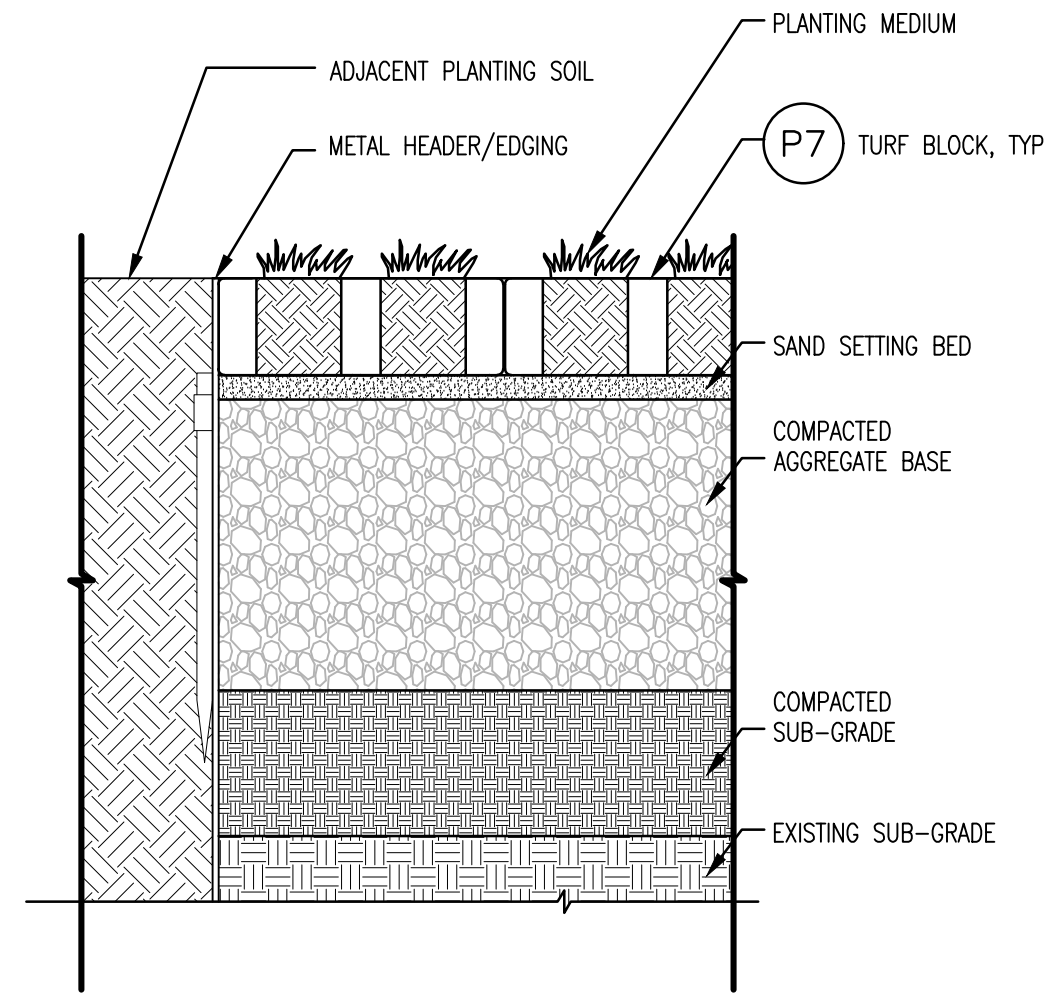
# Woodland Park Euclid Improvements



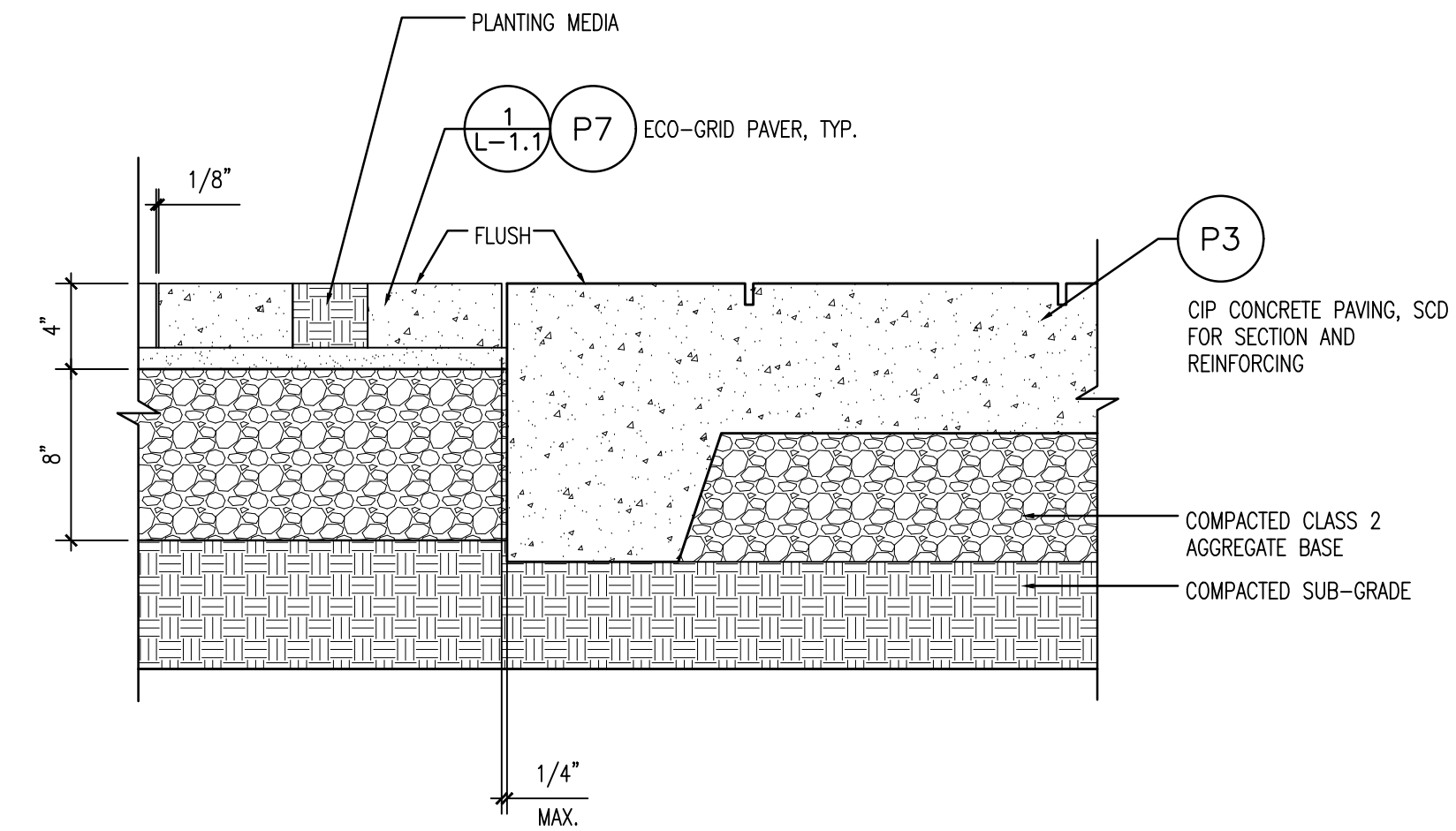
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dbarchitect.com  
461 Second St, Loft c127  
San Francisco, CA 94107  
415.896.6700



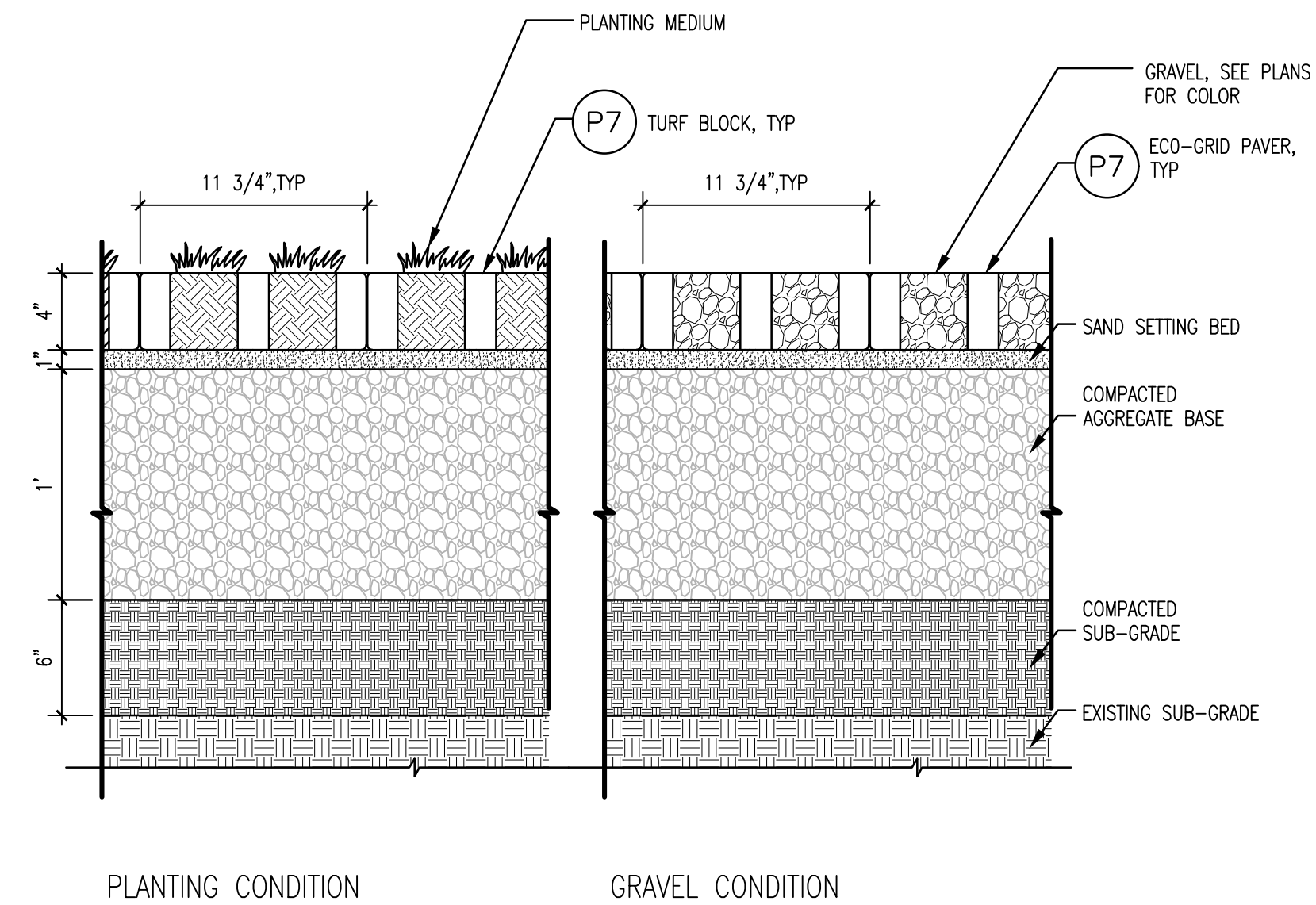
HOOD DESIGN STUDIO, Inc.  
3016 FLORISSANT AVE  
STUDIO 2  
OAKLAND, CA 94608  
415.763.9888  
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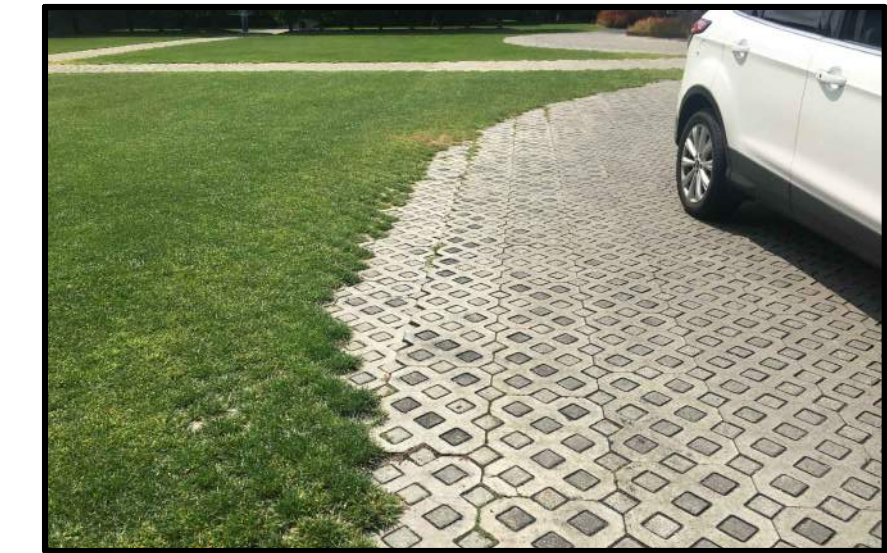
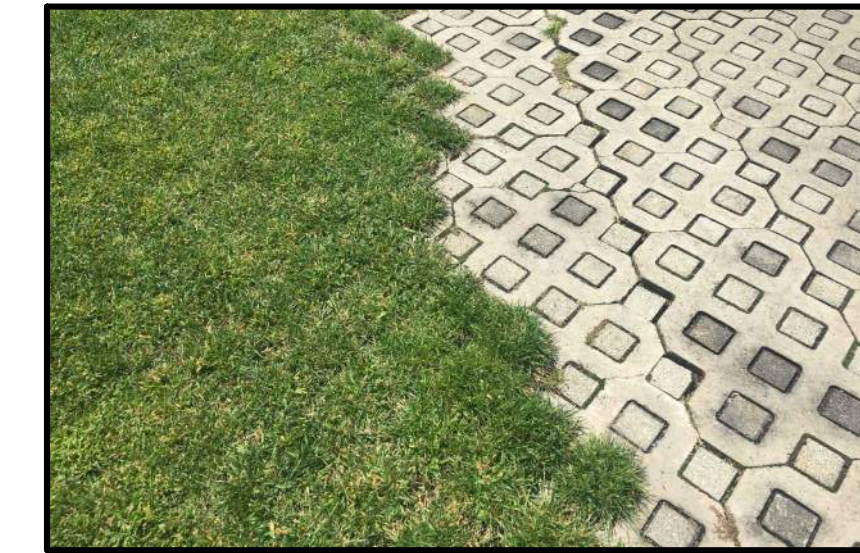
5 P7 - ECO-GRID PAVER AT PLANTING  
SCALE: 1-1/2" = 1' - 0"



