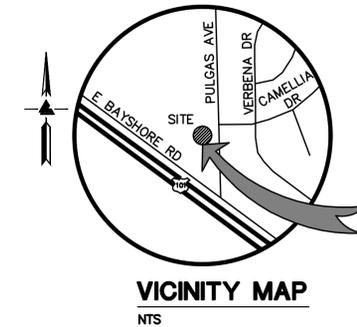


TENTATIVE MAP (FOR CONDOMINIUM) WAWALAND, LLC 1933 PULGAS AVENUE EAST PALO ALTO, CALIFORNIA



OWNER'S INFORMATION

OWNER: WAWALAND LLC
6044 STEVENSON BOULEVARD
FREMONT, CA 94538

APN: 063-492-280

REFERENCES

- THIS TENTATIVE MAP IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, ENTITLED:
"TOPOGRAPHIC SURVEY"
1933 PULGAS AVENUE
EAST PALO ALTO, CA
DATED: 6-6-23
UPDATED: 9-18-25
JOB# 2230335
 - SITE PLAN BY RG ARCHITECTURE ENTITLED:
"1933 PULGAS AVENUE"
EAST PALO ALTO, CA
DATED: 12-06-24
 - SOIL REPORT BY ROMIG ENGINEERS ENTITLED:
"GEOTECHNICAL INVESTIGATION"
1933 PULGAS AVENUE
EAST PALO ALTO, CA
JOB# 6290-1
DATE: 08-15-23

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT CONSISTS OF 58 RESIDENTIAL CONDOMINIUM UNITS WITHIN TEN (10) THREE-STORY BUILDINGS CONSTRUCTED OVER AN UNDERGROUND PARKING GARAGE. THE PROJECT WILL INCLUDE SHARED AMENITIES SUCH AS COMMON USE AREAS, OPEN SPACE, AND PRIVATE ACCESS ROADS.

THE SCOPE OF WORK ALSO INCLUDES THE DEMOLITION OF EXISTING RESIDENTIAL STRUCTURES, REMOVAL OF TREES, AND DECOMMISSIONING OF ANY EXISTING UTILITIES NOT INTENDED FOR FUTURE USE. A PARCEL MAP WILL BE PREPARED AND SUBMITTED TO FINALIZE THE SUBDIVISION PROCESS.

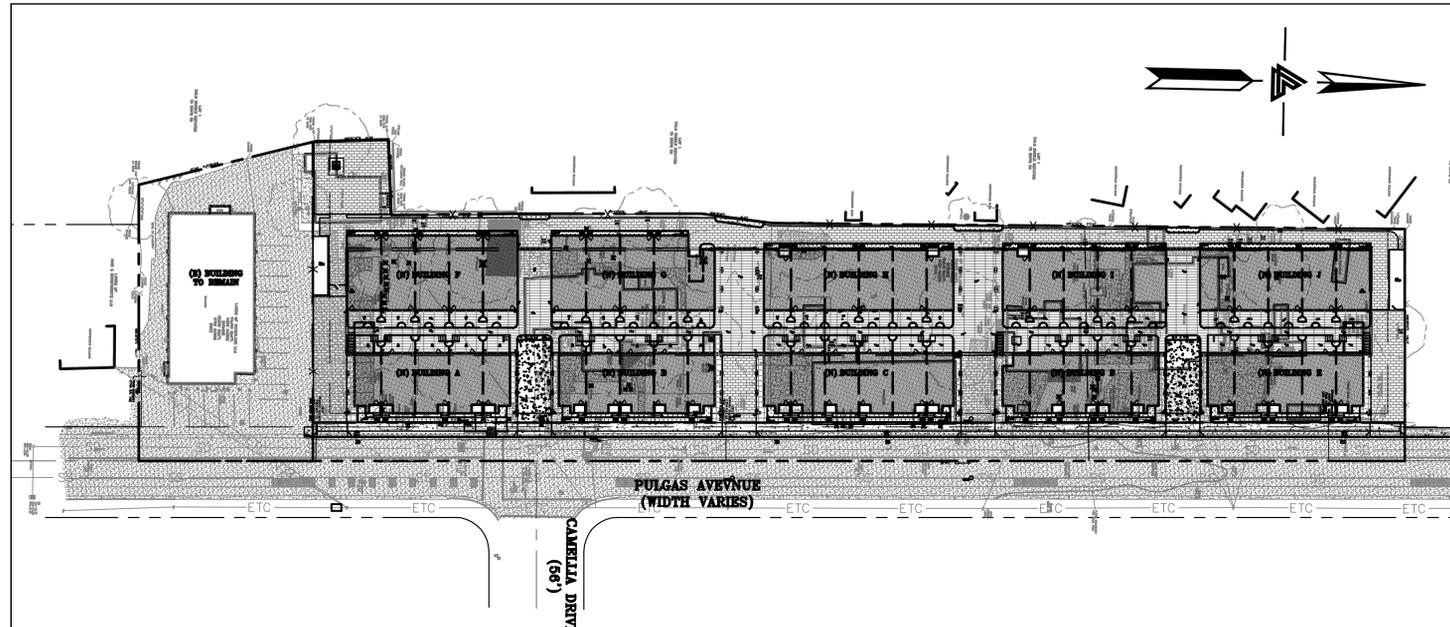
UTILITIES/SERVICES

SEWER	EAST PALO ALTO SANITARY DISTRICT
WATER	CITY OF EAST PALO ALTO MUNICIPAL WATER DISTRICT
FIRE	MENLO PARK FIRE PROTECTION DISTRICT
STORM DRAIN	COUNTY OF SAN MATEO
GAS	PACIFIC GAS AND ELECTRIC (PG&E)
ELECTRIC	PACIFIC GAS AND ELECTRIC (PG&E)

SHEET INDEX

NO.	DESCRIPTION
TM-1.0	TITLE SHEET & KEY MAP
TM-2.0	PROPOSED SITE/BUILDING PLAN
TM-2.1	TENTATIVE MAP BASEMENT FLOOR LAYOUT PLAN
TM-2.2	TENTATIVE MAP 1ST FLOOR LAYOUT PLAN
TM-2.3	TENTATIVE MAP 2ND FLOOR LAYOUT PLAN
TM-2.4	TENTATIVE MAP 3RD FLOOR LAYOUT PLAN
TM-3.0	PRELIMINARY GRADING & DRAINAGE PLAN
TM-3.1	PRELIMINARY GRADING & DRAINAGE PLAN
TM-3.2	PRELIMINARY GRADING & DRAINAGE PLAN
TM-4.0	PRELIMINARY UTILITY PLAN
TM-4.1	PRELIMINARY UTILITY PLAN
TM-4.2	PRELIMINARY UTILITY PLAN
SCP-1.0	PRELIMINARY IMPERVIOUS SURFACE EXHIBIT
SCP-2.0	PRELIMINARY STORMWATER CONTROL PLAN
SCP-3.0	PRELIMINARY STORMWATER CONTROL DETAILS
SU-1 THRU SU-5	TOPOGRAPHIC SURVEY

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAIN PRESSURE LINE
---	---	SANITARY SEWER PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE GROSS AREA OF THE SURVEYED LOT IS 110,476± SQUARE FEET / 2.536± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, TITLE NO. FWTO-3762500604-JJ, DATED AUGUST 25, 2025.
PG&E EASEMENT PER DOCUMENT (252 DEEDS 486) - THE EXACT LOCATION OF THIS EASEMENT IS NOT DISCLOSED OF RECORD.

TREE NOTE

TREE SIZE, TYPE AND DRIPLENS ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

BENCHMARK

CITY OF EAST PALO ALTO BENCHMARK
CITY BM 1
DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN THE LAWN IN UNIVERSITY SQUARE PARK AT TATE AND OAKES STREETS IN THE CITY OF EAST PALO ALTO LOCATED AT THE EAST SIDE OF THE CONCRETE PATH
ELEVATION = 13.17'
(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 12.35'
(NAVD 88 DATUM)

ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	12,600	900	13,400
FILL	0	0	0
EXPORT			13,500

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

BASIS OF BEARINGS

THE BEARING NORTH 1°24'00" WEST OF THE CENTERLINE OF PULGAS AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED, "PALO MOBILE ESTATES" FILED IN BOOK 79 OF PARCEL MAPS AT PAGES 58-59, SAN MATEO COUNTY RECORDS WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.

FEMA FLOOD NOTE

PORTIONS OF SURVEYED PROPERTY LIE WITHIN FLOOD ZONES: AE, X(SHADED) AND X

ZONE: AE
100-YEAR BASE FLOOD ELEVATION (BFE): 10.3' (NAVD88 DATUM)
PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
FEMA FLOOD INSURANCE STUDY (FIS) FOR SAN MATEO COUNTY, CA NO.: 06081C001D
REVISED: APRIL 5, 2019 (SEE SHEETS SU4 & SU5)

ZONE: X(SHADED)
AREAS OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR (1% ANNUAL CHANCE) AND 500-YEAR FLOODS (0.2% ANNUAL CHANCE) AND OUTSIDE THE SPECIAL FLOOD HAZARD AREA (SFHA)

ZONE: X
PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0309F
EFFECTIVE DATE: APRIL 5, 2019

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LF	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
C	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONC COR	CONSTRUCT or -TION CONCRETE CORNER	RP	POWER POLE
CY	CUBIC YARD	PUE	PUBLIC UTILITY EASEMENT
D	DIAMETER	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R	RADIUS
DIP	DUCTILE IRON PIPE EACH	RCP	REINFORCED CONCRETE PIPE
EA	END OF CURVE	RIM	RIM ELEVATION
EC	EXISTING GRADE	RW	RAINWATER
EL	ELEVATIONS	R/W	RIGHT OF WAY
EP	EDGE OF PAVEMENT	S	SLOPE
EQ	EQUIPMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EW	EACH WAY	SAN	SANITARY
(E)	EXISTING	SD	STORM DRAIN
FC	FACE OF CURB	SDMH	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	SH	SHEET
FG	FINISHED GRADE	S.L.D.	SEE LANDSCAPE DRAWINGS
FL	FIRE HYDRANT	SS	SPECIFICATION
FS	FINISHED SURFACE	SSCO	SANITARY SEWER
G	GAGE OR GAUGE	SSMH	SANITARY SEWER CLEANOUT
GB	GRADE BREAK	ST	STREET
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STA	STATION
HORIZ	HORIZONTAL	STD	STANDARD
HI PT	HIGH POINT	STRUC	STRUCTURE
H&T	HUB & TACK	T	TELEPHONE
ID	INSIDE DIAMETER	TC	TOW
INV	INVERT ELEVATION	TEMP	TEMPORARY
JB	JUNCTION BOX	TP	TOP OF PAVEMENT
JT	JOINT TRENCH	TW/FG	TOP OF WALL/FINISH GRADE
JP	JOINT UTILITY POLE	TYP	TYPICAL
L	LENGTH	VC	VERTICAL CURVE
LNDG	LANDING	VCP	VITRIFIED CLAY PIPE
		VERT	VERTICAL
		W/	WITH
		WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC



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HAYWARD, CALIFORNIA 94545
PLEASANTON, CALIFORNIA 94566
SAN JOSE, CALIFORNIA 95128
WWW.LEABRAZE.COM

1933 PULGAS AVENUE
EAST PALO ALTO,
CALIFORNIA

TITLE SHEET
& KEY MAP

NO.	REVISIONS	BY
1	CITY COMMENT REV 08-22-25	AV
2	CITY COMMENT REV 09-09-25	AV

JOB NO: 2240115
DATE: 04-03-25
SCALE: AS NOTED
DESIGN BY: AV, ET
CHECKED BY: JC
SHEET NO:
TM-1.0
1 OF 20 SHEETS



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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA
 COUNTY OF SAN MATEO APN: 063-492-280

PROPOSED
 SITE/BUILDING PLAN

REVISIONS	BY
2	AV
1	AV
REVISIONS	
JOB NO:	2240115
DATE:	04-03-25
SCALE:	AS NOTED
DESIGN BY:	AV, ET
CHECKED BY:	JC
SHEET NO:	