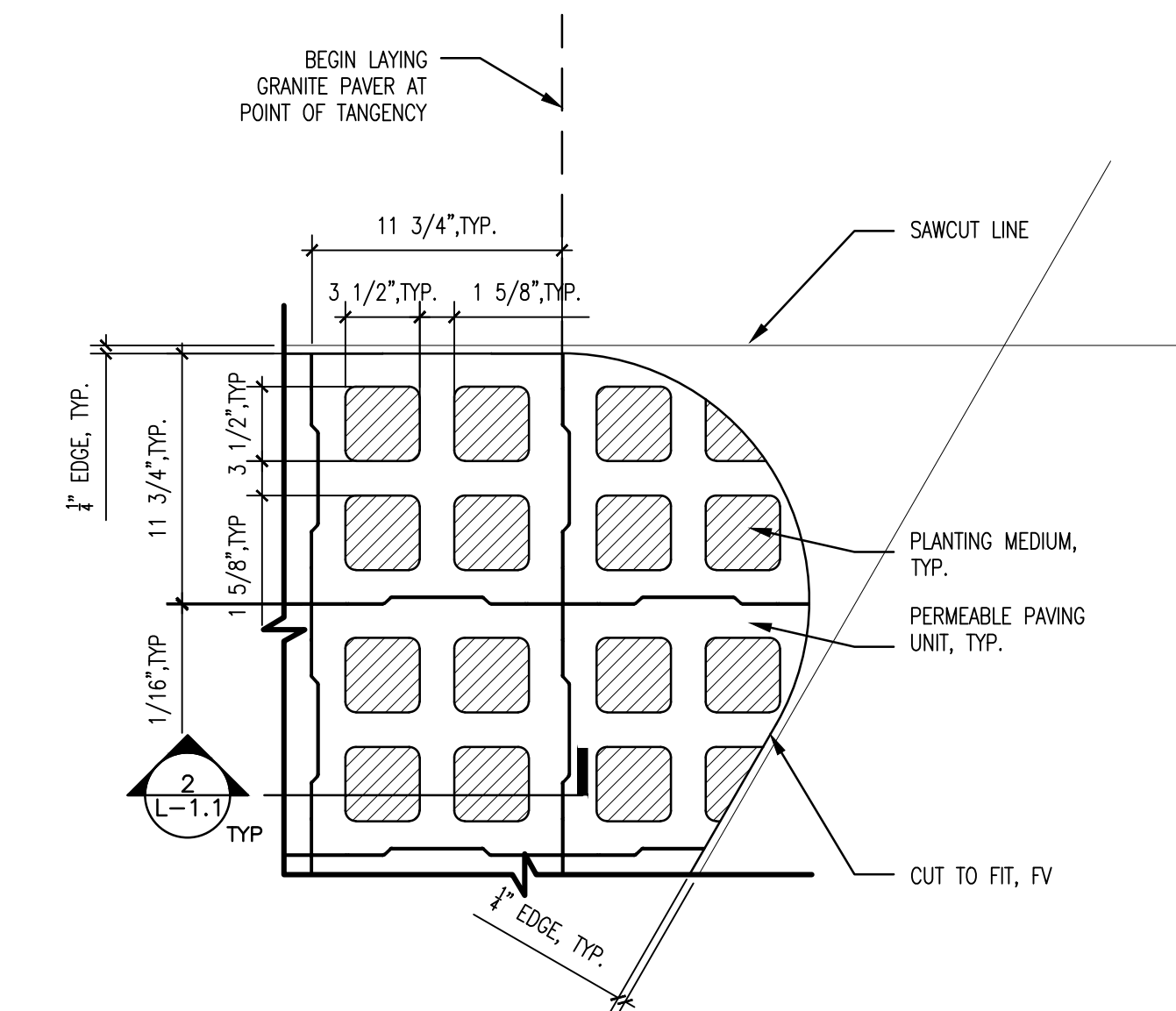
4 P7 - ECO-GRID PAVER AT CONCRETE PAVING  
SCALE: 1-1/2" = 1' - 0"



3 P7 - ECO-GRID PAVER, TYPICAL  
SCALE: 1-1/2" = 1' - 0"



2 P7 - ECO-GRID PAVER (REFERENCES)  
SCALE: N/A



1 P7 - ECO-GRID PAVERS FOR FLEX PARKING AREA  
SCALE: 1-1/2" = 1' - 0"

Issuances	
Description	Date

Revisions		
Rev.	Description	Date

Set Title  
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February 2024**  
Drawing Title  
**Landscape  
Details**

Sheet No.  
**L-1.1**  
Date 27 February, 2024  
Project No. 21620



GENERAL NOTES

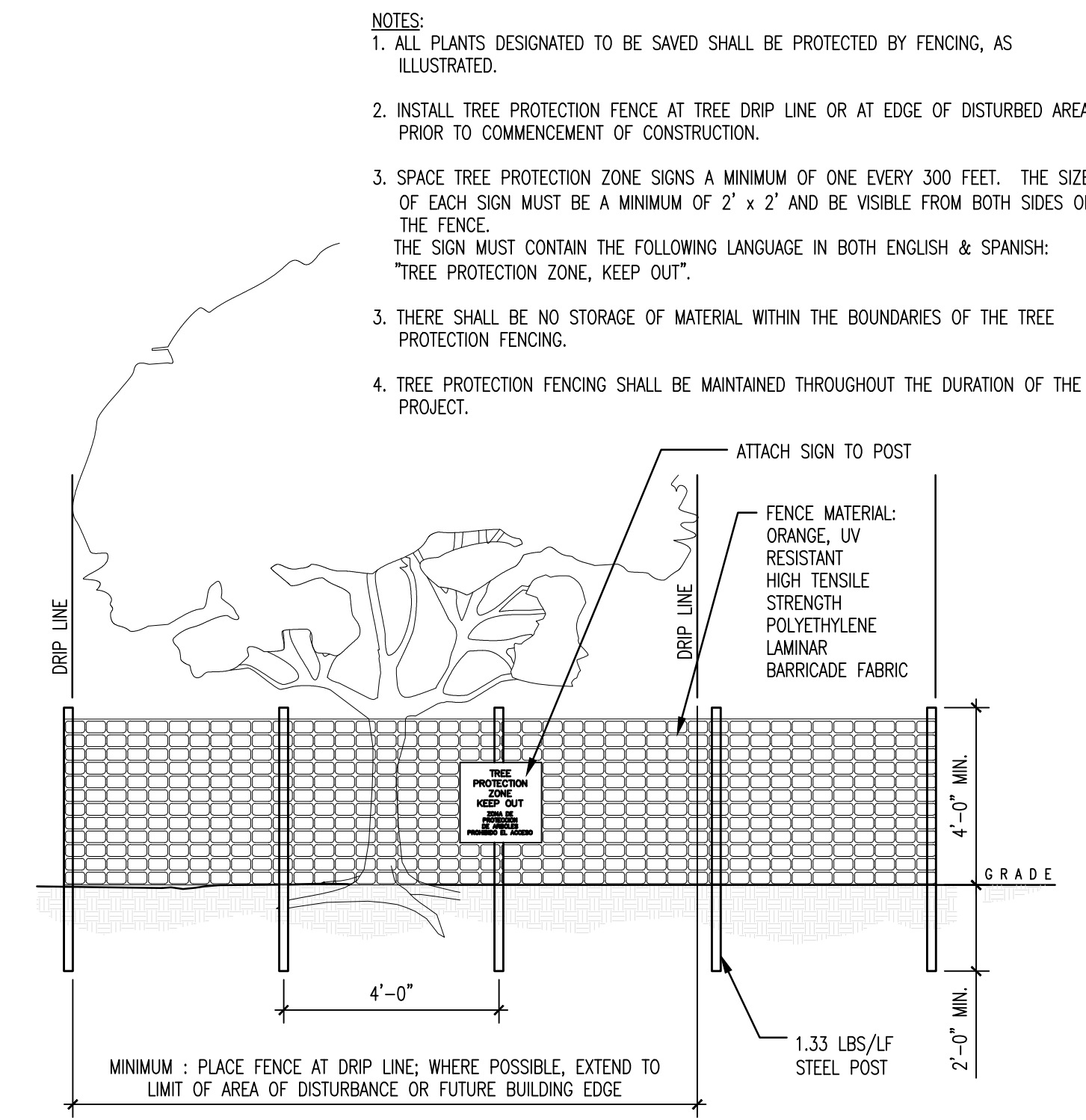
- ALL TREE REMOVAL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LOCAL CODES AND ORDINANCES.
- ALL ADDITIONAL REQUIREMENTS FOR TREE PROTECTION AND MITIGATION AS REQUIRED BY THE CITY ARBORIST AND THE PROJECT ARBORIST SHALL BE FOLLOWED. REFERENCE CITY OF SANTA CLARA ARBORIST NOTES AND PROJECT ARBORIST NOTES.
- CONTRACTOR SHALL VISIT THE SITE WITH OWNER'S REPRESENTATIVES PRIOR TO BEGINNING ANY WORK. VERIFY ALL TREES, SHRUBS & VEGETATION WITHIN THE LIMITS OF WORK TO BE REMOVED AND ALL TREES & PLANTS TO REMAIN AND TO BE PROTECTED.
- ALL TREES AND PLANTS DESIGNATED TO REMAIN SHALL BE PROTECTED FROM PHYSICAL DAMAGE AND MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT. THOSE TREES AND PLANTS INDICATED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING THE ROOTS, AND DISPOSED OF OFF-SITE. BACKFILL EXCAVATED AREAS TO RESTORE TO EXISTING GRADE.
- PROTECTIVE FENCING: TEMPORARY FENCES OR BARRICADES SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS OR AS DIRECTED IN THE FIELD BY THE PROJECT ARBORIST OR THE OWNER'S REPRESENTATIVE. FENCING SHALL BE A MINIMUM OF SIX (6) FOOT HEIGHT, CHAIN LINK, MAINTAIN FENCING IN CONTINUOUS, STABLE AND UPRIGHT CONDITION AT ALL TIMES.
- CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED FROM CONSTRUCTION AND DISPOSE OF IN A LAWFUL MANNER.

PROJECT ARBORIST NOTES

- THE TREE PRESERVATION GUIDELINES ARE SUPERSEDED BY THE CITY OF SANTA CLARA ARBORIST NOTES INCLUDED IN THE DOCUMENTS PROVIDED. THIS INCLUDES CITY TREE DAMAGE PENALTIES IN THE CASE THAT TREES DIE OR ARE DAMAGED DUE TO FAILURE TO PROVIDE ADEQUATE PROTECTIONS. CITY REQUIRES THAT ARBORIST SUPERVISION OF PROJECT TREE PROTECTION BE CONDUCTED BY CITY ARBORIST OR ARBORIST EMPLOYED BY CITY.
- THESE GUIDELINES PROVIDE FOR THE CARE AND MAINTENANCE OF THE TREE(S) BEFORE, DURING AND AFTER CONSTRUCTION ACTIVITIES. THE GOAL OF TREE PROTECTION AND PRESERVATION IS TO PROVIDE FOR A SUCCESSFUL TRANSITION TO A MODIFIED SITE.
- TO BE MOST EFFECTIVE, TREE PRESERVATION AND HEALTH MITIGATION MEASURES MUST COMMENCE WELL BEFORE THE TIME OF DISTURBANCE AS HEALTHY TREES ARE MORE LIKELY TO SURVIVE ADVERSE IMPACTS.
- TO BE EFFECTIVE, PROJECT ARBORIST MUST HAVE THE ABILITY TO ASSURE THE GUIDELINES ARE OBSERVED AND HAVE THE ABILITY TO HALT ALL CONSTRUCTION ACTIVITIES IF TRANSGRESSIONS OCCUR.
- PROJECT CONSTRUCTION DOCUMENTS MUST ACCURATELY SHOW TREE PROTECTION AREAS AND SPECIFY PROTOCOL AND PROCEDURES TO BE USED FOR ALL ACTIVITIES WITHIN THE DESIGNATED TREE PROTECTION AREA.
- THE INFORMATION GAINED FROM SITE ANALYSIS IS UTILIZED FOR ROOT AND SOIL PROTECTION AND TO ASSURE THAT ADEQUATE MITIGATION TREATMENTS ARE PROVIDED.
- SOIL PROFILE EXAMINATION – THE SOIL PROFILE EXAMINATION DETERMINES SOIL TEXTURE AND MOISTURE LEVELS. SOIL COMPACTION IS ALSO ASSESSED. THIS INFORMATION IS VITAL TO THE UNDERSTANDING OF THE LEVEL OF SOIL PROTECTION AND MITIGATION THAT WILL BE NECESSARY.
- LABORATORY ANALYSIS – ANALYSIS OF SOIL AND PLANT TISSUE SAMPLES CAN HELP GUIDE THE USE OF SOIL AMENDMENTS AND FERTILIZATION.
- ROOT INVESTIGATION – UNDERSTANDING THE DEPTH, SIZE AND AMOUNT OF ROOTS PRESENT IS REQUIRED TO HELP GUIDE PROJECT DESIGN AND ANTICIPATE WHEN A TREE IS UNLIKELY TO SURVIVE.
- MITIGATION OF LIMITATIONS IDENTIFIED – LIMITATIONS IDENTIFIED DURING SITE ANALYSIS ACTIVITIES ARE BEST MITIGATED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES. POSSIBLE LIMITATIONS TO BE MITIGATED INCLUDE SOIL COMPACTION, NUTRITIONAL DEFICIENCIES AND INSUFFICIENT OR EXCESS SOIL MOISTURE. MOST BASIC MITIGATION ENTAILS: IRRIGATION, MULCHING, WATER JET AND AIR SPADE PROCEDURES. SOIL AMENDMENTS OTHER THAN GOOD QUALITY MULCH MUST BE BASED UPON LABORATORY SOIL AND/OR TISSUE ANALYSIS.

PRE-CONSTRUCTION ACTIVITIES

- THESE ACTIVITIES SHOULD BE UNDERTAKEN PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY.
- MULCHING – USE OF GOOD QUALITY ORGANIC MULCH (WOOD CHIPS ARE BEST) ON SOIL SURFACE HELPS TO REDUCE SOIL COMPACTION AND RETAIN SOIL MOISTURE. RECOMMENDED MATERIAL IS WOOD CHIPS GENERATED FROM TREE TRIMMING. FRESH REDWOOD, INCENSE CEDAR AND WALNUT CHIPS ARE NOT ACCEPTABLE. NOR IS PALM GENERATED MULCH.
- CROWN PRUNING – PRUNING MUST COMPLY WITH ANSI A300 PRUNING STANDARDS. PRUNING PRIOR TO CONSTRUCTION SHOULD INCLUDE: NECESSARY CLEARANCE PRUNING, DEADWOOD REMOVAL AND SAFETY PRUNING.
- CONSTRUCTION DOCUMENTS TO SHOW PROTECTED TREES AND TREE PROTECTION REQUIREMENTS – PROJECT PLANS TO SHOW ALL TREE PROTECTION FENCING LAYOUT, AREAS OF ENCROACHMENT AND LIST PROCEDURES FOR WORKING AROUND PROTECTED TREES.
- DESIGNATION OF TREE ROOT PROTECTION ZONE (RPZ) – CITY OF SANTA ROSA ARBORIST NOTES DESIGNATES THE "TREE PROTECTION ZONE AS 1.5 TIMES THE RADIUS OF THE DRIP LINE". THE TREE ROOT PROTECTION ZONE DESIGNATES AN AREA SURROUNDING A TREE OR GROUPING OF TREES THAT IS TO BE FENCED OFF FROM ALL ACCESS. NO MATTER THE RADIUS OF THE DRIP ZONE, THE RPZ IS NOT TO BE LESS THAN ONE (1) FOOT RADIAL DISTANCE FROM THE BASE OF THE TREE FOR EVERY ONE (1) INCH IN TREE DIAMETER. A TREE WITH A 10 INCH DIAMETER WOULD HAVE A MINIMUM RPZ EQUAL TO 10 FEET OUT FROM THE TREE. PROJECT ARBORIST CAN MODIFY THE RPZ DISTANCE BASED UPON PHYSICAL EVIDENCE OF ROOT PRESENCE OR ABSENCE.
- TREE ROOT PROTECTION ZONE FENCING – FENCING IS TO BE CHAIN-LINK TYPE METAL FENCING WITH METAL POSTS DRIVEN TWO-FEET INTO THE SOIL. SIGNS SHALL BE ATTACHED TO TREE PROTECTION FENCING EVERY 20' WHICH READ "TREE PROTECTION ZONE DO NOT ENTER".
- PROCEDURES AND TREATMENTS FOR WORK ACTIVITIES THAT MUST OCCUR INSIDE OF THE RPZ – ALL SUCH ACTIVITIES AND RELOCATION OF FENCING MUST BE OVERSEEN BY PROJECT ARBORIST. SPECIAL TRUNK, SCAFFOLD AND SOIL PROTECTION MEASURES ARE REQUIRED. WHEN ENCROACHMENT IS ANTICIPATED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES, THE PROTECTIONS MUST BE IN PLACE PRIOR TO BEGINNING WORK ACTIVITIES.
- ARBORIST REVIEW AND APPROVAL OF TREE PROTECTION MEASURES – PROJECT ARBORIST EMPLOYED BY THE CITY OF SANTA CLARA TO REVIEW TREE PROTECTION GUIDELINES AND MODIFY AS DEEMED NECESSARY.
- TREE PROTECTIONS INSTALLATION AND INSPECTED – PROJECT ARBORIST MUST CERTIFY THAT ALL TREE PROTECTION MEASURES HAVE BEEN PROPERLY INSTALLED.
- PRE-CONSTRUCTION MEETING – CITY EMPLOYED PROJECT ARBORIST TO MEET WITH CONSTRUCTION SUPERVISOR AND WORK CREW TO REVIEW REQUIREMENTS OF THE TREE PROTECTION. ALL PERSONNEL WORKING ON SITE MUST BE PROVIDED AN ORIENTATION TO THE TREE PRESERVATION REQUIREMENTS. NO CONSTRUCTION ACTIVITIES MAY BEGIN UNTIL THIS MEETING HAS BEEN CONDUCTED.
- PROJECT ARBORIST CAN DIRECT THAT ALL WORK ACTIVITIES STOP IF TREE PROTECTION GUIDELINES ARE NOT BEING FOLLOWED. ALL WORK ACTIVITIES CEASE UNTIL SUCH TIME AS THE PROBLEM HAS BEEN CORRECTED.
- WORK ACTIVITIES THAT ENCR OACH INTO THE DESIGNATED RPZ ARBORIST SUPERVISION – ALL ACTIVITIES OCCURRING WITHIN THE DESIGNATED RPZ MUST BE UNDER DIRECT SUPERVISION OF PROJECT ARBORIST. ENCROACHMENT IS NOT PERMITTED UNTIL ALL ADDITIONAL PROTECTIONS ARE IN PLACE AND HAVE BEEN APPROVED.
- SOIL AND ROOT PROTECTION – THE EFFECTS OF FOOT TRAFFIC CAN BE MITIGATED THROUGH THE USE OF SIX (6) INCHES OF WOOD CHIP MULCH AND ¼ INCH PLYWOOD PLACED ON TOP. PROTECTIONS FOR EQUIPMENT OPERATING WITHIN THE DESIGNATED RPZ REQUIRES 12 INCHES OF MULCH WITH EITHER METAL TRENCHING PLATES OR 1 1/8 INCH PLYWOOD PLACED ON TOP.
- TRUNK AND SCAFFOLD PROTECTION – WHENEVER CONSTRUCTION ACTIVITY MUST OCCUR INSIDE THE TREE PROTECTION ZONE, THE BASE OF THE TREE AND THE FIRST EIGHT FEET AND EXPOSED SCAFFOLD LIMBS MUST BE ARMORED. PROTECTION IS GENERALLY PROVIDED BY WRAPPING THE TRUNK WITH STRAW WADDLES COVERED WITH ORANGE PLASTIC CONSTRUCTION FENCING. EXPOSED SCAFFOLD LIMBS ARE BEST PROTECTED BY STRAPPING 2X4 BOARDS TO THE PART EXPOSED TO POTENTIAL INJURY AND WRAPPING WITH ORANGE PLASTIC FENCING MATERIAL.
- REQUIRED METHOD OF EXCAVATION WITHIN CRITICAL ROOT ZONE – WHEREVER POSSIBLE, ROUTE UTILITIES OUTSIDE OF THE DESIGNATED RPZ. TUNNELING IS THE PREFERRED METHOD FOR UTILITIES PASSING THROUGH THE RPZ. WHEN TRENCHING IS REQUIRED, CAREFULLY HAND EXCAVATION OR THE USE OF THE AIR SPADE OR DITCH WITCH IS REQUIRED. PROJECT ARBORIST MUST APPROVE AND SUPERVISE ALL SUCH ACTIVITY.
- NECESSARY ROOT PRUNING – LATE FALL SEASON IS THE BEST TIME FOR ROOT PRUNING. SPRING CAN BE THE MOST HARMFUL AT THIS IS THE TIME OF GREATEST MOISTURE NEEDS. ALL NECESSARY ROOT PRUNING IS CONDUCTED BY PROJECT ARBORIST AFTER THE ROOTS HAVE BEEN EXPOSED WITHOUT DAMAGE.
- POST CONSTRUCTION MITIGATION ARBORIST DESIGNATION OF HEALTH MITIGATION ACTIVITIES – PROJECT ARBORIST WILL DESIGNATE TREE HEALTH MITIGATION ACTIVITIES BASED UPON THE LEVEL OF ROOT LOSS AND ADVERSE IMPACTS THAT HAVE OCCURRED.
- MONITORING TREE HEALTH – TREES THAT HAVE BEEN ADVERSELY IMPACTED BY CONSTRUCTION ACTIVITIES ARE NOTED FOR REGULAR VISUAL INSPECTION. PROJECT ARBORIST WILL DIRECT FURTHER MITIGATION. INSECTS AND FUNGAL PATHOGENS ARE A SIGN OF POOR TREE HEALTH (LOW ENERGY RESERVES) AND INDICATE THE NEED FOR HEALTH MITIGATION.
- MONITORING OF SOIL MOISTURE – MOISTURE SHOULD BE MONITORED BY VISUAL INSPECTION USING A SOIL PROBE OR THROUGH THE USE OF TENSIOMETERS PLACED AT KEY LOCATIONS AND DEPTHS. SUPPLEMENTAL IRRIGATION IS MOST NEEDED DURING SPRING. IN CASES WHERE TREES HAVE SUFFERED ROOT LOSS, SUPPLEMENTAL IRRIGATION MAY BE REQUIRED FOR A NUMBER OF YEARS.
- MITIGATION OF SOIL COMPACTION – THE LEVEL AND DEPTH OF SOIL COMPACTION MUST BE ASSESSED AND MITIGATED AS NECESSARY. TOOLS THAT ARE MOST SUITABLE FOR MITIGATION OF COMPACTED SOIL ARE THE WATER JET OR AIR SPADE.
- LANDSCAPING – ALL LANDSCAPING PLANNING MUST TAKE PRECAUTIONS WHEN PLANTING WITHIN THE DESIGNATED RPZ. ALL PLANT MATERIALS SHOULD BE SELECTED FOR COMPATIBILITY WITH THE FAVORED MOISTURE REGIME (HYDROZONE) OF THE TREE SPECIES AND SOIL TEXTURE.
- CONTINUED MULCHING – MULCH IS EXTREMELY BENEFICIAL IN CREATING A HEALTHY ROOT ENVIRONMENT. A REGULAR PROGRAM OF MULCH APPLICATION IS RECOMMENDED TO HELP RETAIN SOIL MOISTURE, PROVIDE A SOURCE OF NUTRIENTS, AND HELP CONTROL WEEDS.
- FERTILIZATION – TREES SHOULD BE FERTILIZED ONLY WHEN THE NUTRITIONAL LIMITATIONS HAVE BEEN IDENTIFIED THROUGH LABORATORY ANALYSIS OF SOIL OR PLANT TISSUE. EXCESSIVE NITROGEN FERTILIZATION IS KNOWN TO DRAW SUCKING INSECTS (APHID, SCALE, ETC.) TO THE PLANTS AND PROVIDE NUTRITION TO FUNGAL PATHOGENS IN THE SOIL. PEST MANAGEMENT PROGRAM – HEALTHY TREES DO NOT GENERALLY HAVE SERIOUS PEST PROBLEMS. STRESSED TREES BECOME ATTRACTIVE HOSTS TO PATHOGENS WHICH CAN CONTRIBUTE TO FURTHER DECLINE. PEST MANAGEMENT IS PRESCRIBED WHEN MONITORING INDICATES A NEED.
- ENFORCEMENT OF TREE PROTECTION – CITY OF SANTA CLARA ARBORIST NOTES LIST PENALTIES FOR FAILURE TO COMPLY WITH PROTECTION AND MAINTENANCE OF TREES DESIGNATED TO BE RETAINED.