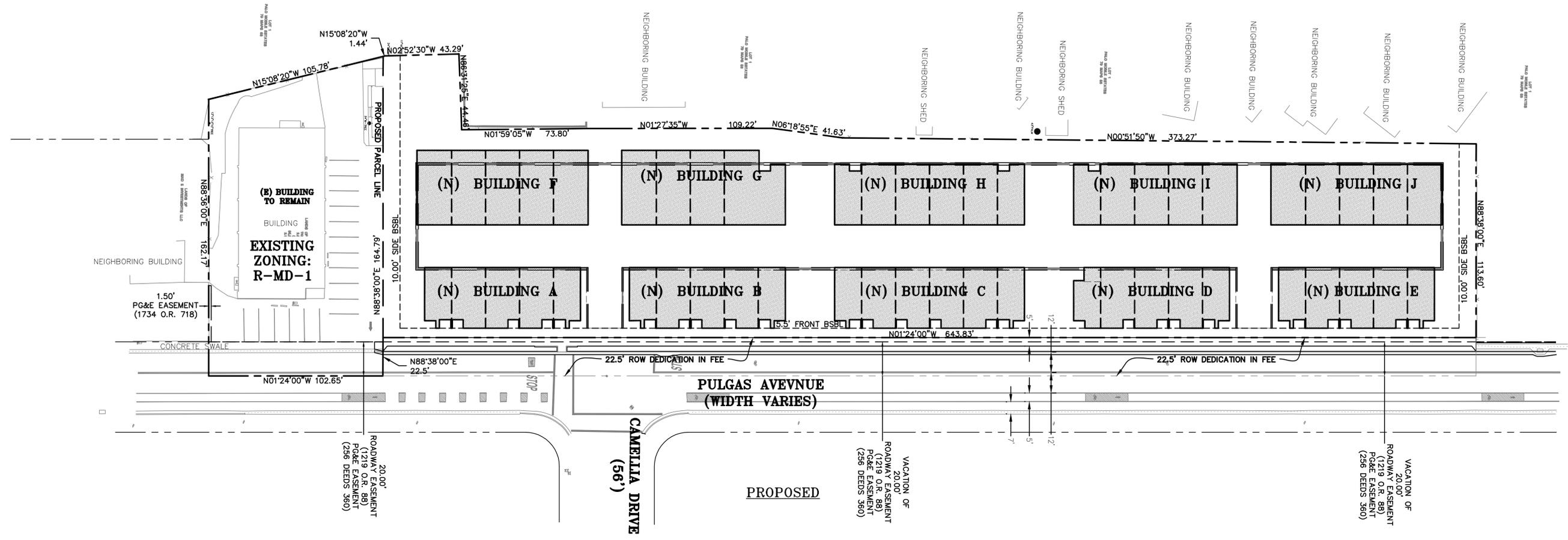
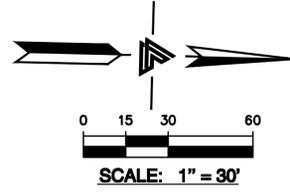
TM-2.0
 2 OF 20 SHEETS

ABBREVIATIONS

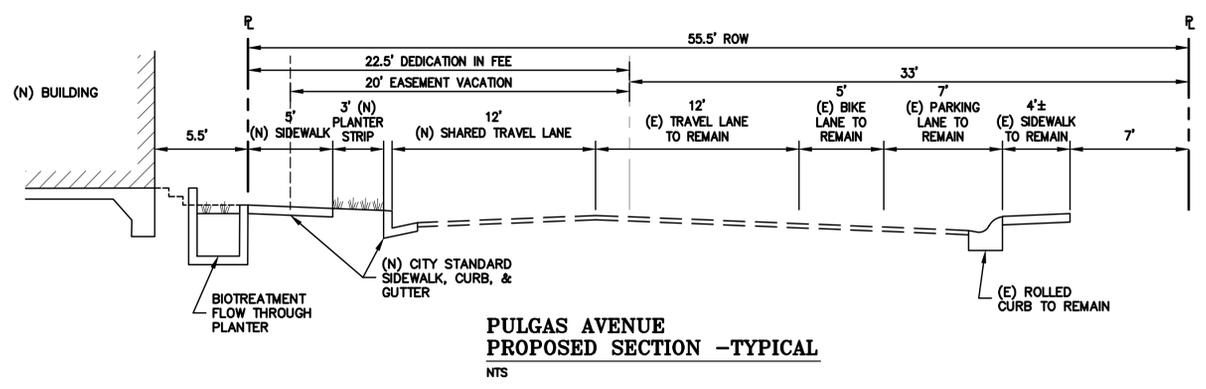
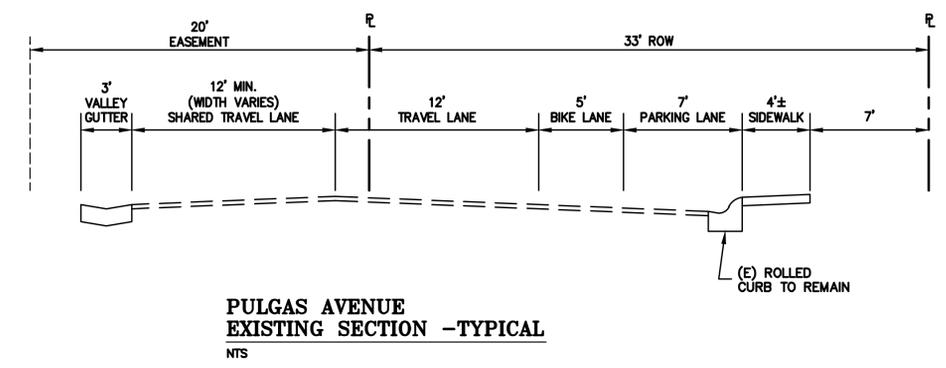
BSBL BUILDING SETBACK LINE
 P.A.E. PUBLIC ACCESS EASEMENT
 P.U.E. PUBLIC UTILITY EASEMENT
 P.D.E. PRIVATE DRAIN EASEMENT
 I.E.E. INGRESS-EGRESS EASEMENT

LEGEND

NEW PARCEL LINE
 EXISTING PARCEL LINE
 PROPERTY LINE
 BOUNDARY LINE
 EASEMENT LINE
 SETBACK LINE



PARCEL ZONING INFORMATION	
SITE LOCATION	1933 PULGAS AVENUE EAST PALO ALTO, CA
EXISTING ZONING DISTRICT	R-MD-1
EXISTING LAND USE	MEDIUM DENSITY RESIDENTIAL
PROPOSED ZONING DISTRICT	R-MD-2
PROPOSED LAND USE	MEDIUM DENSITY RESIDENTIAL

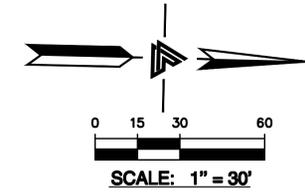


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LEGEND

— NEW PARCEL LINE
 - - - EXISTING PARCEL LINE
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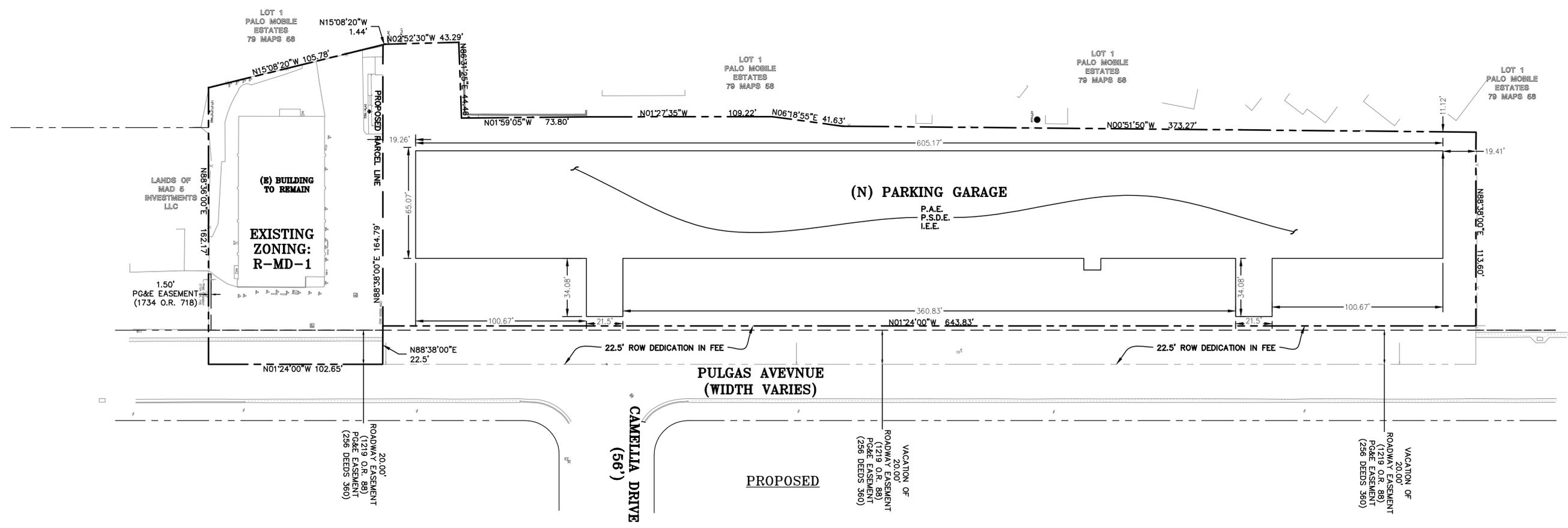
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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

TENTATIVE MAP
 BASEMENT FLOOR
 LAYOUT PLAN

2	CITY COMMENT REV	09-09-25	AV
1	CITY COMMENT REV	08-22-25	AV
	REVISIONS		BY
JOB NO:		2240115	
DATE:		04-03-25	
SCALE:		AS NOTED	
DESIGN BY:		AV, ET	
CHECKED BY:		JC	
SHEET NO:			

TM-2.1
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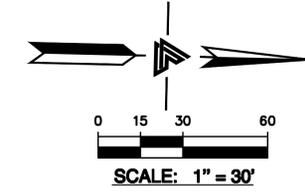
APN: 063-492-280
 COUNTY OF SAN MATEO

ABBREVIATIONS

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LEGEND

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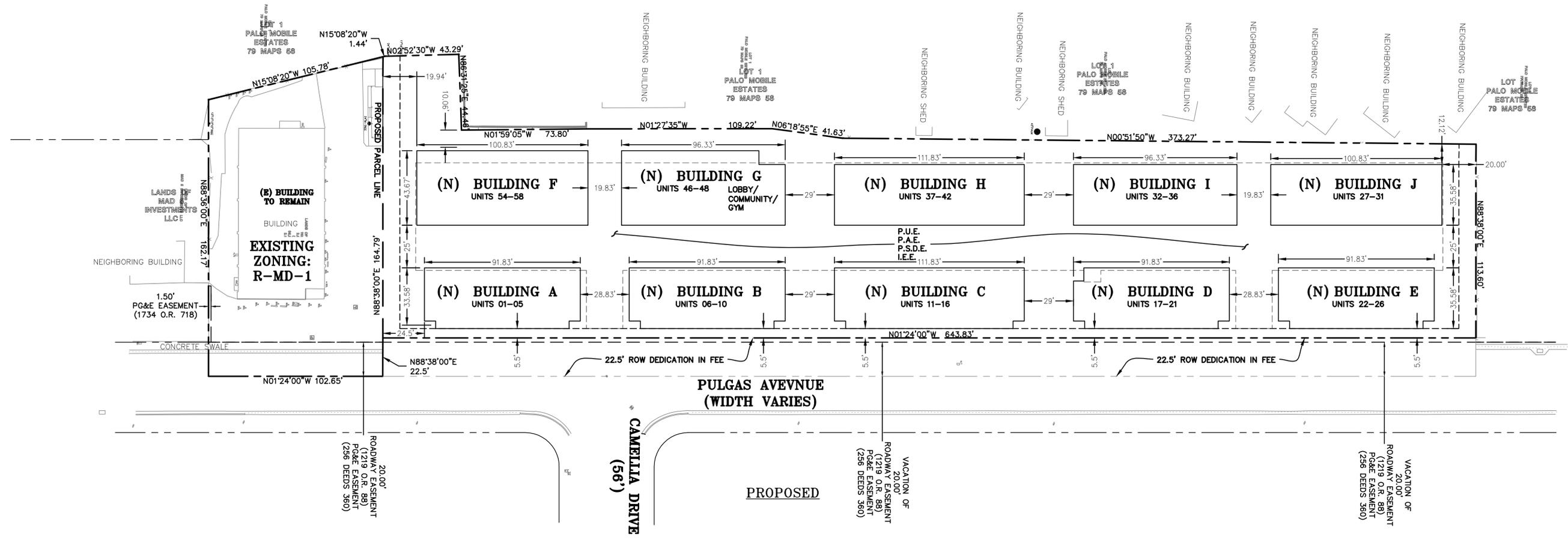
1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

TENTATIVE MAP
 1ST FLOOR LAYOUT
 PLAN

2	CITY COMMENT REV	09-09-25	AV
1	CITY COMMENT REV	08-22-25	AV
	REVISIONS		BY

JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:

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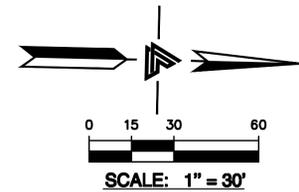


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LEGEND

--- NEW PARCEL LINE
 - - - EXISTING PARCEL LINE
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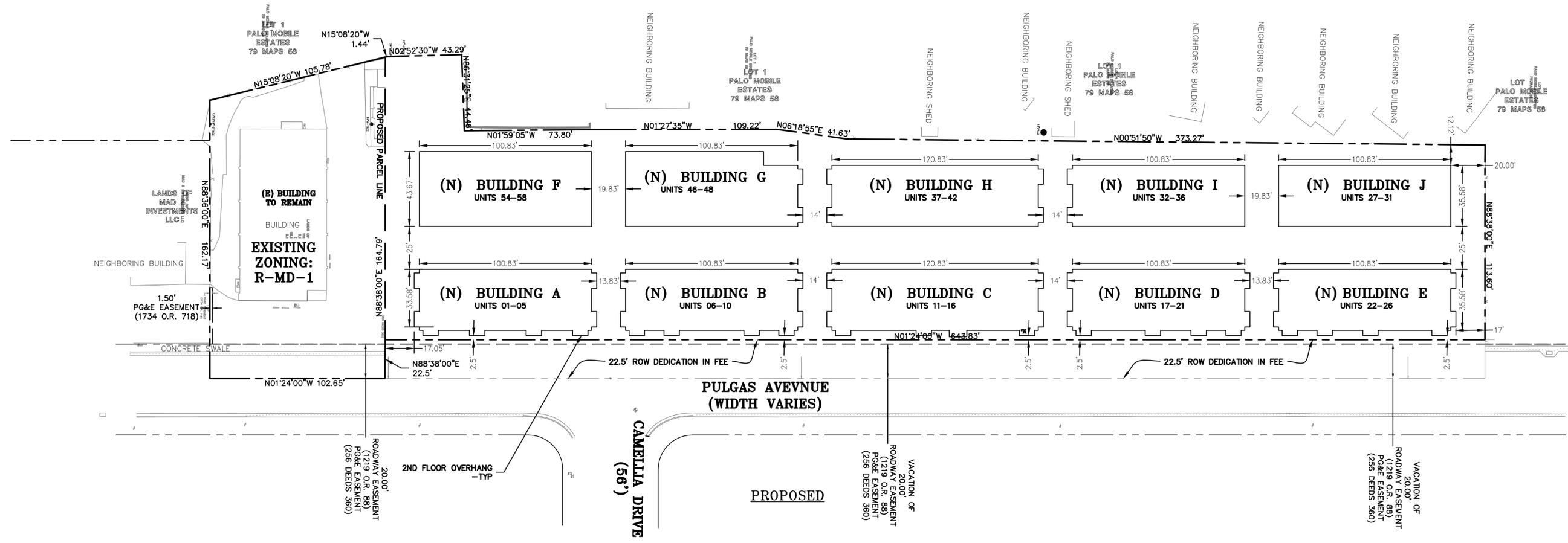
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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