- NOTES:
- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
  - INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
  - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
  - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

2 TREE PROTECTION FENCE  
SCALE: 3/4"=1'-0"

PROTECTED TREES				REPLACEMENT TREES				
NAME	SPECIES	TRUNK DIAMETER (IN)	PRESERVED (Y/N)	PROTECTED TREE TO BE REMOVED	NEW SPECIES	SIZE	QTY	
860	OLEANDER	9	N	860	KINDRED SPIRIT OAK	24" BOX	2	
861	OLEANDER	8	N	861	KINDRED SPIRIT OAK	24" BOX	2	
863	OLEANDER	7	N	863	BLUE OAK	24" BOX	2	
870	CALIFORNIA BLACK WALNUT	14	N	870	KINDRED SPIRIT OAK	24" BOX	2	
871	DECODAR CEDAR	36	Y					
872	ENGLISH WALNUT	8	Y					
873	BOXELDER	8	Y					
874	DECODAR CEDAR	40	Y					
875	AVOCADO	14	Y					
876	JAPANESE MAPLE	9, 6, 5	Y					
877	JAPANESE MAPLE	7, 4, 4, 4, 4, 4	Y					
878	COAST REDWOOD	35	Y					
879	SAUCER MAGNOLIA	15, 10	Y					
880	ORANGE	14	N	880	KINDRED SPIRIT OAK	24" BOX	2	
881	AVOCADO	26	N	881	BLUE OAK	24" BOX	2	
882	BLACKWOOD ACACIA	21	N	882	BLUE OAK	24" BOX	2	
883	BLACKWOOD ACACIA	16	N	883	BLUE OAK	24" BOX	2	
885	GLOSSY PRIVET	15	N	885	BLUE OAK	24" BOX	2	
886	AUSTRALIAN BUSH CHERRY	7, 6, 5, 5	N	886	BLUE OAK	24" BOX	2	
887	AUSTRALIAN BUSH CHERRY	14	N	887	BLUE OAK	24" BOX	2	
888	AUSTRALIAN BUSH CHERRY	14	N	888	BLUE OAK	24" BOX	2	
890	AUSTRALIAN BUSH CHERRY	7	N	890	BLUE OAK	24" BOX	2	
891	WEeping BOTTLE BRUSH	14, 6	N	891	BLUE OAK	24" BOX	2	
896	ENGLISH WALNUT	17	N	896	BLUE OAK	24" BOX	2	
897	ORANGE	7	Y					
899	CHERRY	13	N	899	KINDRED SPIRIT OAK	24" BOX	2	
900	ENGLISH WALNUT	17	N	900	KINDRED SPIRIT OAK	24" BOX	2	
901	ORANGE	7	N	901	KINDRED SPIRIT OAK	24" BOX	2	
902	CHINESE ELM	24	Y					
903	CHINESE ELM	26	Y					
904	MONTERREY PINE	34	N	904	BLUE OAK	24" BOX	2	
905	RAYWOOD ASH	7	N	905	BLUE OAK	24" BOX	2	
907	RAYWOOD ASH	10, 12	N	907	BLUE OAK	24" BOX	2	
908	RAYWOOD ASH	11	N	908	BLUE OAK	24" BOX	2	
910	RAYWOOD ASH	9	N	910	BLUE OAK	24" BOX	2	
911	RAYWOOD ASH	10	Y					
912	PLUM	30	Y					
913	BOXELDER	20	Y					
914	BOXELDER	20	Y					
915	BOXELDER	31	Y					
916	TULIP TREE	24	Y					
917	COAST LIVE OAK	17	N	917	BLUE OAK	24" BOX	2	
920	ITALIAN CYPRESS	14	Y					
921	ITALIAN CYPRESS	11	Y					
922	ITALIAN CYPRESS	12	Y					
923	PLUM	12, 8	Y					
924	APPLE	15	N	924	KINDRED SPIRIT OAK	24" BOX	2	
926	PLUM	13	N	926	KINDRED SPIRIT OAK	24" BOX	2	
928	CABBAGE PALM	11, 9	N	928	BLUE OAK	24" BOX	2	
929	RIVER RED GUM	32	N	929	BLUE OAK	24" BOX	2	
931	SILVER DOLLAR GUM	21	N	931	BLUE OAK	24" BOX	2	
932	RIVER RED GUM	36	N	932	BLUE OAK	24" BOX	2	
937	RIVER RED GUM	24	N	937	BLUE OAK	24" BOX	2	
938	CABBAGE PALM	50	N	938	BLUE OAK	24" BOX	2	
939	SOUTHERN MAGNOLIA	30	N	939	BLUE OAK	24" BOX	2	
940	COAST LIVE OAK	27	N	940	BLUE OAK	24" BOX	2	
941	COAST LIVE OAK	26	Y					
942	SOUTHERN MAGNOLIA	26	Y					
943	SOUTHERN MAGNOLIA	23	Y					
944	COAST REDWOOD	30	Y					
947	VICTORIAN BOX	17, 15	N	947	KINDRED SPIRIT OAK	24" BOX	2	
948	PLUM	15	N	948	KINDRED SPIRIT OAK	24" BOX	2	
TOTAL PROTECTED TREES REMOVED				36	TOTAL TREES REQUIRED REPLACED (RATIO 1:2)			72
					TOTAL TREES PLANTED FOR REPLACEMENT			72

1 PROTECTED TREE AND REPLACEMENT TREE LISTS

3 TREE PROTECTION AND REMOVALS NOTES

Woodland Park Euclid Improvements



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Issuances

Description	Date
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Revisions

Rev.	Description	Date
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Set Title  
Design Update - February 2024

Drawing Title  
Tree Protection and Removals List and Notes

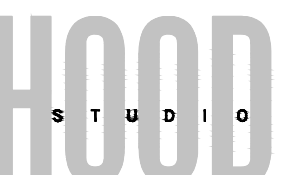
Sheet No.  
T-0.1  
Date 27 February, 2024  
Project No. 21620



# Woodland Park Euclid Improvements



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## LEGEND:

- #000 PROTECTED TREE TO BE PRESERVED
- #000 PROTECTED TREE TO BE REMOVED
- #000 ADDITIONAL PROTECTED TREE TO BE REMOVED
- NEW REPLACEMENT TREE
- TREE QUANTITY IN AREA
- TREE SPECIES KEY, REFER TO PLANT LIST FOR TREE SPECIES

## NOTES:

1. FOR LANDSCAPE MATERIALS, REFER TO SITE PLAN.
2. FOR FULL PLANT LIST, REFER TO LANDSCAPE SCHEDULES.
3. FOR TREE PRESERVATION LIST, REFER TO TREE PROTECTION AND REMOVALS LIST.

## PLANT LIST

TREES		
KEY	SYMBOL	COMMON NAME
		PROTECTED TREE
FRAM		WHITE ASH
ARMA		MARINA STRAWBERRY TREE
QUDO		BLUE OAK
PIXR		RED PUSH PISTACHE
QUKI		KINDRED SPIRIT OAK
PAPE		IRONWOOD

Issuances	
Description	Date

Revisions		
Rev.	Description	Date

Set Title

Entitlements  
Application

Drawing Title

Tree Protection  
& Removal Plan

Sheet No.

T-1.1

Date 27 February, 2024  
Project No. 21620

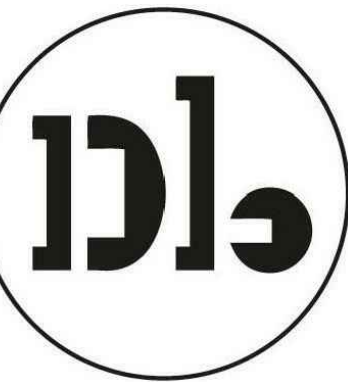


1 TREE PROTECTION AND REMOVALS (TPR) PLAN  
SCALE: 1" = 30'

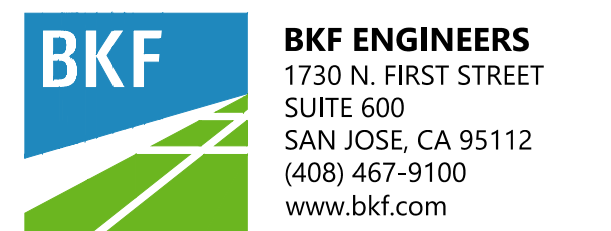








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Revisions

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1	Response to Comments	4/19/2024