TENTATIVE MAP
 2ND FLOOR LAYOUT
 PLAN

2	CITY COMMENT REV	09-09-25	AV
1	CITY COMMENT REV	08-22-25	AV
	REVISIONS		BY
JOB NO:		2240115	
DATE:		04-03-25	
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CHECKED BY:		JC	
SHEET NO:			

TM-2.3
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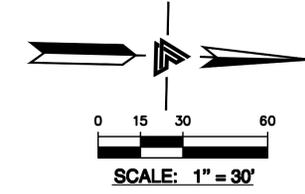
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 COUNTY OF SAN MATEO

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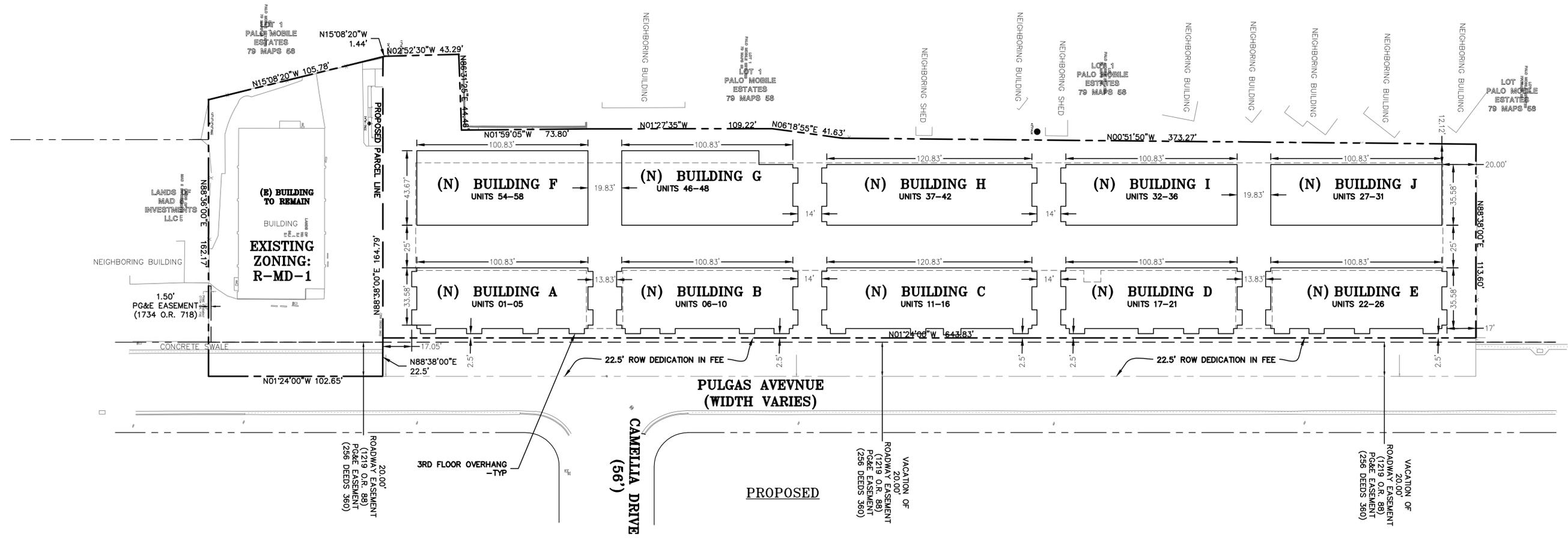
1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

TENTATIVE MAP
 3RD FLOOR LAYOUT
 PLAN

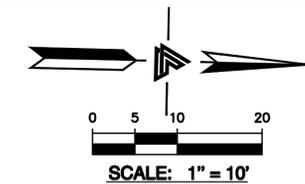
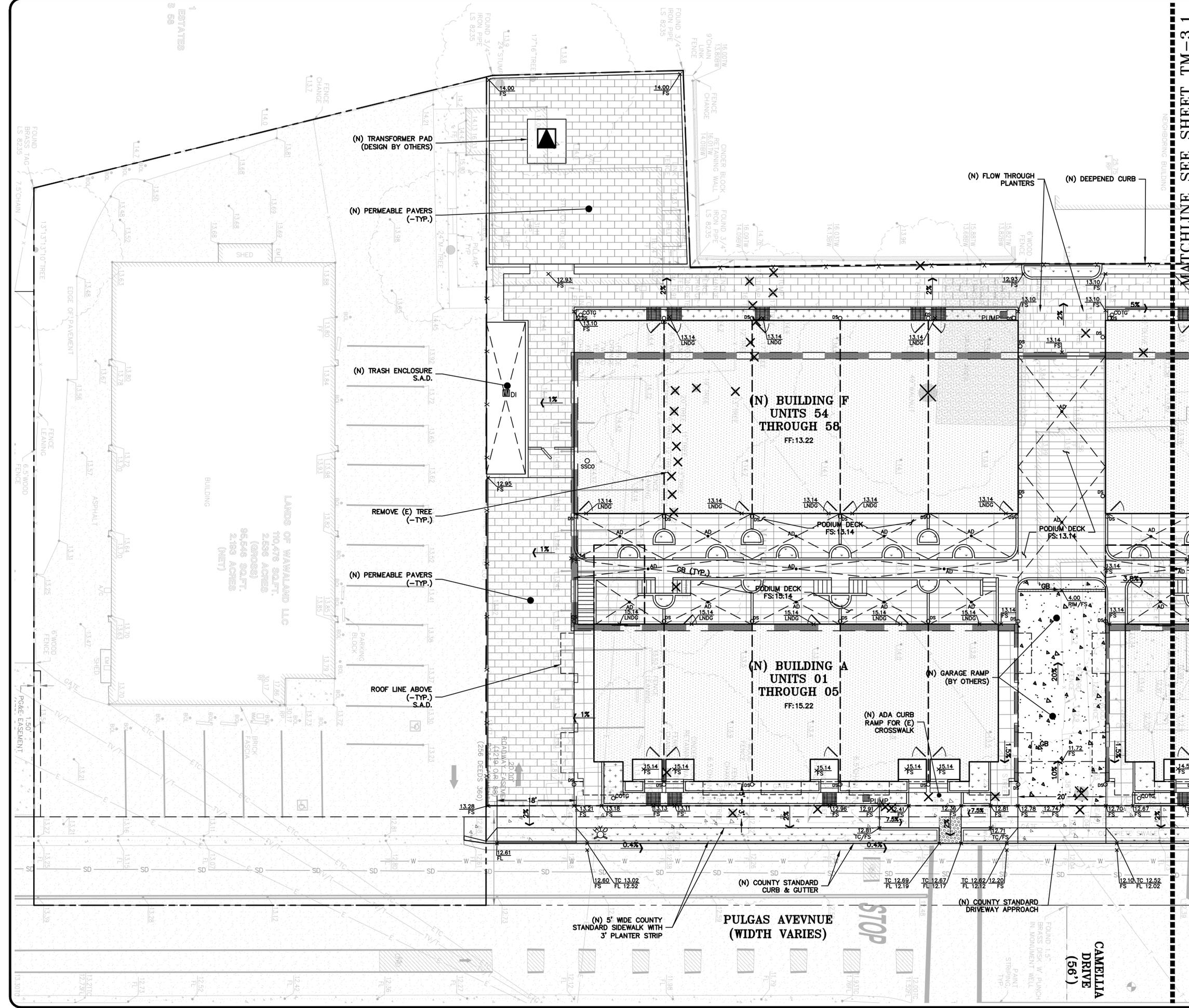
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1	CITY COMMENT REV	08-22-25	AV
	REVISIONS		BY

JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:

TM-2.4
 6 OF 20 SHEETS



APN: 063-492-280
 COUNTY OF SAN MATEO



LEGEND

PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL

MATCHLINE SEE SHEET TM-3.1



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 CIVIL ENGINEERS • LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: 1000 CALIFORNIA HWY. WEST
 HAYWARD, CALIFORNIA 94545
 (510) 887-4086
 WWW.LEABRAZE.COM

1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

PRELIMINARY GRADING
 & DRAINAGE PLAN

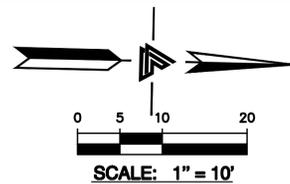
NO.	REVISIONS	BY
2	CITY COMMENT REV 09-09-25	AV
1	CITY COMMENT REV 08-22-25	AV

JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:

MATCHLINE SEE SHEET TM-3.0

MATCHLINE SEE SHEET TM-3.2

LOT 1
PALO MOBILE ESTATES
79 MAPS 53



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HAYWARD, CALIFORNIA 94545
PUEBLA OFFICE:
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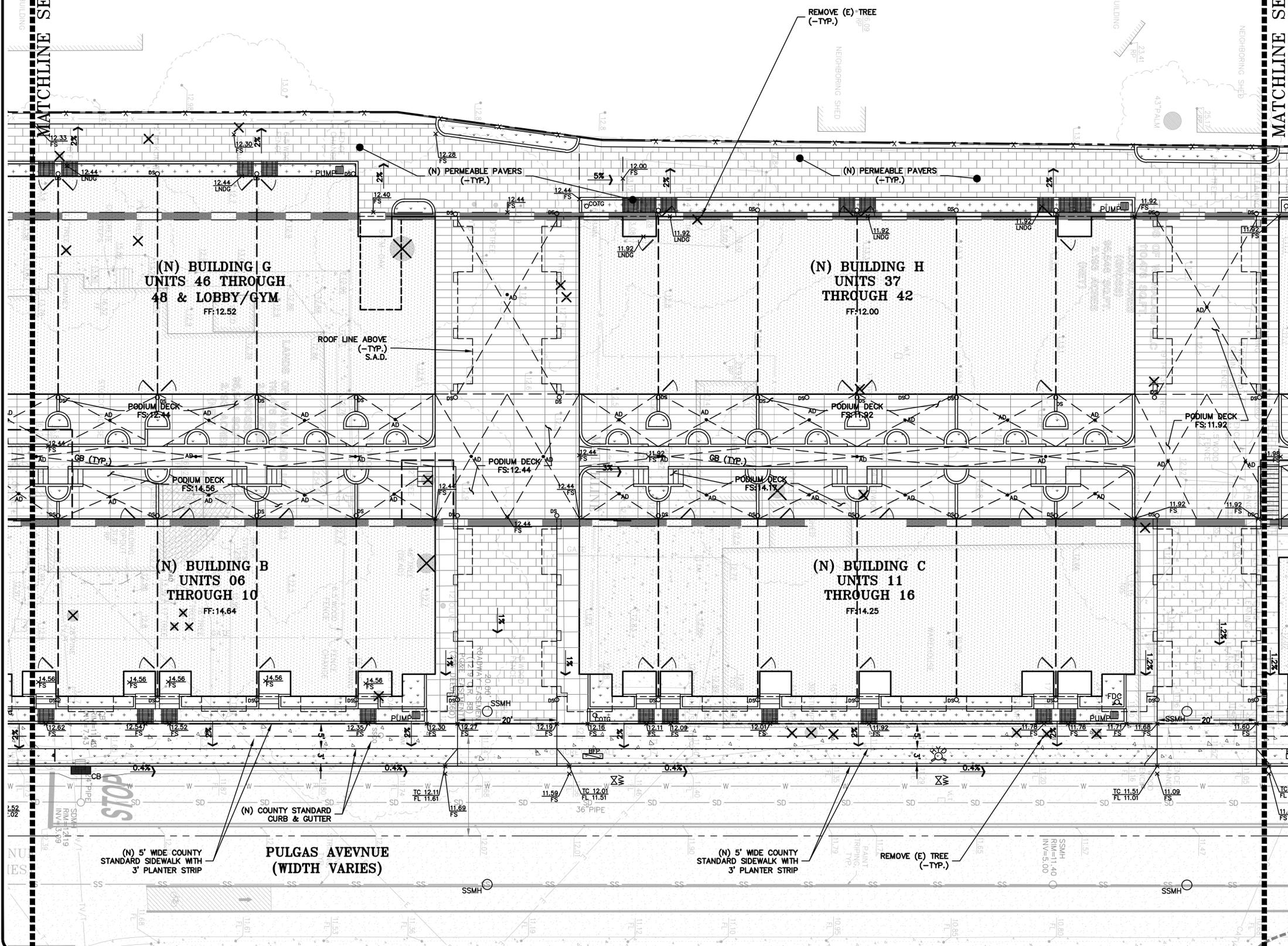
PRELIMINARY GRADING
& DRAINAGE PLAN