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April 2024

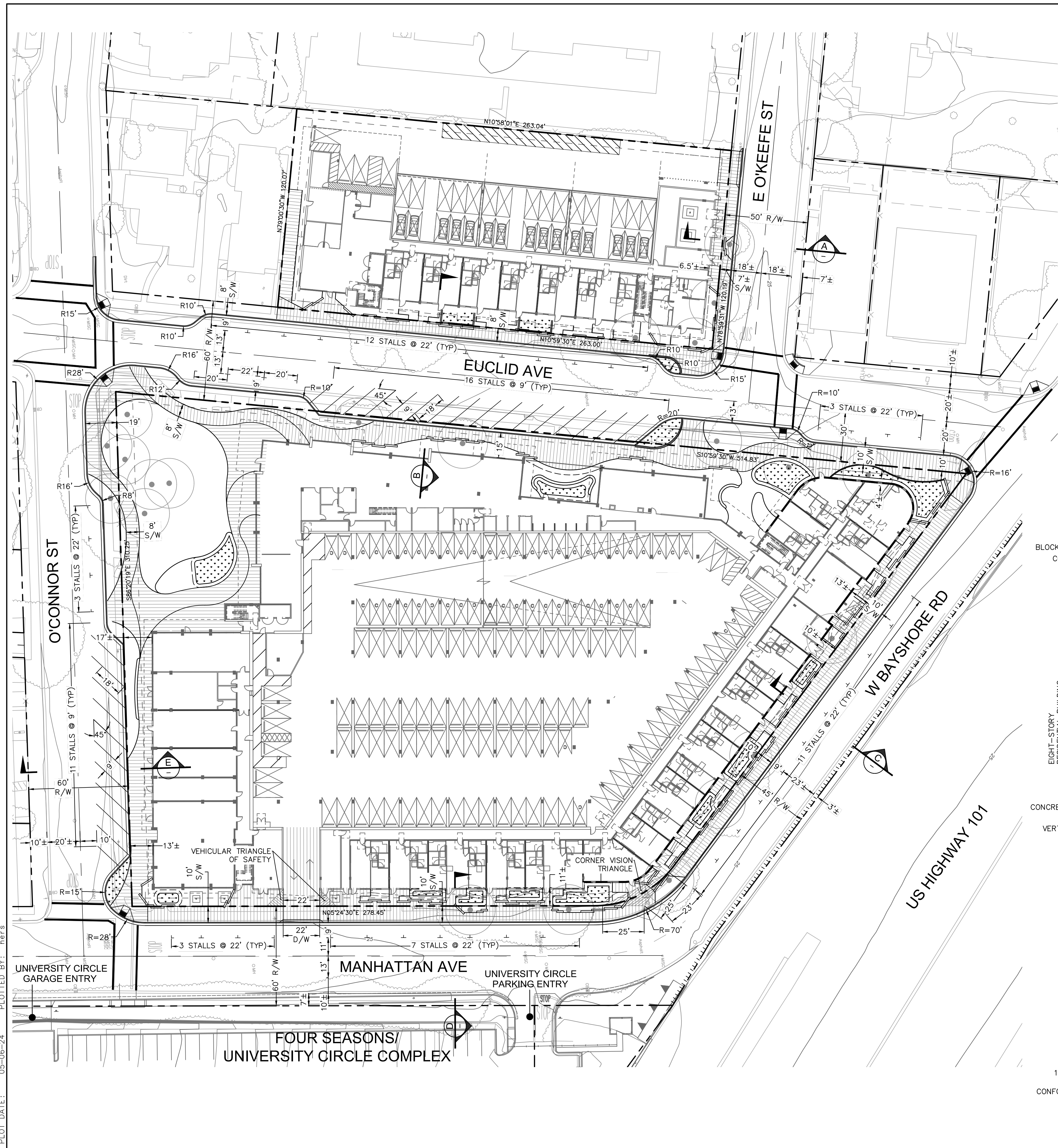
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PRELIMINARY SITE  
PLAN

Sheet No.

C2.0

Date 04/19/2024  
Project No. 20166089-20

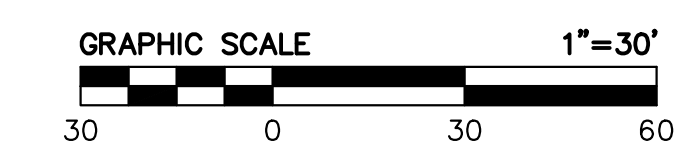
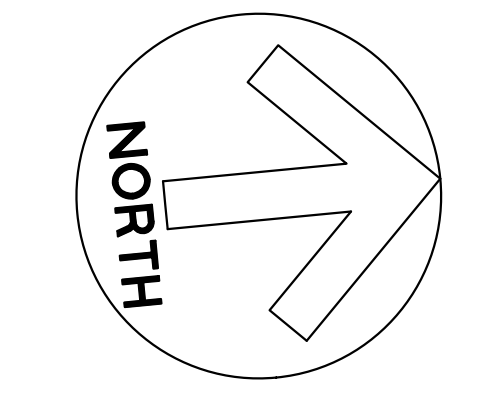
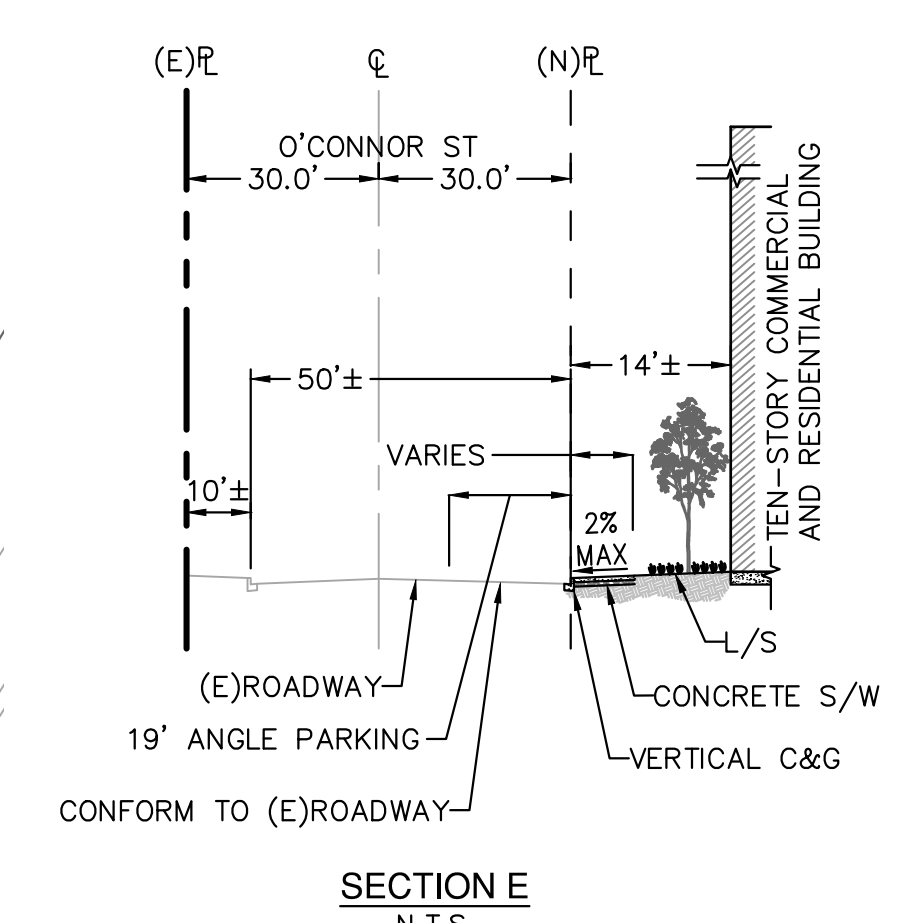
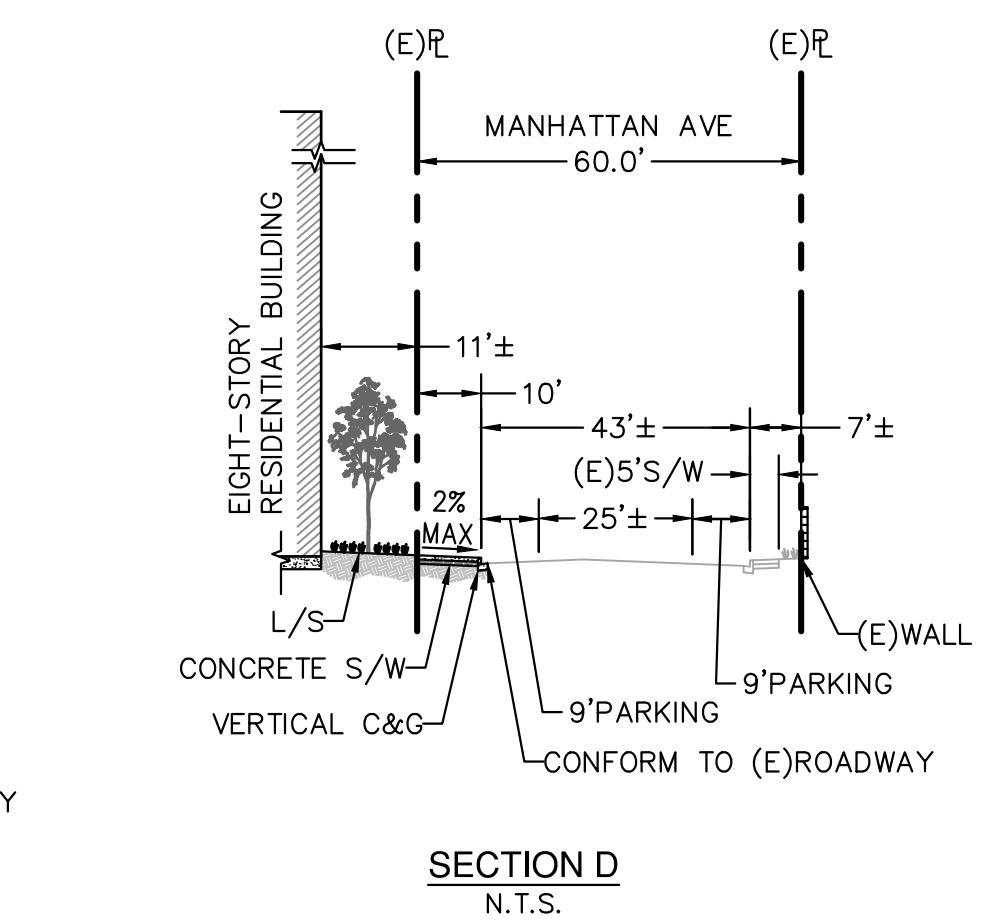
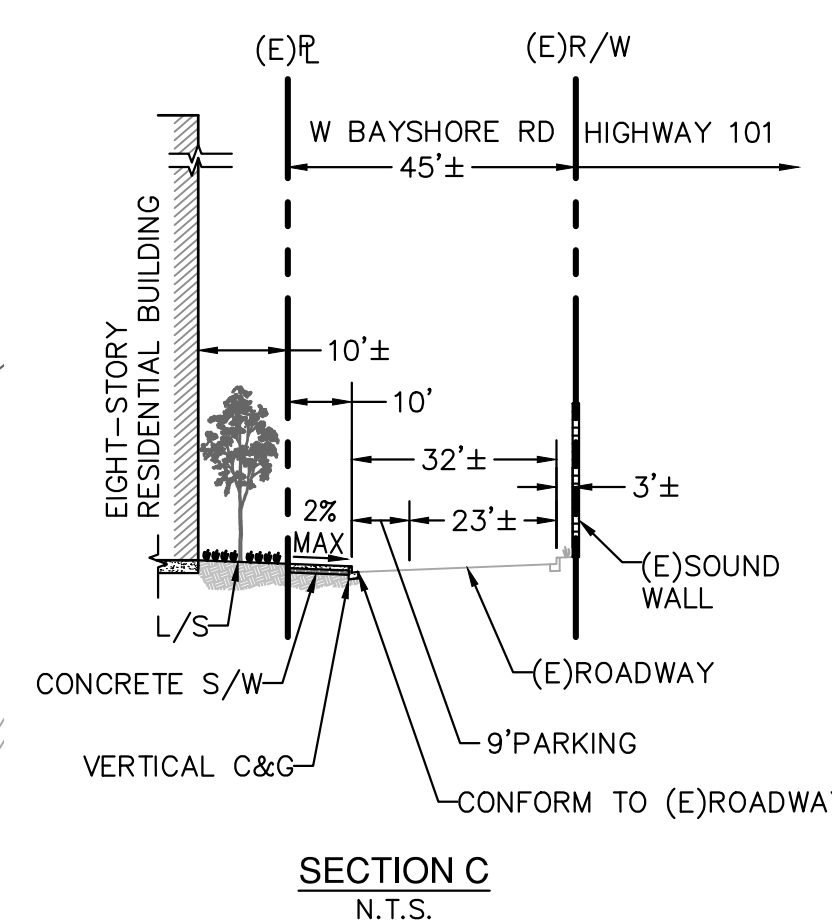
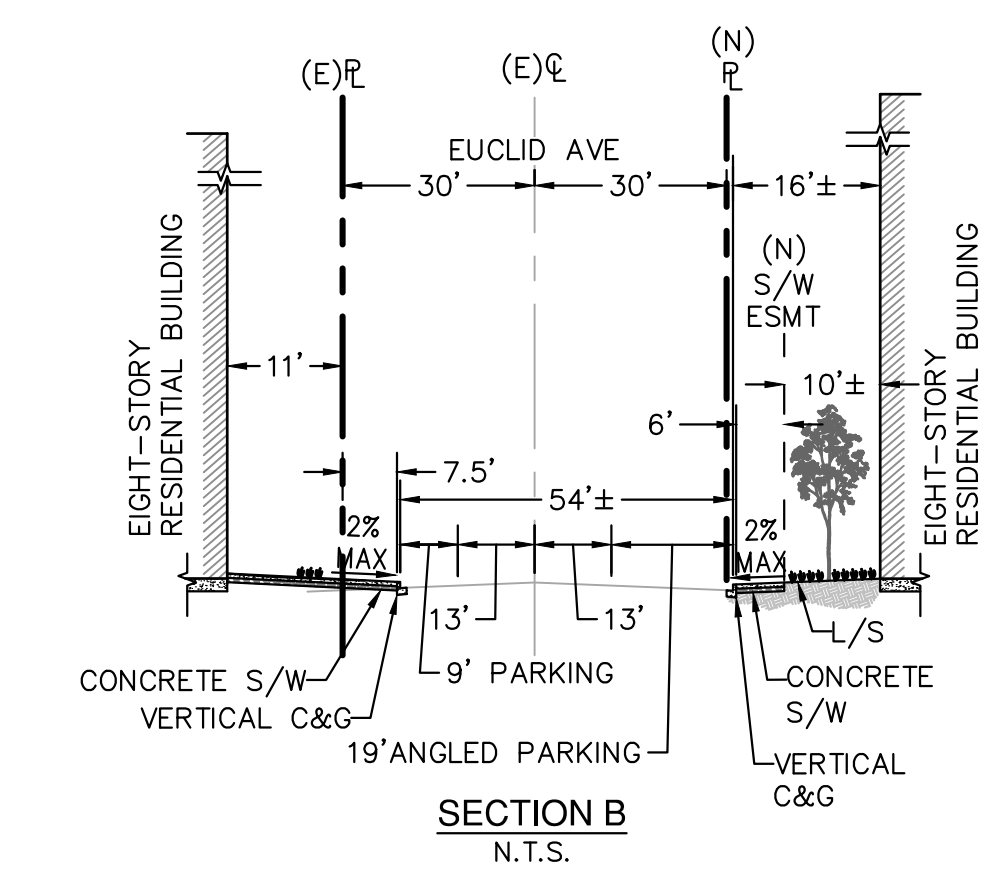
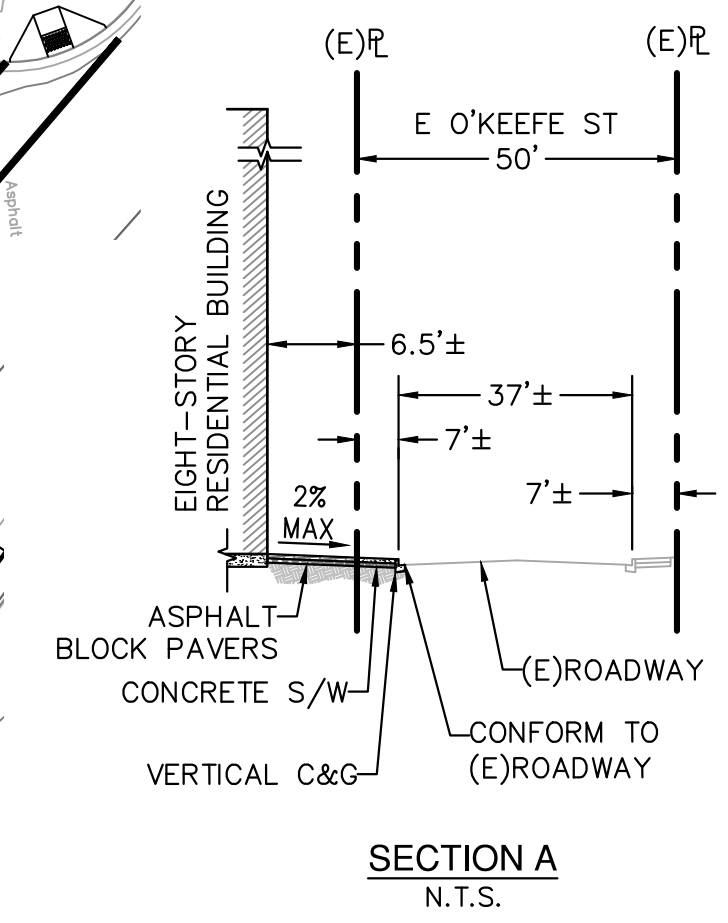