CITY COMMENT REV	AV
09-09-25	
CITY COMMENT REV	AV
08-22-25	
REVISIONS	BY
JOB NO:	2240115
DATE:	04-03-25
SCALE:	AS NOTED
DESIGN BY:	AV, ET
CHECKED BY:	JC
SHEET NO:	

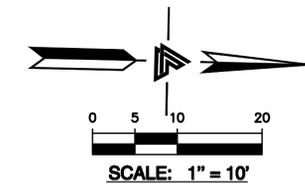
TM-3.1
8 OF 20 SHEETS

LEGEND

PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS S.A.D.
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT S.A.D.
	(N) CONCRETE HARDSCAPE S.A.D.
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



MATCHLINE SEE SHEET TM-3.1



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 CIVIL ENGINEERS • LAND SURVEYORS
 REGIONAL OFFICES:
 1000 W. CALIFORNIA AVENUE, SUITE 100
 HAYWARD, CALIFORNIA 94545
 (510) 887-4086
 WWW.LEABRAZE.COM

1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

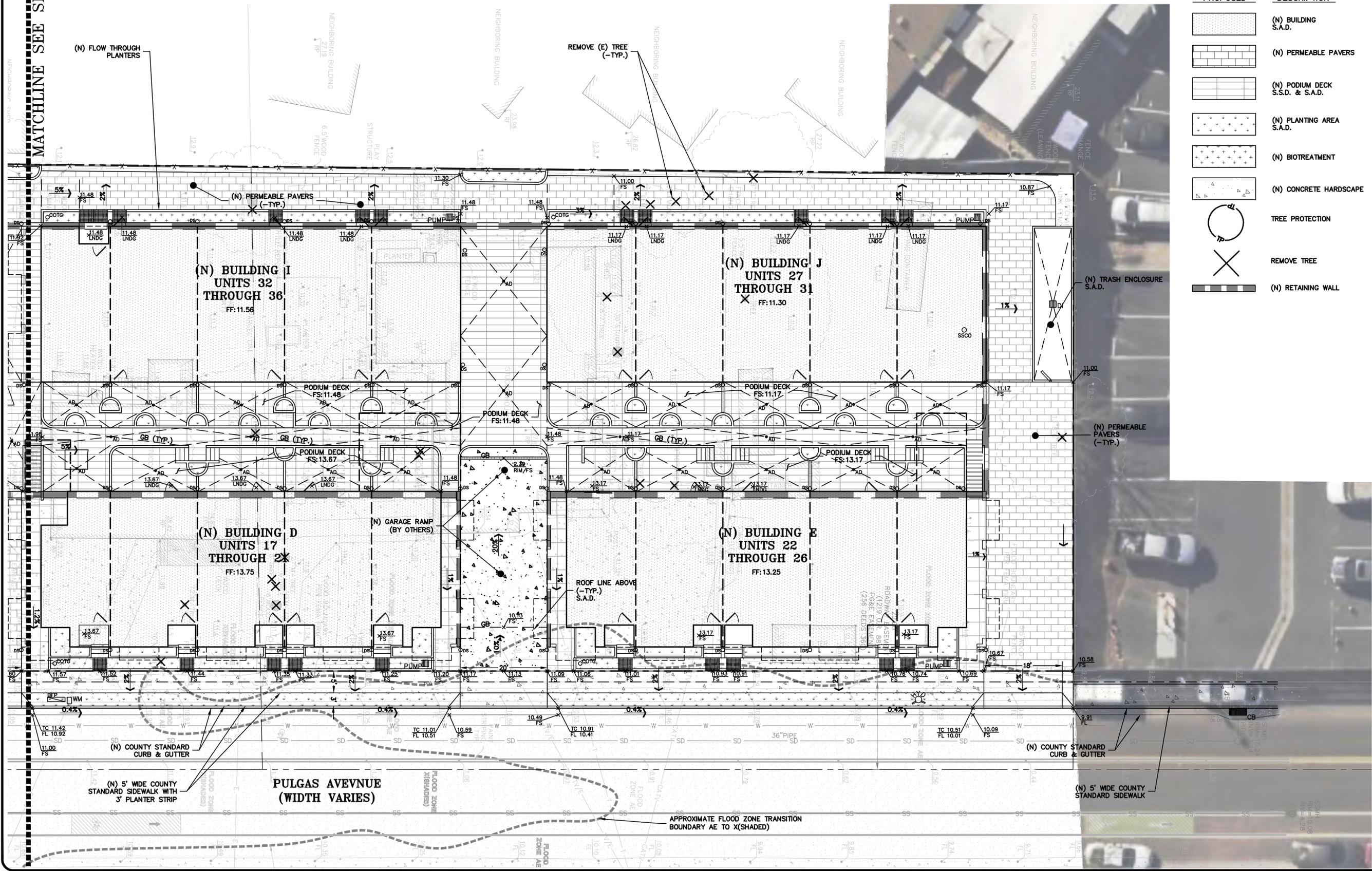
PRELIMINARY GRADING
 & DRAINAGE PLAN

NO.	REVISIONS	BY
2	CITY COMMENT REV 09-09-25	AV
1	CITY COMMENT REV 08-22-25	AV

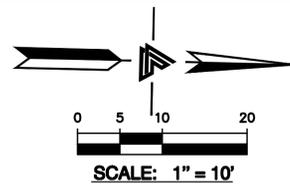
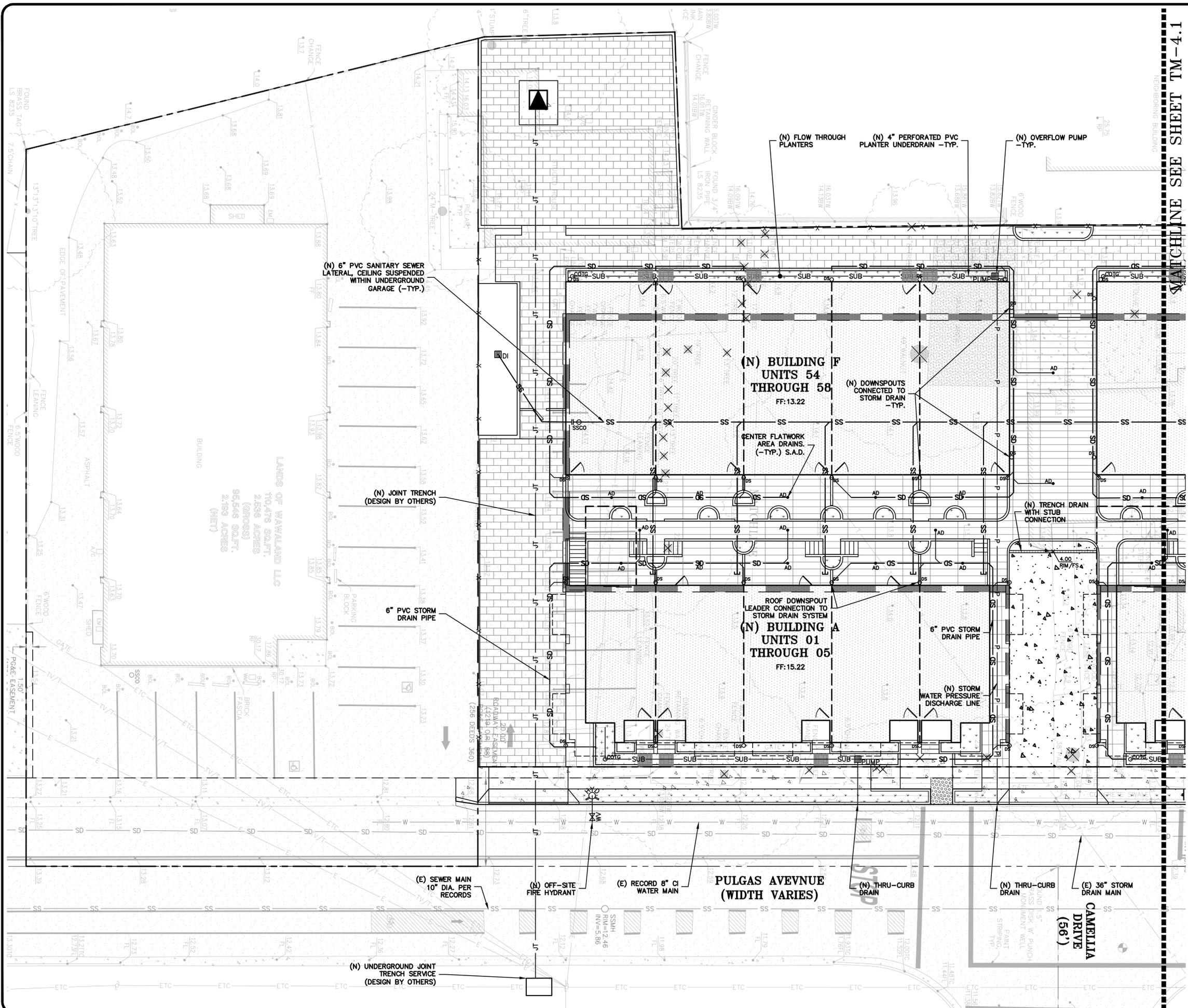
JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:
TM-3.2
 9 OF 20 SHEETS

LEGEND

PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS S.A.D.
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT S.A.D.
	(N) CONCRETE HARDSCAPE S.A.D.
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



APN: 063-492-280
 COUNTY OF SAN MATEO



LEGEND

PROPOSED	DESCRIPTION
[Pattern: Dotted]	(N) BUILDING S.A.D.
[Pattern: Horizontal Lines]	(N) PERMEABLE PAVERS
[Pattern: Vertical Lines]	(N) PODIUM DECK S.S.D. & S.A.D.
[Pattern: Stippled]	(N) PLANTING AREA S.A.D.
[Pattern: Cross-hatched]	(N) BIOTREATMENT
[Pattern: Diagonal Lines]	(N) CONCRETE HARDSCAPE
[Symbol: Circle with 'P']	TREE PROTECTION
[Symbol: Circle with 'X']	REMOVE TREE
[Symbol: Thick Dashed Line]	(N) RETAINING WALL



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 MAIN OFFICE: 1000 CALIFORNIA BLVD., WEST PLEASANTON, CALIFORNIA 94545
 SAN JOSE OFFICE: 1000 CALIFORNIA BLVD., WEST PLEASANTON, CALIFORNIA 94545
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1933 PULGAS AVENUE
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 CALIFORNIA

PRELIMINARY
 UTILITY PLAN

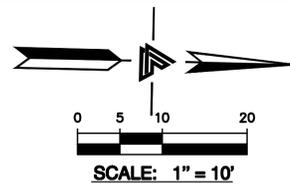
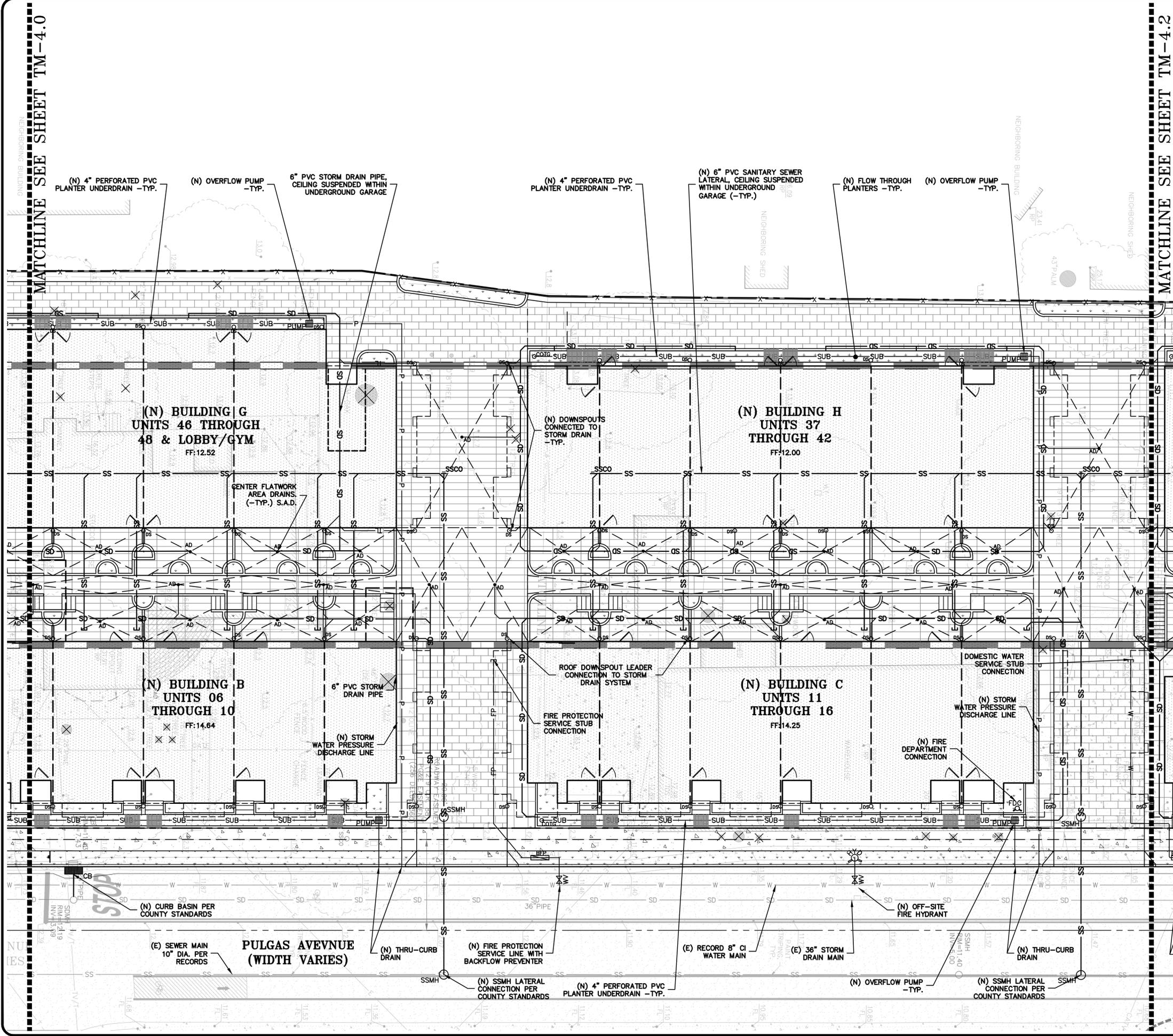
NO.	REVISIONS	BY
2	CITY COMMENT REV 09-09-25	AV
1	CITY COMMENT REV 08-22-25	AV

JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:

TM-4.0
 10 OF 20 SHEETS

MATCHLINE SEE SHEET TM-4.0

MATCHLINE SEE SHEET TM-4.2



LEGEND

PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



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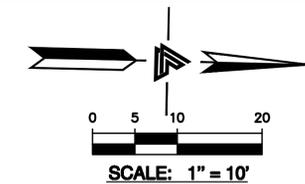
APN: 063-492-280
 COUNTY OF SAN MATEO

PRELIMINARY
 UTILITY PLAN

NO.	REVISIONS	BY
2	CITY COMMENT REV 09-09-25	AV
1	CITY COMMENT REV 08-22-25	AV

JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:

MATCHLINE SEE SHEET TM-4.1



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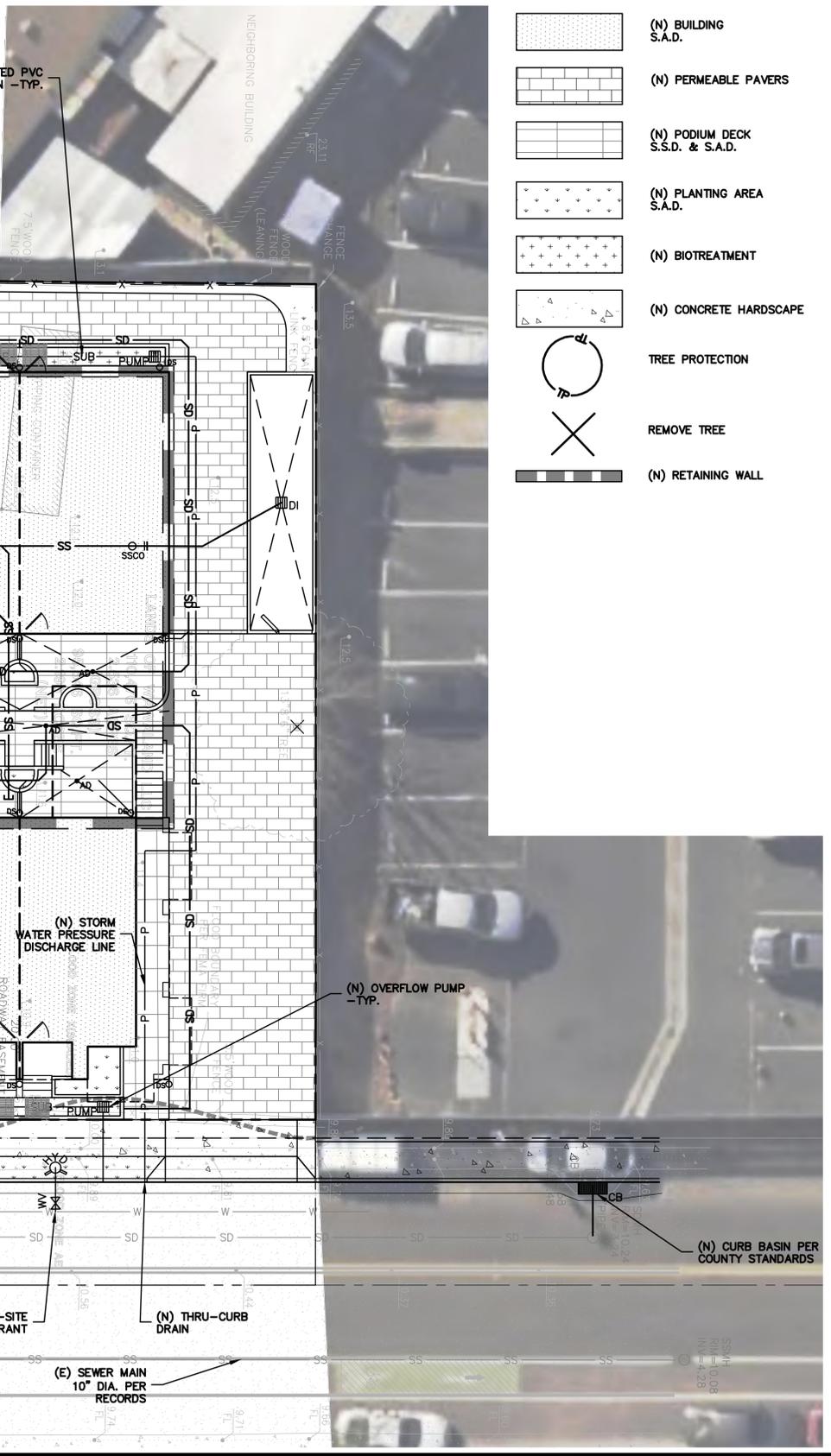
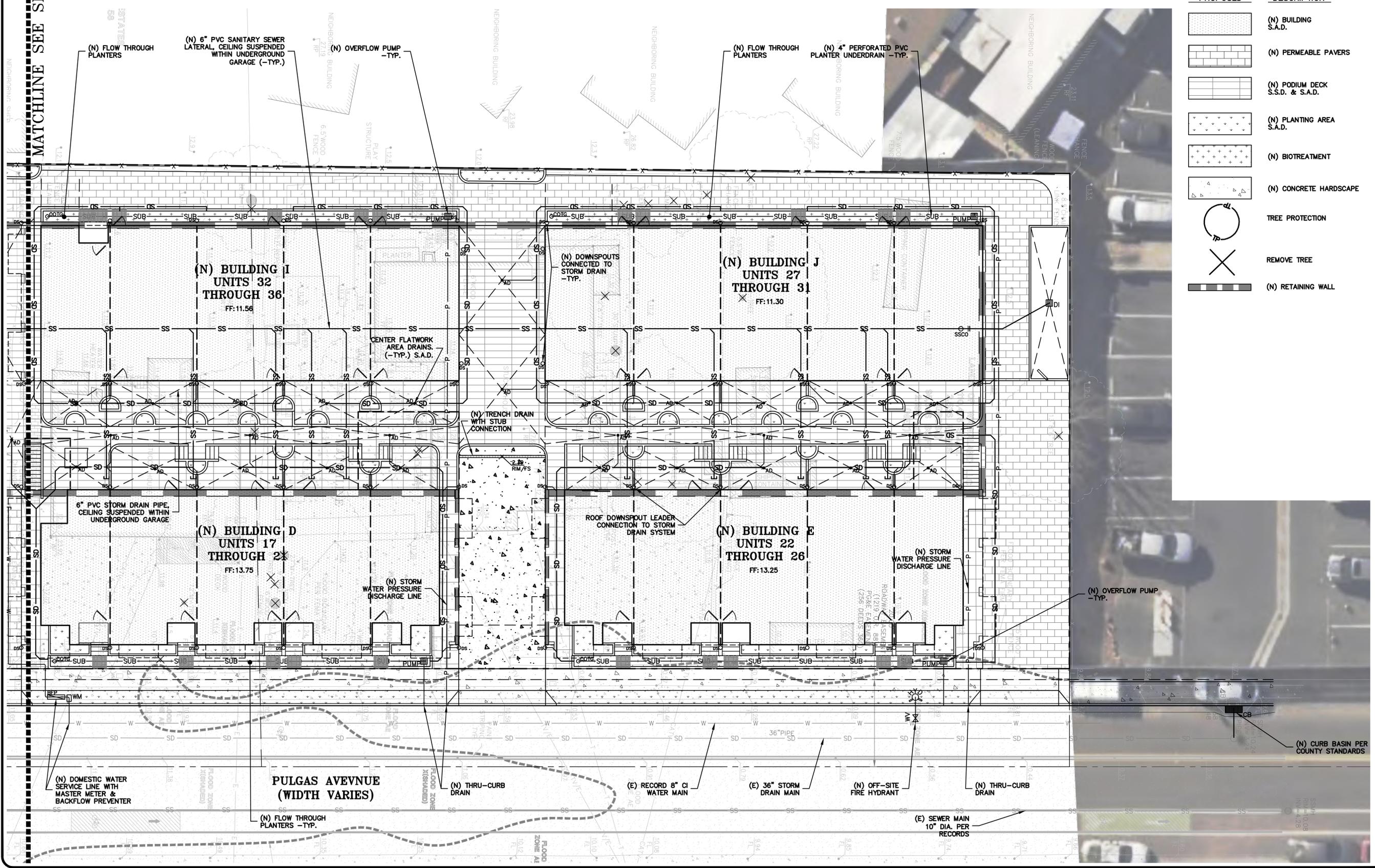
PRELIMINARY
 UTILITY PLAN

NO.	REVISIONS	BY
2	CITY COMMENT REV 09-09-25	AV
1	CITY COMMENT REV 08-22-25	AV

JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:
TM-4.2
 12 OF 20 SHEETS

LEGEND

PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



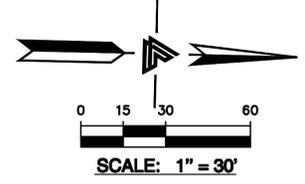
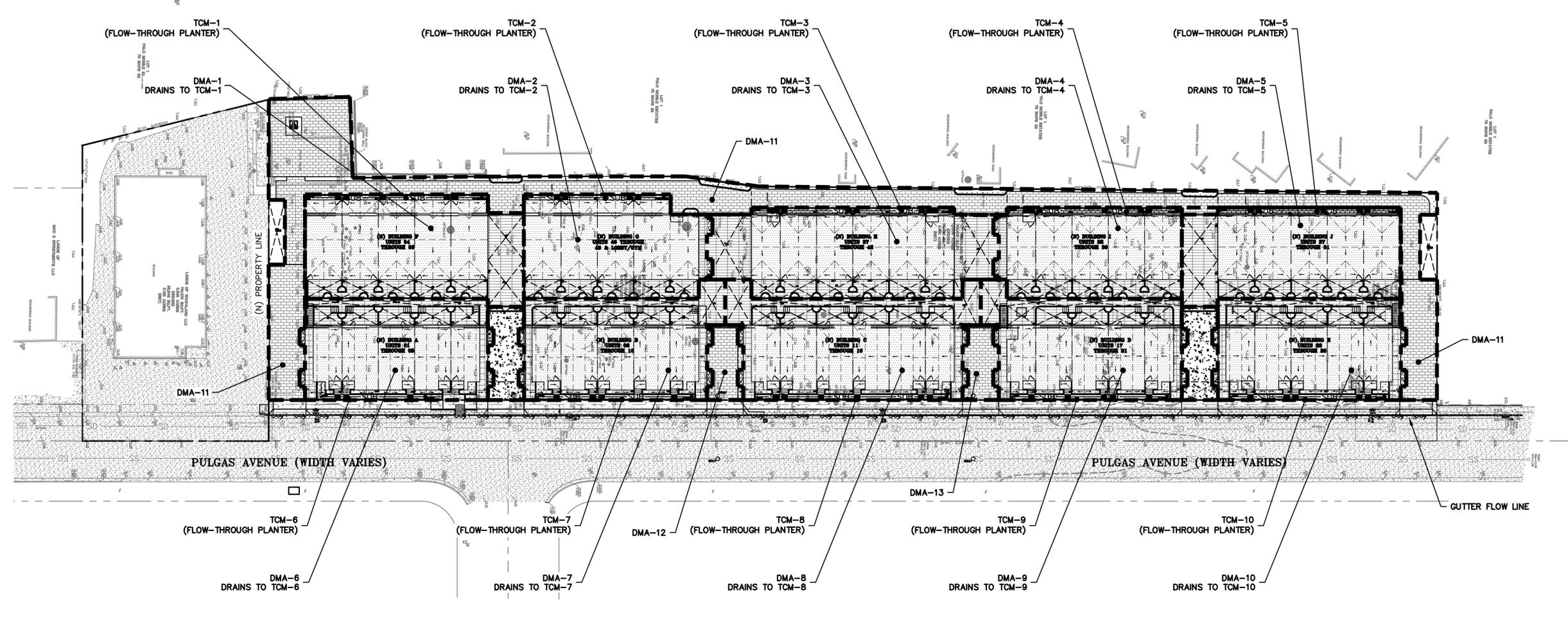


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 REGIONAL OFFICES:
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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

PRELIMINARY STORMWATER
 CONTROL PLAN
 (SITE LAYOUT)

REVISIONS	BY
2	CITY COMMENT REV 09-09-25 AV
1	CITY COMMENT REV 08-22-25 AV
JOB NO:	2240115
DATE:	04-03-25
SCALE:	AS NOTED
DESIGN BY:	AV, ET
CHECKED BY:	JC
SHEET NO:	



DEVELOPMENT AREA INFORMATION

TOTAL SITE AREA	92,531 SQUARE FEET (2.124 ACRE)			
TOTAL PROJECT AREA	93,114 SQUARE FEET (2.138 ACRE)			
TOTAL DISTURBED AREA	85,000 SQUARE FEET (1.951 ACRE)			
IMPERVIOUS AREAS	EXISTING TOTAL S.F.	REMOVED TOTAL S.F.	NEW TOTAL S.F.	PROPOSED TOTAL S.F.
BUILDING ROOF AREA*	13,838	13,838	40,290	40,290
DRIVEWAY & PARKING	9,304	9,304	1,800	1,800
IMPERVIOUS PATIOS & WALKWAYS	5,743	5,743	17,230	17,230
PUBLIC SIDEWALK & ROADWAY	11,313	3,263	4,935	12,985
SHIPPING CONTAINERS	711	711	0	0
OFF-SITE IMPERVIOUS AREA	465	465	0	0
TOTAL IMPERVIOUS AREA	41,374	35,217	64,255	64,255
NET CHANGE IN IMPERVIOUS AREA	+ 22,881 SQFT (NET INCREASE)			
PERVIOUS PAVING				
PERVIOUS PAVEMENT PATIOS & WALKWAYS	0	0	12,490	12,490
TOTAL PERVIOUS PAVING AREA	0	0	12,490	12,490
NET CHANGE IN PERVIOUS PAVING AREA	+ 12,490 SQFT (NET INCREASE)			
TOTAL DEVELOPED AREA	41,374	35,217	76,745	76,745
NET CHANGE IN DEVELOPED AREA	+ 35,371 SQFT (NET INCREASE)			
ON-SITE LANDSCAPE / TREATMENT AREA	51,622			6,513
OFF-SITE LANDSCAPE AREA	118			0
TOTAL PROJECT PERVIOUS AREA	51,740			14,158

*HARDSCAPE BELOW ROOF OVERHANGS INCLUDED IN ROOF AREA

DRAINAGE MANAGEMENT AREA SUMMARY TABLE

DMA ID NUMBER	IMPERVIOUS AREA (ft ²)	PERVIOUS AREA (ft ²)	TREATMENT MEASURE	SIZING CRITERIA	SIZE REQUIRED	SIZE PROVIDED
1	6,468	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	250 ft ²	250 ft ²
2	5,310	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	200 ft ²	200 ft ²
3	6,852	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	275 ft ²	280 ft ²
4	4,654	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	186 ft ²	240 ft ²
5	5,660	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	226 ft ²	250 ft ²
6	5,236	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	211 ft ²	200 ft ²
7	5,592	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	220 ft ²	220 ft ²
8	6,868	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	270 ft ²	270 ft ²
9	5,580	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	220 ft ²	220 ft ²
10	5,300	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	220 ft ²	220 ft ²
11	—	6,575	PERVIOUS PAVEMENT W/O UNDERDRAIN	1B: VOLUME	384 CU. FT.	1,972.50 CU. FT.
12	—	710	PERVIOUS PAVEMENT W/O UNDERDRAIN	1B: VOLUME	41.00 CU. FT.	213.00 CU. FT.
13	—	710	PERVIOUS PAVEMENT W/O UNDERDRAIN	1B: VOLUME	41.00 CU. FT.	213.00 CU. FT.



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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

PRELIMINARY
 STORMWATER CONTROL
 DETAILS

REVISIONS	BY
2	CITY COMMENT REV 09-09-25 AV
1	CITY COMMENT REV 08-22-25 AV
JOB NO:	2240115
DATE:	04-03-25
SCALE:	N.T.S.
DESIGN BY:	AV, ET
CHECKED BY:	JC
SHEET NO:	

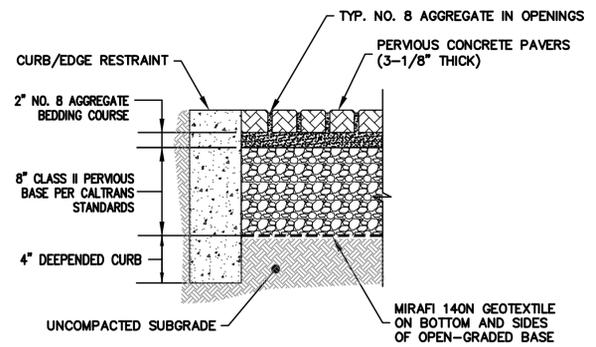
BIO-RETENTION SOIL CONSIDERATIONS
 THE BIO-RETENTION PLANTING SOIL SHALL MEET THE REQUIREMENTS SET FORTH IN APPENDIX L OF THE SAN MATEO COUNTY CLEANWATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK.

BIO-RETENTION SOIL SHALL HAVE A MINIMUM PERCOLATION RATE OF 5" PER HOUR AND MAXIMUM PERCOLATION RATE OF 10" PER HOUR. IF NATIVE SOILS DO NOT MEET THIS PERCOLATION REQUIREMENT, AN ADMIXTURE SHALL BE MIXED INTO PLANTING SOIL TO ALLOW FOR A 5" PER HOUR PERCOLATION RATE. IN-SITU TESTING SHALL BE CONDUCTED TO VERIFY THAT THE MATERIAL MEETS THE PERCOLATION REQUIREMENTS.

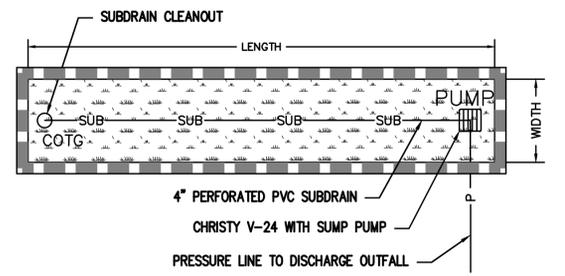
NO BARK MULCH SHALL BE PLACED IN THE VEGETATED AREA.
 IF IMPORT SOIL IS USED, IT SHALL HAVE THE FOLLOWING PROPERTIES FOR SANDY LOAM. A TYPICAL SOIL MIX COMPRISES 50% CONSTRUCTION SAND, 20%-30% TOPSOIL WITH LESS THAN 5% MAXIMUM CLAY CONTENT AN 20%-30% ORGANIC LEAF COMPOST.

NOTE:
 THIS IS A SCHEMATIC DETAIL. REFER TO THE PLANS FOR SPECIFIC INLET AND OUTLET LOCATIONS. REFER TO THE PLANS FOR SPECIFIC OVERFLOW RISER LOCATIONS.

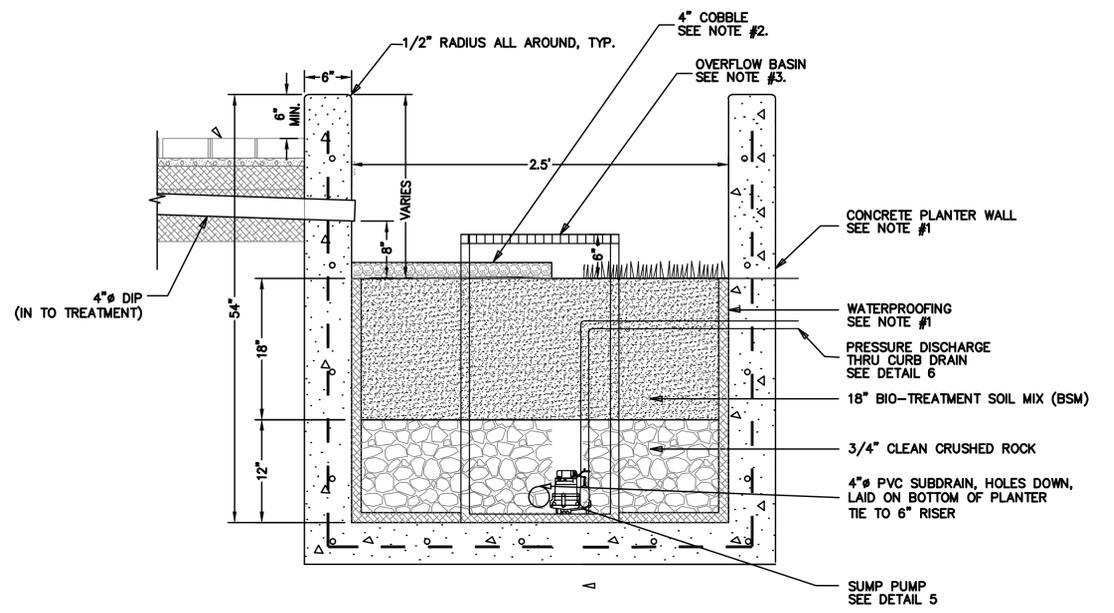
TOM	LENGTH	WIDTH
1	99.83'	2.5'
2	79.83'	2.5'
3	110.83'	2.5'
4	95.33'	2.5'
5	99.83'	2.5'
6	VARIES	2.5'
7	87.50'	2.5'
8	107.50'	2.5'
9	87.50'	2.5'
10	87.50'	2.5'



1 PERVIOUS PAVER SECTION
 SCP-3.0 NTS



2 FLOW-THROUGH PLANTERS
 SCP-3.0 NTS

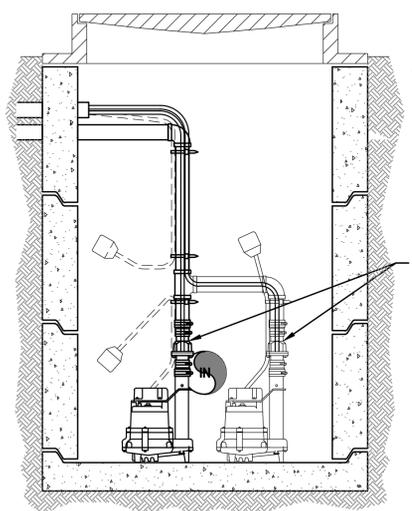


NOTE:
 1. CONCRETE PLANTER AND WATERPROOFING DESIGN BY OTHERS.
 2. PLACE 4" MINIMUM COBBLE FOR 2' AROUND DOWNSPOUT.
 3. ATRIUM GRATE TO BE NDS 6" POLYOLEFIN ATRIUM GRATE, COLOR BLACK.

4 SUNKEN FLOW-THROUGH PLANTER
 SCP-3.0 NTS

PUMP PURPOSE: FLOW-THRU PLANTER STORM DRAIN LIFT

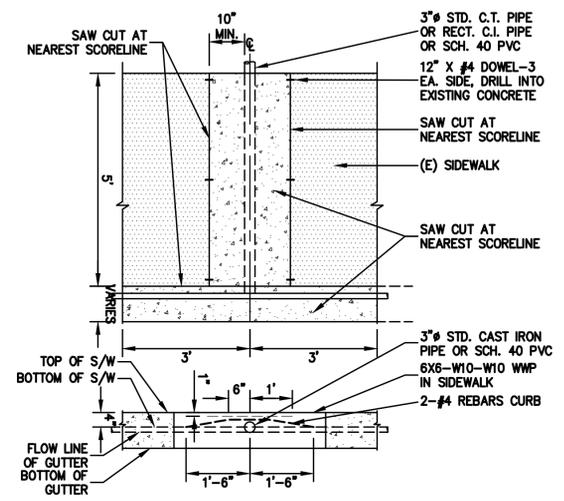
SPECIFICATION	QUANTITY	CONTAINMENT
ZOELLER 151	SIMPLEX (SINGLE)	CHRISTY V-24
ZOELLER 153	DUPLEX (DOUBLE)	30" HDPE
		CONCRETE MANHOLE



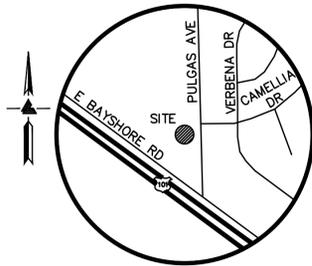
5 SUMP PUMP
 NTS

- PUMP NOTES:**
- SUBSURFACE DRAINAGE SYSTEMS (IF APPLICABLE) AND SURFACE STORM DRAIN SYSTEMS (IF APPLICABLE) SHALL REMAIN DEDICATED SEPARATE SYSTEMS AND SHALL NOT CONNECT TO EACH OTHER.
 - SIMPLEX PUMPS MAY BE CONTROLLED BY PIGGYBACK FLOAT SWITCH OR VIA HARD WIRE TO CONTROL PANEL.
 - DUPLEX PUMPS SHALL BE HARD WIRED TO ALTERNATING CONTROL PANEL AND OPERATE VIA FLOAT SWITCHES.
 - RAIL SYSTEM SHALL BE UTILIZED FOR PUMPS DEEPER THAN 5' BELOW GROUND SURFACE.
 - ALL PUMPS SHALL HAVE AUDIBLE HIGH WATER LEVEL ALARM IN LOCATION TO ALERT OWNER OR CONNECTED TO BUILDING SECURITY SYSTEM.
 - ALL WIRING SHALL BE PER APPLICABLE CODE AND SHALL BE LOCATED PER CONTRACTOR / ELECTRICIAN.
 - HDPE SHALL HAVE SOLID LID BOLTED DOWN.