**ABBREVIATIONS:**

- C&G CURB AND GUTTER
- D/W DRIVEWAY
- E EAST
- (E) EXISTING
- L/S LANDSCAPING
- NTS NOT TO SCALE
- PL PROPERTY LINE
- R/W RIGHT OF WAY
- SLP SEE LANDSCAPE PLANS
- S/W SIDEWALK
- W WEST

**LEGEND:**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- ▨ CONCRETE (SLP)
- ▩ PAVERS (SLP)
- ▤ BIORETENTION
- ▥ GRAVEL (SLP)



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PLOT DATE: 05-06-24  
PLOTTED BY: hers







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PLOT DATE: 04-19-24  
PLOTTED BY: hers



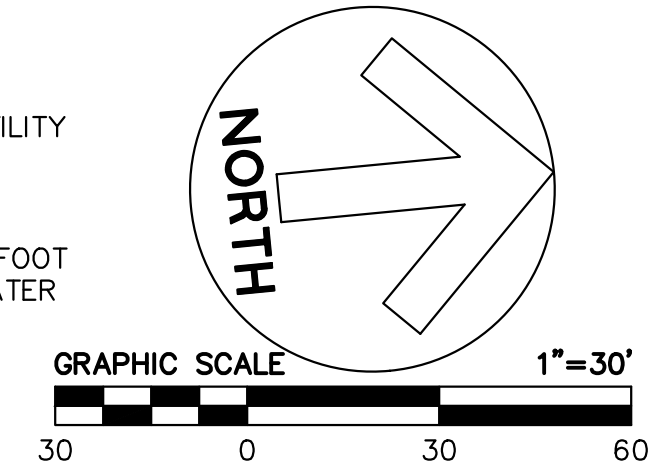
FOUR SEASONS/  
UNIVERSITY CIRCLE COMPLEX

- LEGEND:**
- SS — SANITARY SEWER LINE
  - ⊙ SANITARY SEWER MANHOLE
  - SD — STORM DRAIN LINE
  - - - SD PERFORATED PIPE
  - SD CATCH BASIN
  - ⊗ SD JUNCTION BOX
  - SD OVERFLOW DRAIN
  - ⊙ STORM DRAIN MANHOLE
  - W — DOMESTIC WATER LINE
  - FW — FIRE WATER LINE, SEE NOTE 6
  - ⊗ B BACKFLOW PREVENTER
  - ⊗ WATER METER
  - ⊗ WATER VALVE
  - ⊗ FIRE HYDRANT
  - ⊗ BIORETENTION AREA

- ABBREVIATIONS:**
- BFP BACKFLOW PREVENTOR
  - CB CATCH BASIN
  - EX(E) EXISTING
  - FW FIRE WATER
  - HYD,FH FIRE HYDRANT
  - MH MANHOLE
  - PVC POLYVINYL CHLORIDE
  - SD STORM DRAIN
  - SDCO STORM DRAIN CLEANOUT
  - SDMH STORM DRAIN MANHOLE
  - SS SANITARY SEWER
  - SSCO SANITARY SEWER CLEANOUT
  - SDMH SANITARY SEWER MANHOLE
  - W WATER
  - WM WATER METER

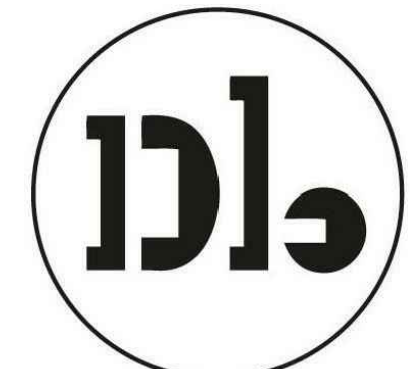
- UTILITY NOTES:**
1. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
  2. NO EXISTING UTILITY SERVICES WILL BE REUSED. ALL EXISTING SERVICES WILL BE REMOVED TO THE PROPERTY LINE AND ABANDONED OR REMOVED PER CITY STANDARDS.
  3. ALL WORK DONE WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER SEPARATE PERMIT.
  4. SEE JOINT TRENCH PLANS FOR ALL DRY UTILITIES AND JOINT TRENCH INFORMATION.
  5. SEE MEP PLANS FOR CONTINUATION AT BUILDING POINT OF CONNECTION.
  6. NEW FIRE WATER SERVICE FOR REFERENCE ONLY. FINAL DESIGN BY FIRE PROTECTION ENGINEER.
  7. CONTRACTOR TO VERIFY ALL (E)UTILITY TIE-IN LOCATIONS AND CROSSINGS BY POTHOLES PRIOR TO INSTALLATION.
  8. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
  9. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES AND 1 FOOT VERTICAL WATER ABOVE SEWER WHERE LINES CROSS. WATER AND SEWER LINES SHALL NOT CROSS AT LESS THAN 45 DEGREES TO EACH OTHER.
  10. UTILITY TRENCHES SHALL USE TRENCH SAND AROUND ALL UTILITIES CONFORMING TO APPROPRIATE STANDARDS SUCH AS PG&E, CALIFORNIA AMERICAN WATER COMPANY STANDARDS, AND SAN MATEO COUNTY PUBLIC WORKS STANDARDS.
  11. THE CITY OF EAST PALO ALTO ENGINEERING DIVISION SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OR CONNECTION FOR INSPECTION OF ANY UTILITIES CONNECTING TO MUNICIPAL FACILITIES.
  12. EAST PALO ALTO SANITARY DISTRICT SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLATION OF CONNECTION FOR INSPECTION OF SEWER LINES AND CONNECTIONS. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
  13. PACIFIC GAS & ELECTRIC, COMCAST, AT&T, AND ALL OTHER APPROPRIATE UTILITIES COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO INSTALLATION TO SCHEDULE ANY REQUIRED INSPECTIONS, OR AS REQUIRED BY SAID UTILITIES. ADDITIONALLY, FOR ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE CITY OF EAST PALO ALTO ENGINEERING DIVISION FOR INSPECTION.
  14. ALL EXISTING WATER MAINS SHALL BE REPAIRED AND TESTED TO THE SATISFACTION OF AMERICAN WATER ENTERPRISES AND THE CITY ENGINEER.
  15. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO EAST PALO ALTO SUBDIVISION REGULATIONS, SAN MATEO COUNTY STANDARD DETAILS FOR PUBLIC WORKS, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS, GREEN BOOK STANDARD SPECIFICATIONS, AMERICAN WATER COMPANY CODE, EAST PALO ALTO SANITARY DISTRICT SEWER CODE, FIRE CODE, AND OTHER APPLICABLE UTILITY STANDARDS WITHIN THEIR RESPECTIVE JURISDICTIONS.

- KEY NOTES:**
- 1 CONNECT TO EXISTING UTILITY
  - 2 NEW FIRE HYDRANT
  - 3 MAINTAIN MINIMUM OF 1 FOOT SEPARATION BETWEEN WATER OVER SEWER



# Woodland Park

## Euclid Improvements



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**BKF ENGINEERS**  
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Issuances	
Description	Date
Design Update	02/27/2024

Revisions		
Rev.	Description	Date
1	Response to Comments	4/19/2024

Set Title  
**Design Update - April 2024**

Drawing Title  
**PRELIMINARY UTILITY PLAN**

Sheet No.  
**C4.0**

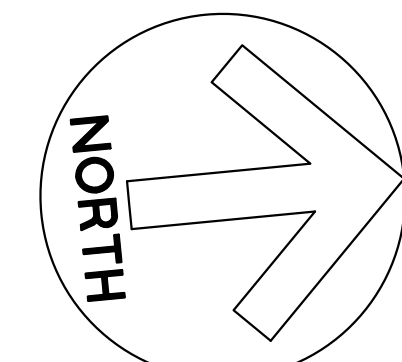
Date: 04/19/2024  
Project No.: 20166089-20



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PLOT DATE: 04-19-24 PLOTTED BY: hers

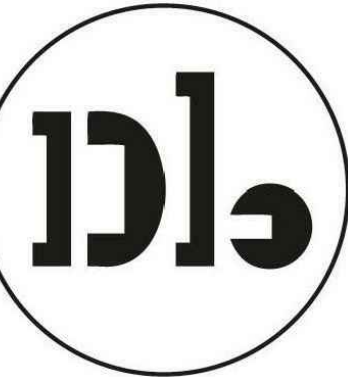


- LEGEND**
- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
  - INTEGRATED MANAGEMENT PRACTICE (IMP)
  - - - SD PERFORATED PIPE
  - SD CATCH BASIN
  - SD JUNCTION BOX
  - SD OVERFLOW DRAIN

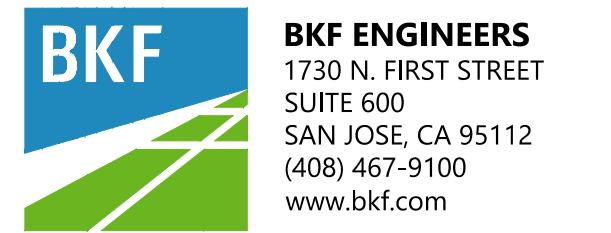


# Woodland Park

## Euclid Improvements



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**Design Update -  
April 2024**

Drawing Title  
**PRELIMINARY  
STORMWATER  
MANAGEMENT PLAN**

Sheet No.

**C5.0**

Date: 04/19/2024  
Project No.: 20166089-20

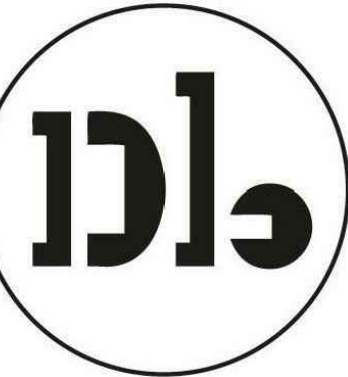


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PLOT DATE: 04-19-24 PLOTTED BY: hers

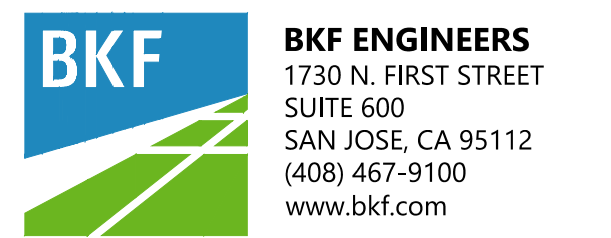
TREATMENT CONTROL MEASURE SUMMARY						
DRAINAGE AREAS	DRAINAGE AREA SIZE (SF)	PROPOSED CONDITION		TREATMENT MEASURE SIZE		TREATMENT MEASURE TYPE
		PERVIOUS SURFACE (SF)	IMPERVIOUS SURFACE (SF)	REQUIRED (SF)	PROVIDED (SF)	
DMA-1	6,270	LANDSCAPE 241	ROOF/SIDEWALK 6,029	241	241	STRUCTURAL BIORETENTION AREA
DMA-2	3,107	LANDSCAPE 93	ROOF/SIDEWALK 3,014	121	136	STRUCTURAL BIORETENTION AREA
DMA-3	3,107	LANDSCAPE 102	ROOF/SIDEWALK 3,005	120	137	STRUCTURAL BIORETENTION AREA
DMA-4	8,485	LANDSCAPE 325	ROOF/SIDEWALK 8,120	325	365	STRUCTURAL BIORETENTION AREA
DMA-5	10,627	LANDSCAPE 427	ROOF/SIDEWALK 10,200	N/A	N/A	PERMEABLE PAVERS
DMA-6	16,590	LANDSCAPE 7,420	ROOF/SIDEWALK 9,170	367	368	NON-STRUCTURAL BIORETENTION AREA
DMA-7	13,915	LANDSCAPE 868	ROOF/SIDEWALK 13,047	522	566	STRUCTURAL BIORETENTION AREA
DMA-8	6,584	LANDSCAPE 341	ROOF/SIDEWALK 6,243	250	341	STRUCTURAL BIORETENTION AREA
DMA-9	11,073	LANDSCAPE 973	ROOF/SIDEWALK 10,100	404	405	NON-STRUCTURAL BIORETENTION AREA
DMA-10	1,819	LANDSCAPE 230	ROOF/SIDEWALK 1,589	64	73	NON-STRUCTURAL BIORETENTION AREA
DMA-11	5,089	LANDSCAPE 429	ROOF/SIDEWALK 4,660	187	206	NON-STRUCTURAL BIORETENTION AREA
DMA-12	1,978	LANDSCAPE 193	ROOF/SIDEWALK 1,785	71	71	NON-STRUCTURAL BIORETENTION AREA
DMA-13	10,219	LANDSCAPE 550	ROOF/SIDEWALK 9,669	387	512	NON-STRUCTURAL BIORETENTION AREA
DMA-14	4,754	LANDSCAPE 238	ROOF/SIDEWALK 4,516	181	238	STRUCTURAL BIORETENTION AREA
DMA-15	6,904	LANDSCAPE 270	ROOF/SIDEWALK 6,634	265	270	STRUCTURAL BIORETENTION AREA
DMA-16	11,111	LANDSCAPE 470	ROOF/SIDEWALK 10,641	426	470	STRUCTURAL BIORETENTION AREA
DMA-17	7,782	LANDSCAPE 600	ROOF/SIDEWALK 7,182	287	344	STRUCTURAL BIORETENTION AREA
DMA-18	4,040	LANDSCAPE 900	ROOF/SIDEWALK 3,140	125	153	NON-STRUCTURAL BIORETENTION AREA
DMA-19	17,244	LANDSCAPE 8,212	ROOF/SIDEWALK 9,032	361	395	NON-STRUCTURAL BIORETENTION AREA
TOTAL	150,698	22,882	127,816	4,684	5,291	

**NOTES**

- 1) TREATMENT AREAS WERE SIZED USING THE "4 PERCENT METHOD" FLOW-BASED SIZING CRITERIA IN THE 2014 SAN MATEO COUNTY C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK, UNLESS THE REQUIRED SF IS FOLLOWED BY AN ASTERISK "\*\*". IF REQUIRED SF HAS AN ASTERISK, TREATMENT IS SIZED USING THE COMBINED FLOW METHOD AND AT A MIN. PROVIDES AN EQUIVALENT OF 6-INCHES OF STORED RUNOFF IN SURFACE PONDING AREA.
- 2) NEW/REPLACED IMPERVIOUS AREA OFFSITE TOTALS 14,750 SF. PER THE "4 PERCENT METHOD", THE MINIMUM REQUIRED TREATMENT IS 590 SF. BETWEEN THE THREE BULBOUT TREATMENT AREAS, THERE IS 600 SF OF OFFSITE TREATMENT PROVIDED.



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1	Response to Comments	4/19/2024

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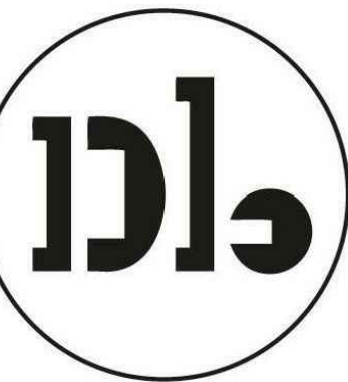
Drawing Title  
**PRELIMINARY STORMWATER MANAGEMENT PLAN**

Sheet No.

**C5.1**

Date: 04/19/2024  
Project No.: 20166089-20





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**LEGEND:**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - EASEMENT
- ▭ FIRE TRUCK STAGING AREA
- FIRE HYDRANT
- (HYD) EXISTING FIRE HYDRANT

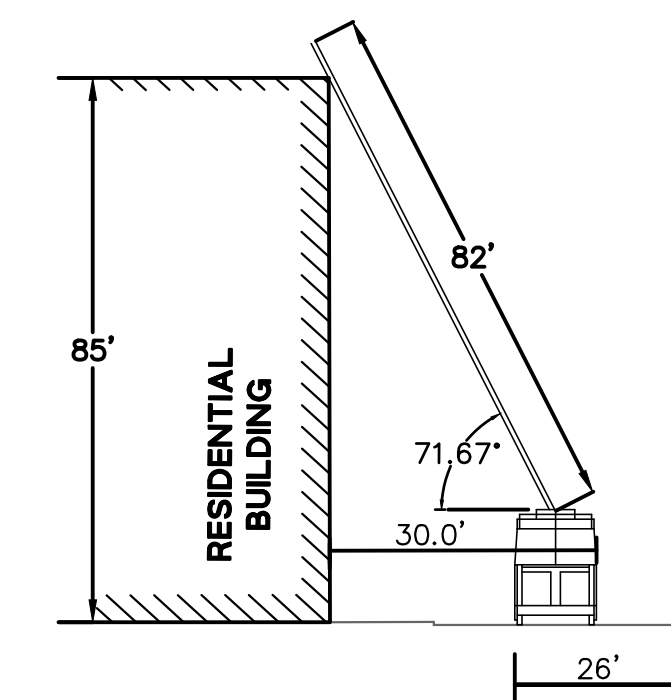
**ABBREVIATIONS:**

- E EAST
- (E) EXISTING
- FH FIRE HYDRANT
- NTS NOT TO SCALE
- W WEST

**NOTES:**

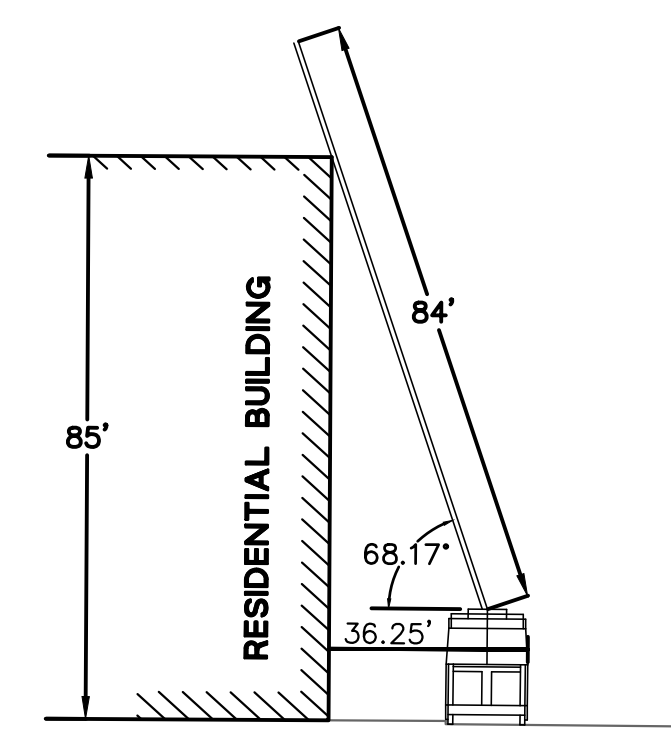
1. ON-SITE WIDTH FOR AERIAL LADDER TRUCK SHALL BE 26 FEET. THE SET UP AREAS SHALL BE A MAXIMUM OF 30 FEET FROM THE BUILDINGS AND NO CLOSER THAN 15 FEET TO THE BUILDING.
2. FIRE PUMP SHALL BE PROVIDED FOR ALL HIGH RISE BUILDINGS. THE PUMP SHALL BE RATED TO PUMP 150% OF THE REQUIRED DEMAND.
3. ALL HIGH RISE BUILDINGS SHALL HAVE STAND BY POWER GENERATORS.
4. ALL PUBLIC AND ON-SITE CURBS TO BE PAINTED, LETTERED, AND SIGNED AS FIRE LANES, FIRE ACCESS, AND AERIAL LADDER TRUCK ACCESS FOR RESCUE AND FIREFIGHTING OPERATIONS.
5. SPACING FOR FIRE HYDRANTS IS 300 FEET. THE MINIMUM ACCEPTED MENLO PARK FIRE DISTRICT FIRE FLOW IS 2000 GPM AT 20 PSI RESIDUAL PRESSURE.
6. ALL PUBLIC STREETS WHERE STREET WIDTHS ARE LESS THAN 26 FEET TO HAVE NO PARKING AND RED CURBS, ALL STREETS LESS THAN 32 FEET AND MORE THAN 26 FEET MAY HAVE PARKING ON ONE SIDE AND RED CURBS ON THE OTHER, STREETS 32 FEET OR GREATER MAY HAVE PARKING ON BOTH SIDES.
7. FIRE LANES/EMERGENCY VEHICLE ACCESS TO HAVE RED PAINTED CURBS, CURB LETTERING AND POSTED SIGNS AS REQUIRED BY THE CVC, CFC AND MPFPD.
8. ALL TURNING RADII TO BE CAPABLE OF A SINGLE INLINE VEHICLE OF 42 FEET IN LENGTH MAKING ALL TURNING MANEUVERS.
9. FIRE HYDRANTS AND FIRE APPLIANCES (FIRE DEPARTMENT CONNECTIONS AND POST INDICATOR VALVES) TO BE CLEARLY ACCESSIBLE AND FREE FROM OBSTRUCTION.
10. FIRE HYDRANT TO BE WET BARREL STANDARD STEAMER TYPE WITH ONE 4 1/2" AND TWO 2 1/2" OUTLETS (MPFPD CFC SEC. 507.5.1 APPENDIX C).
11. DISCHARGE FIRE SPRINKLER TEST WATER TO ONSITE VEGETATED AREAS, OR TO THE SANITARY SEWER SYSTEM SUBJECT TO THE LOCAL SANITARY SEWER AGENCY'S AUTHORITY AND STANDARDS.