NOTE: BACK-UP POWER IS RECOMMENDED. NOTIFY ENGINEER IF OMITTED FROM PROPOSED PROJECT.



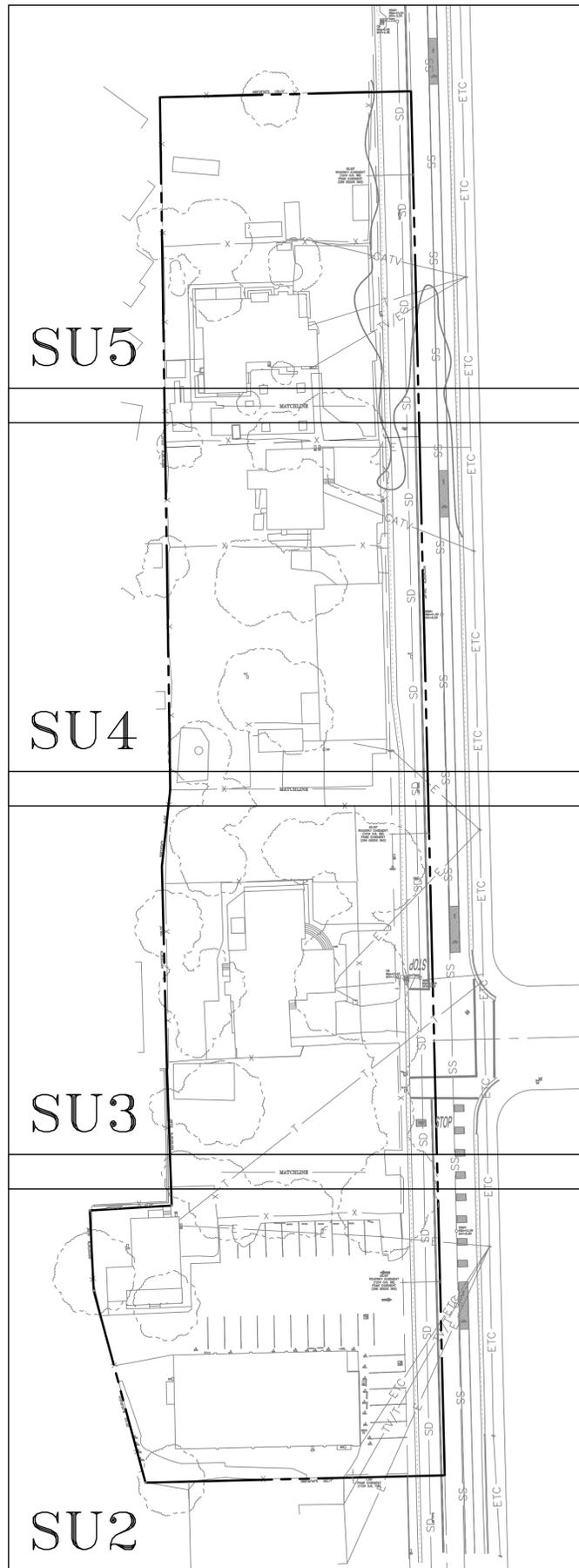
6 CURB DRAIN INLET
 NTS



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- CATV - CABLE TV OVERHEAD LINE
- E - ELECTRICAL OVERHEAD LINE
- ETC - ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- T - TELEPHONE OVERHEAD LINE
- TV/E - ELECTRICAL/CABLE TV OVERHEAD LINE
- TV/T - TELEPHONE/CABLE TV OVERHEAD LINE
- - - EASEMENT
- x - FENCE LINE
- - - FLOW LINE
- SS - SANITARY SEWER LINE
- SD - STORM DRAIN LINE
- A/C AIR CONDITIONING UNIT
- AD AREA DRAIN
- BENCHMARK
- BOL BOLLARD
- BW BOTTOM RETAINING WALL
- ▨ CB CATCH BASIN
- EM ELECTRICAL METER
- FF FINISH FLOOR
- ⊗ FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- INV INVERT
- ⊗ ICV IRRIGATION CONTROL VALVE
- β JOINT POLE
- M- MULTI-TRUNK TREE
- RP ROOF PEAK
- RF ROOF FLAT
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MAINTENANCE HOLE
- SIGN SIGN
- SDMH STORM DRAIN MAINTENANCE HOLE
- VLT UTILITY VAULT
- TC TOP OF CURB
- TW TOP OF RETAINING WALL
- WM WATER METER
- ⊗ WV WATER VALVE
- XXX.XX SPOTGRADE
- ASPHALT ASPHALT
- BRICK BRICK
- CONCRETE CONCRETE
- GRAVEL GRAVEL
- WOOD WOOD



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE GROSS AREA OF THE SURVEYED LOT IS 110,476± SQUARE FEET / 2.536± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, TITLE NO. FWTO-3762500604-JJ, DATED AUGUST 25, 2025.
 PG&E EASEMENT PER DOCUMENT (252 DEEDS 486) - THE EXACT LOCATION OF THIS EASEMENT IS NOT DISCLOSED OF RECORD.

TREE NOTE

TREE SIZE, TYPE AND DRILINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

BENCHMARK

CITY OF EAST PALO ALTO BENCHMARK
 CITY BM 1
 DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN THE LAWN IN UNIVERSITY SQUARE PARK AT TATE AND OAKES STREETS IN THE CITY OF EAST PALO ALTO LOCATED AT THE EAST SIDE OF THE CONCRETE PATH
 ELEVATION = 13.17'
 (NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
 MAG AND SHINER SET IN ASPHALT
 ELEVATION = 12.35'
 (NAVD 88 DATUM)

BASIS OF BEARINGS

THE BEARING NORTH 1°24'00" WEST OF THE CENTERLINE OF PULGAS AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED, "PALO MOBILE ESTATES" FILED IN BOOK 79 OF PARCEL MAPS AT PAGES 58-59, SAN MATEO COUNTY RECORDS WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.

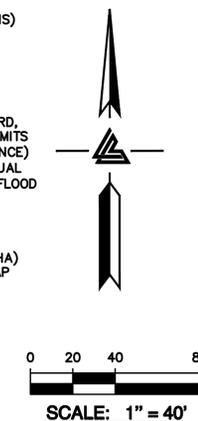
FEMA FLOOD NOTE

PORTIONS OF SURVEYED PROPERTY LIE WITHIN FLOOD ZONES: AE, X(SHADED) AND X

ZONE: AE
 100-YEAR BASE FLOOD ELEVATION (BFE): 10.3' (NAVD88 DATUM)
 PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
 FEMA FLOOD INSURANCE STUDY (FIS) FOR SAN MATEO COUNTY, CA
 NO.: 06081C001D
 REVISED: APRIL 5, 2019
 (SEE SHEETS SU4 & SU5)

ZONE: X(SHADED)
 AREAS OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR (1% ANNUAL CHANCE) AND 500-YEAR FLOODS (0.2% ANNUAL CHANCE) AND OUTSIDE THE SPECIAL FLOOD HAZARD AREA (SFHA)

ZONE: X
 PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
 FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0309F
 EFFECTIVE DATE: APRIL 5, 2019



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1933 PULGAS AVENUE
 EAST PALO ALTO
 CALIFORNIA
 SAN MATEO COUNTY APN: 063-492-280

TOPOGRAPHIC SURVEY

UPDATED TITLE REP 9-19-25	MT
ADD. PARCEL LINE 9-9-24	MT
FEMA FLOOD INFO 08/29/2024	PCW
REVISIONS	BY
JOB NO: 2230335	
DATE: 6-6-23	
SCALE: 1"=40'	
BNDY BY: MT	
FIELD BY: JC	
DRAWN BY: ZB	
SHEET NO:	

SU1
 1 OF 5 SHEETS



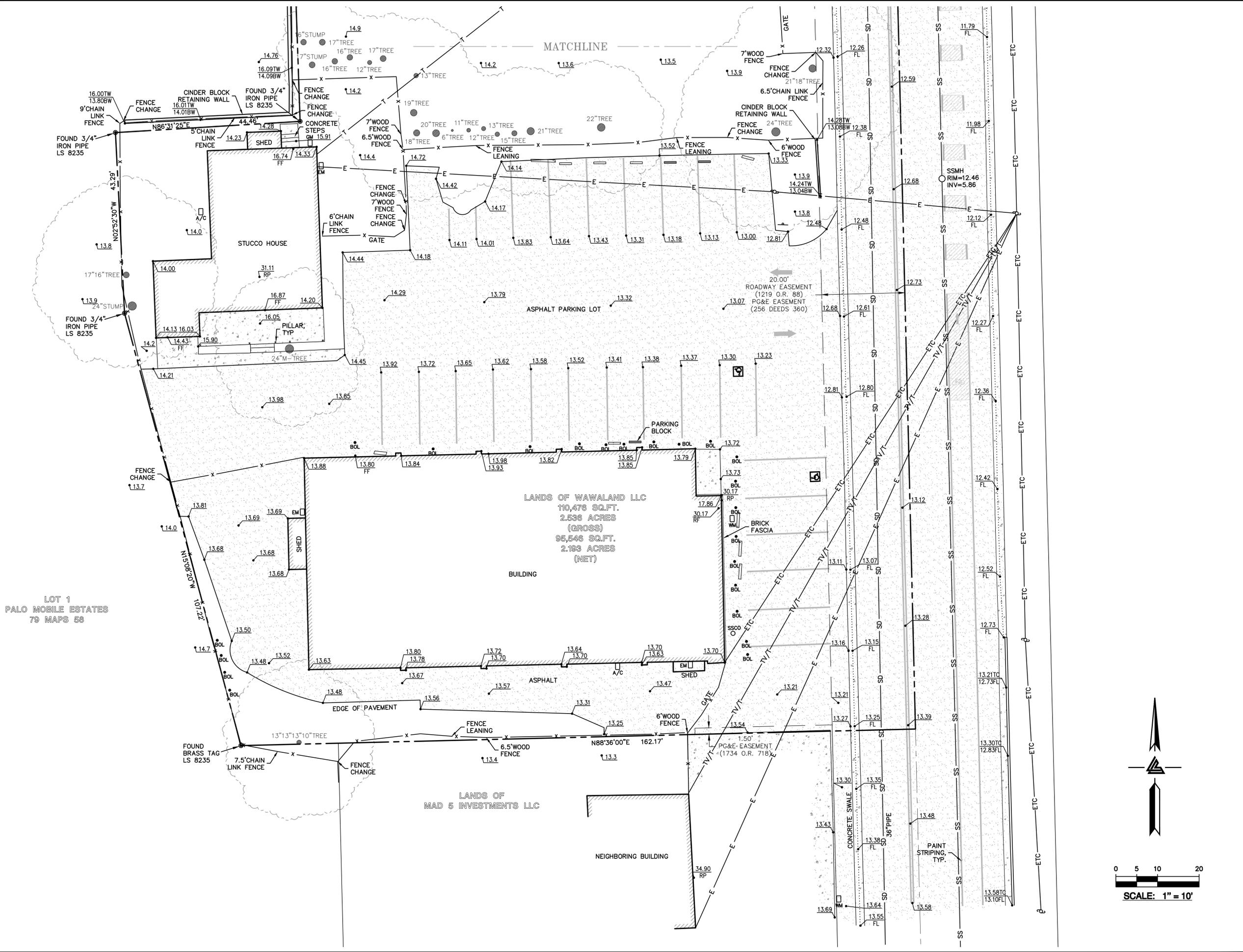
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
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 SAN LEANDE, CALIFORNIA 95678
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**1933 PULGAS AVENUE
 EAST PALO ALTO
 CALIFORNIA**

SAN MATEO COUNTY APN: 063-492-280

TOPOGRAPHIC SURVEY

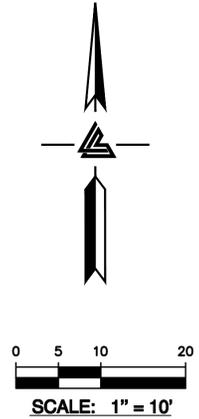
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ADD. PARCEL LINE 9-9-24	MT
FEMA FLOOD INFO 08/29/2024	PCW
REVISIONS	BY
JOB NO: 2230335	
DATE: 6-6-23	
SCALE: 1"=10'	
BNDY BY: MT	
FIELD BY: JC	
DRAWN BY: ZB	
SHEET NO:	



LOT 1
PALO MOBILE ESTATES
79 MAPS 58

LANDS OF WAWALAND LLC
110,476 SQ.FT.
2.536 ACRES (GROSS)
95,546 SQ.FT.
2.193 ACRES (NET)

LANDS OF
MAD 5 INVESTMENTS LLC





LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: 2495 INDUSTRIAL PARKWAY WEST, CALIFORNIA 94545
 ROSEVILLE, CALIFORNIA 94545
 SAN JOSE, CALIFORNIA 95128
 SAN LEANDE, CALIFORNIA 95754
 SAN JOSE, CALIFORNIA 95128
 SAN JOSE, CALIFORNIA 95128
 WWW.LEABRAZE.COM