**EXAMPLE STAGING CROSS SECTIONS:**



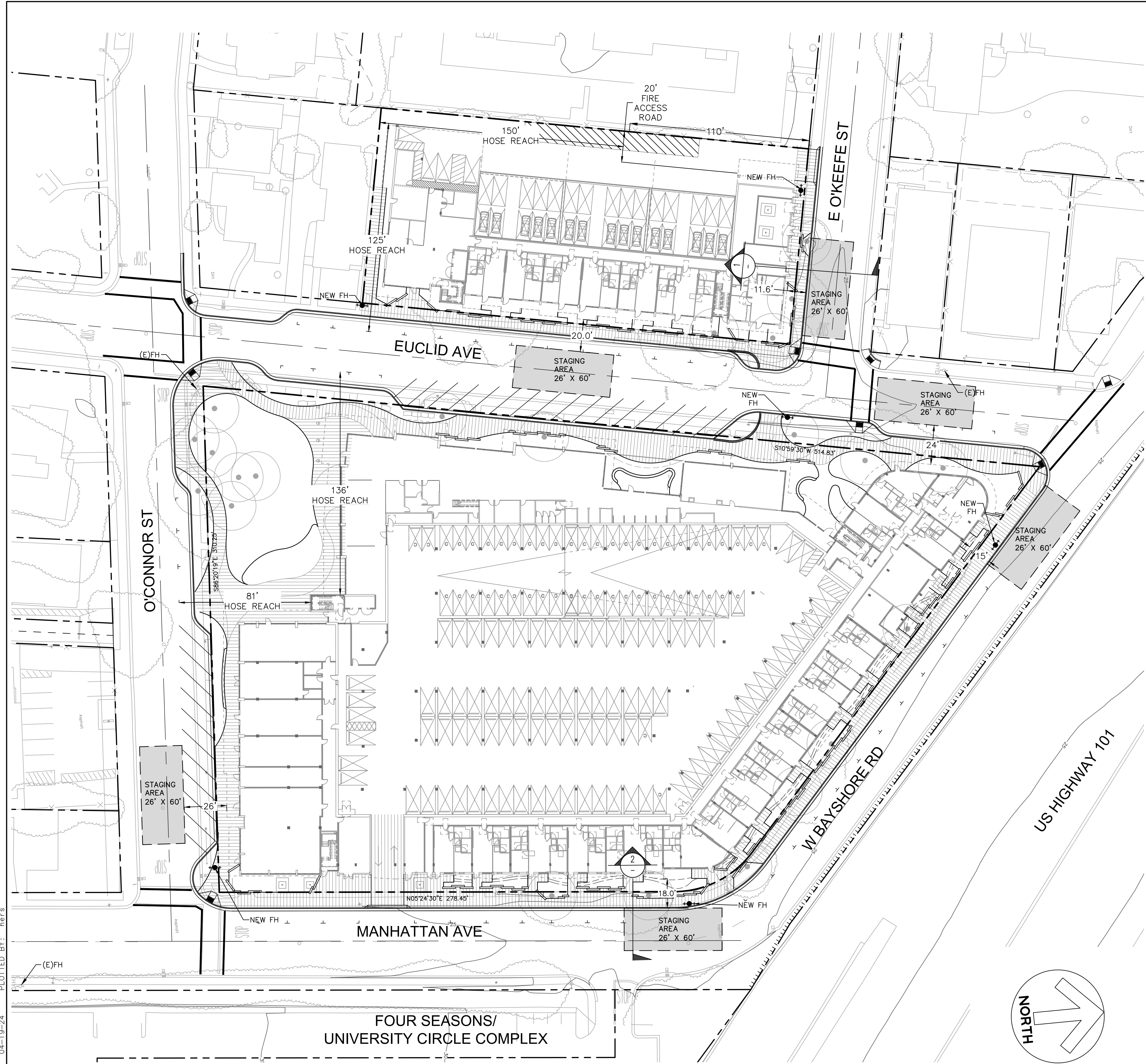
**NOTE:**  
1. MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

**1 E. O'KEEFE ST. FIRE STAGING**  
NTS



**NOTE:**  
1. MAXIMUM CLIMBING ANGLE IS 75 DEGREES.

**2 MANHATTAN AVE FIRE STAGING**  
NTS



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Set Title  
**Design Update - April 2024**  
Drawing Title  
**PRELIMINARY FIRE ACCESS PLAN**

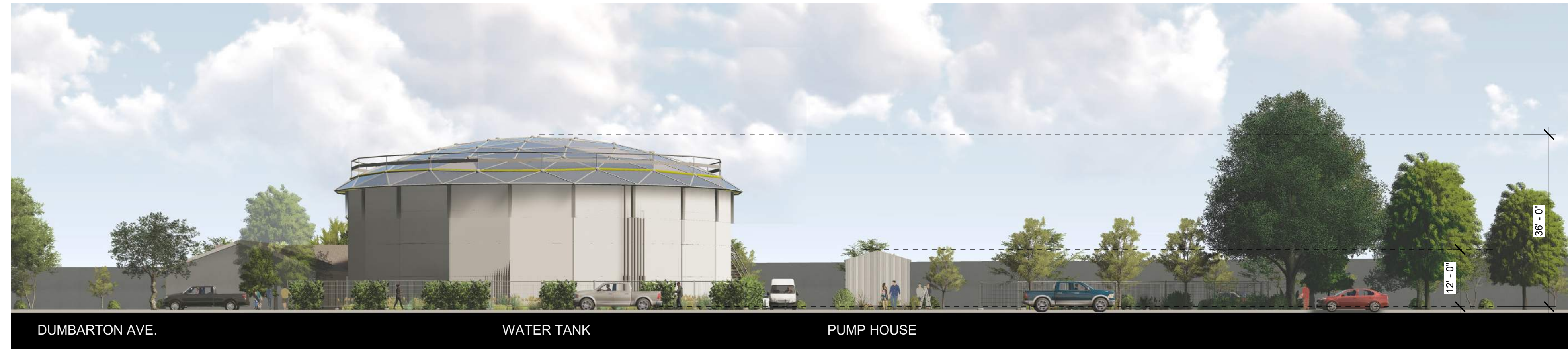
Sheet No.  
**C6.0**  
Date 04/19/2024  
Project No. 20166089-20



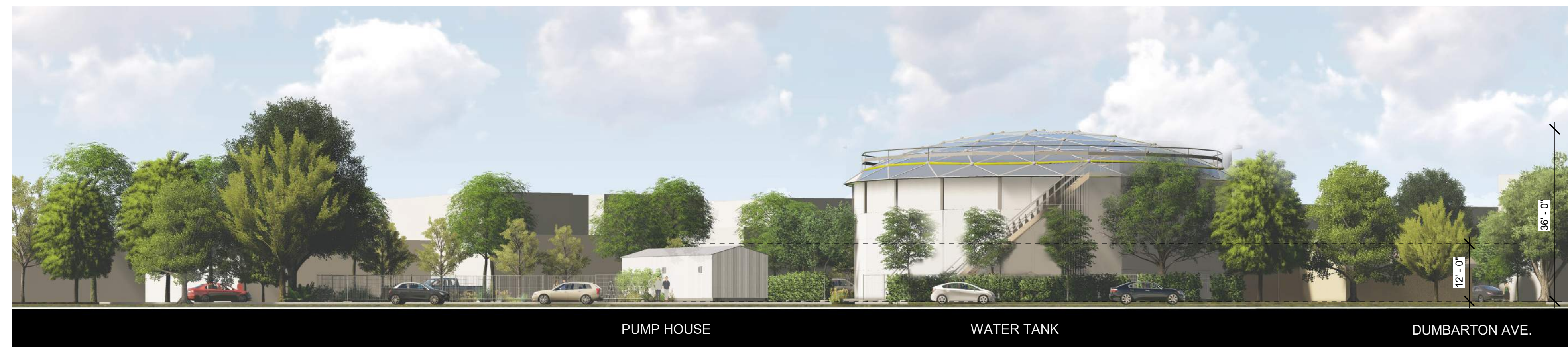
# Woodland Park Euclid Improvements



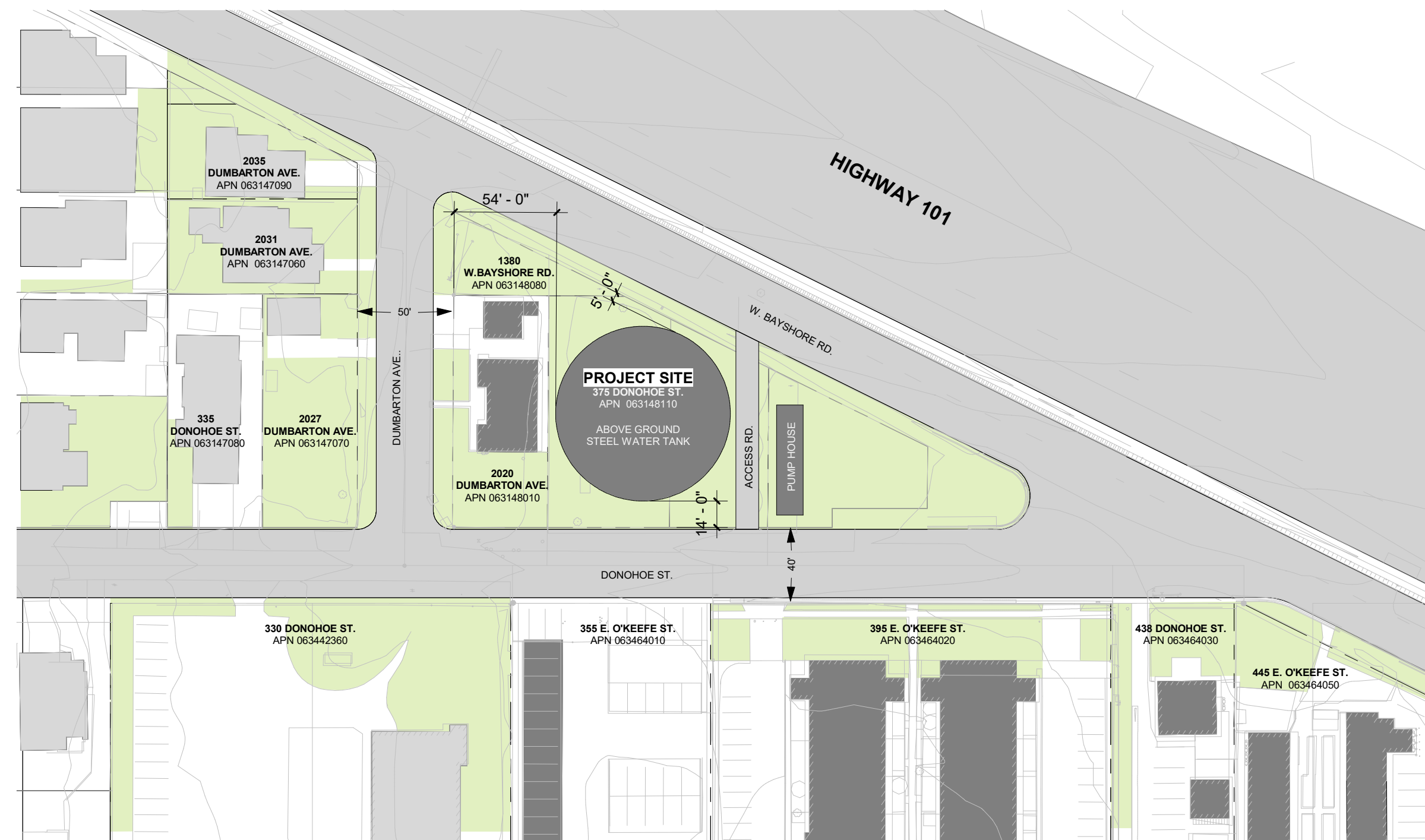
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San Francisco, CA 94107  
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② DONOHOE ST. ELEVATION  
1/16" = 1'-0"



③ W. BAYSHORE ELEVATION  
1/16" = 1'-0"



① Site Parcel Map  
1" = 60'-0"



3D View - Donohoe St.

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Issuances	
Description	Date
Entitlements Submission	09/25/2019

Revisions		
Rev.	Description	Date

Set Title  
**Application -  
September 2019**

Drawing Title  
**WATER TANK  
EXHIBIT**

Sheet No.  
**WT-001**

Date: 08/19/2022  
Project No.: 21620