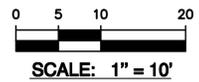
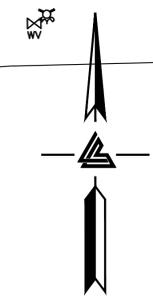
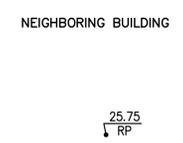
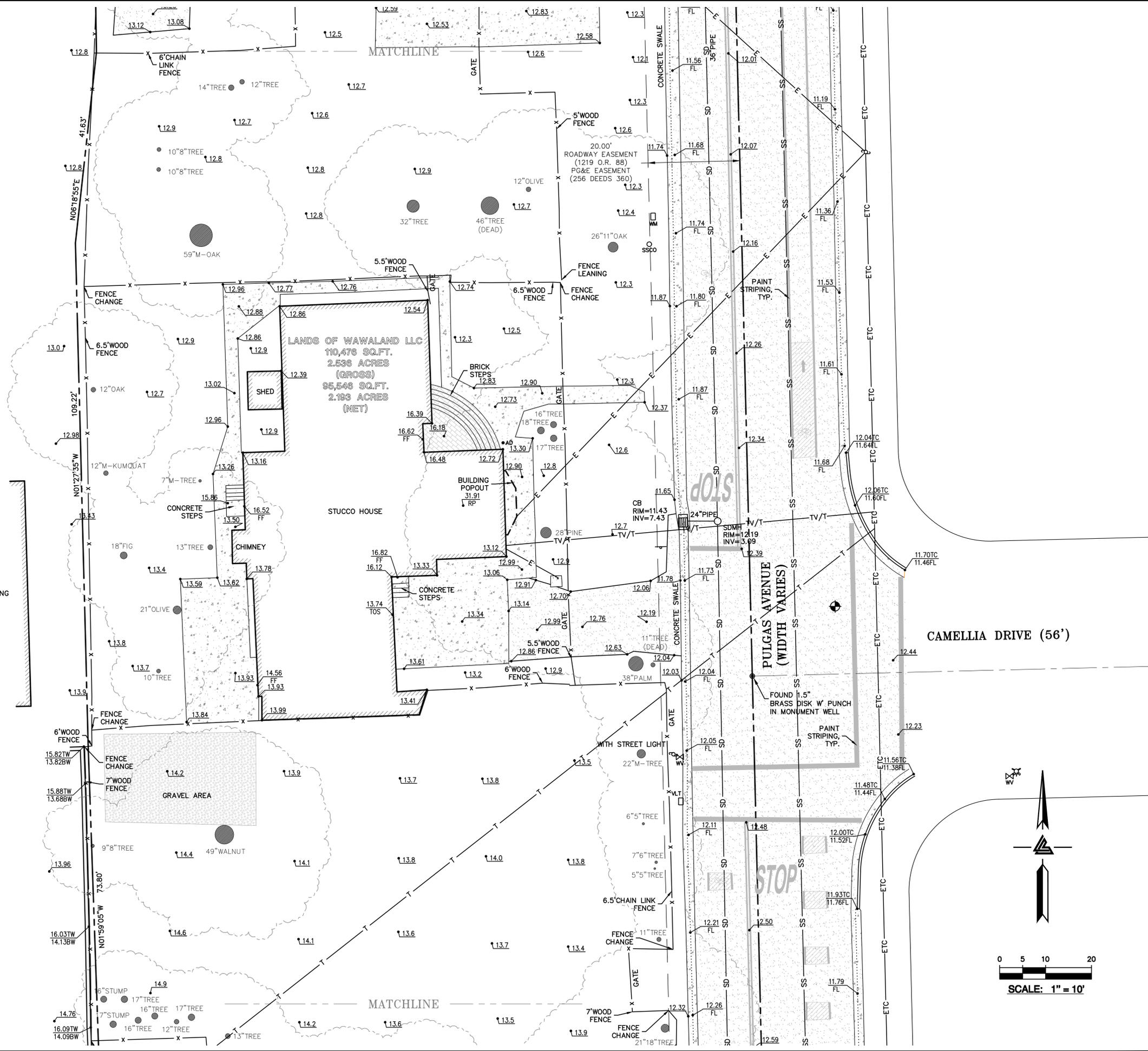
**1933 PULGAS AVENUE
 EAST PALO ALTO
 CALIFORNIA**

TOPOGRAPHIC SURVEY

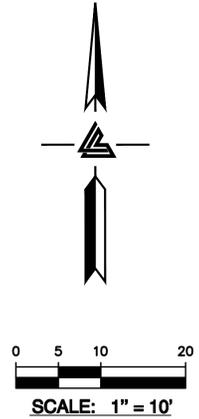
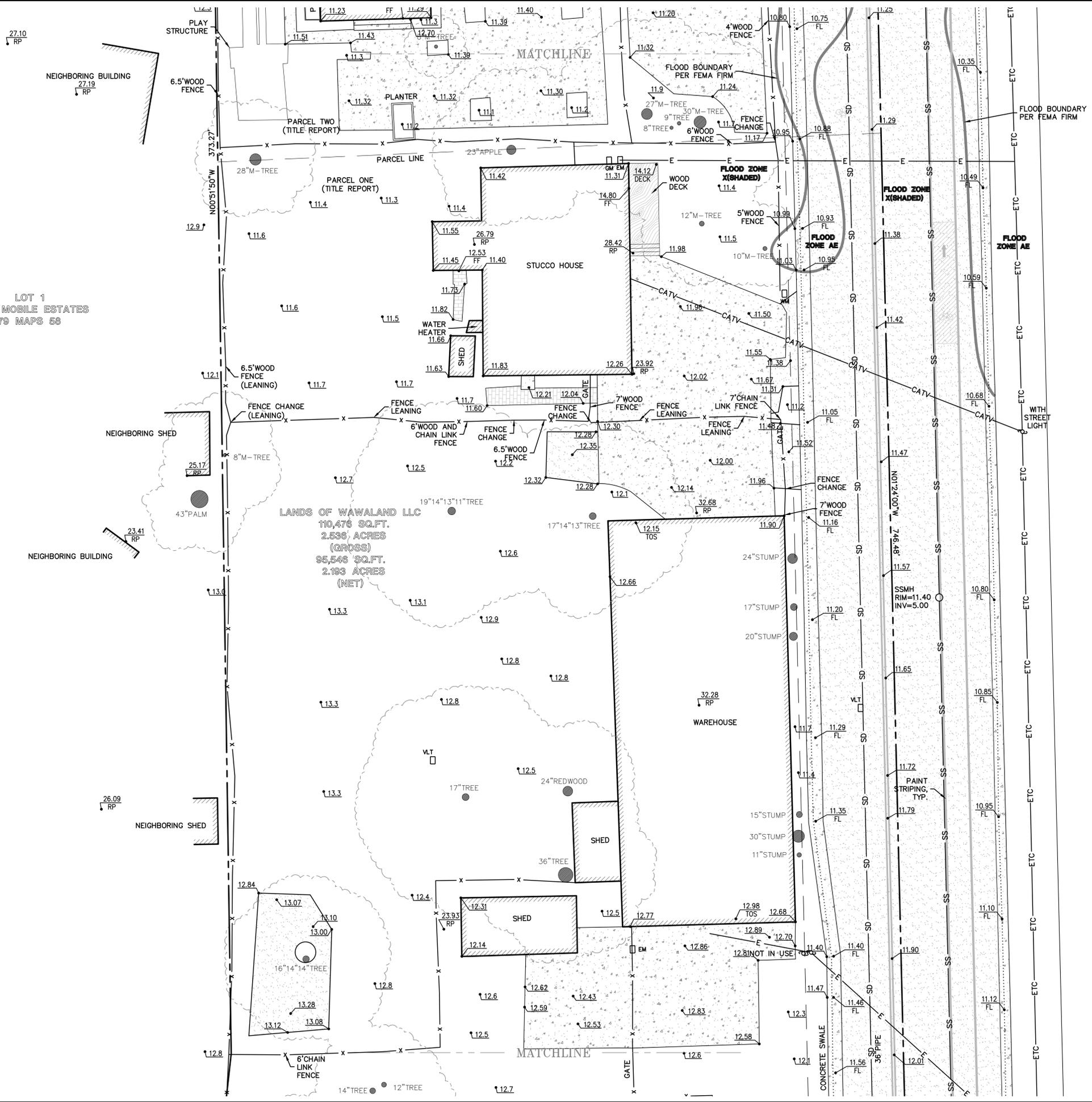
UPDATED TITLE REP	9-19-25	MT
ADD. PARCEL LINE	9-9-24	MT
FEMA FLOOD INFO	08/29/2024	PCW
REVISIONS		BY
JOB NO:	2230335	
DATE:	6-6-23	
SCALE:	1"=10'	
BNDY BY:	MT	
FIELD BY:	JC	
DRAWN BY:	ZB	
SHEET NO:		

SUB
 3 OF 5 SHEETS

LOT 1
 PALO MOBILE ESTATES
 79 MAPS 58



LOT 1
PALO MOBILE ESTATES
79 MAPS 58



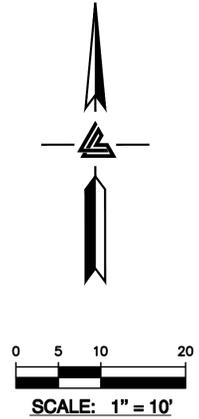
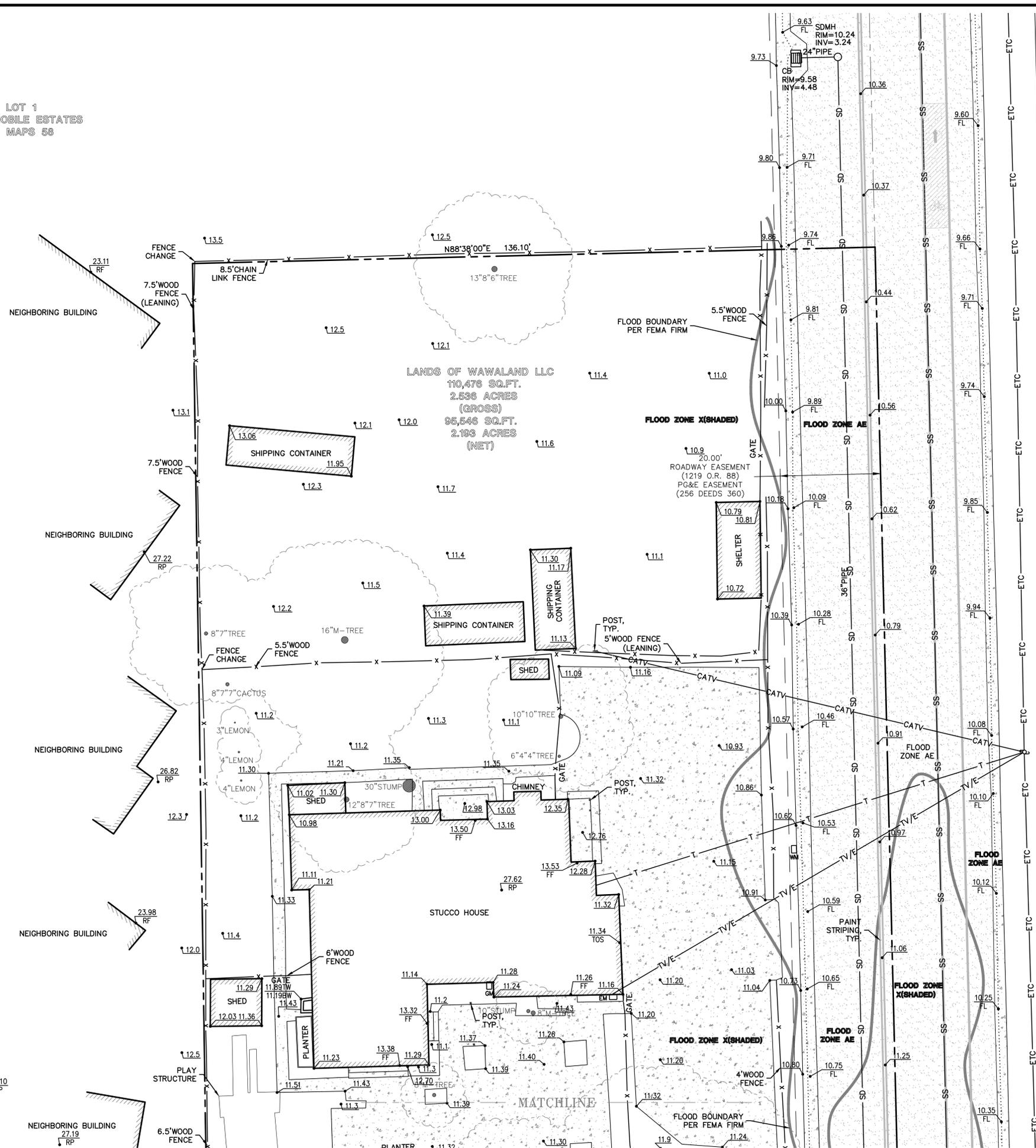
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: 2495 INDUSTRIAL PARKWAY WEST
 SAN JOSE, CALIFORNIA 94545
 (510) 887-4666
 WWW.LEABRAZE.COM

1933 PULGAS AVENUE
 EAST PALO ALTO
 CALIFORNIA

TOPOGRAPHIC SURVEY

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LOT 1
PALO MOBILE ESTATES
79 MAPS 58



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS | LAND SURVEYORS
REGIONAL OFFICES:
ROSEVILLE
CALIFORNIA 95645
SAN JOSE
CALIFORNIA 95128
SAN LUIS OBISPO
CALIFORNIA 95050
WWW.LEABRAZE.COM

1933 PULGAS AVENUE
EAST PALO ALTO
CALIFORNIA

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SU5
5 OF 5 SHEETS

APN: 063-492-280
SAN MATEO COUNTY