

LEGEND

PROPOSED	DESCRIPTION
[Pattern: Dotted]	(N) BUILDING S.A.D.
[Pattern: Horizontal Lines]	(N) PERMEABLE PAVERS
[Pattern: Vertical Lines]	(N) PODIUM DECK S.S.D. & S.A.D.
[Pattern: Dotted with X's]	(N) PLANTING AREA S.A.D.
[Pattern: Dotted with +s]	(N) BIOTREATMENT
[Pattern: Dotted with #s]	(N) CONCRETE HARDSCAPE
[Symbol: Circle with 'P']	TREE PROTECTION
[Symbol: X]	REMOVE TREE
[Symbol: Thick Dashed Line]	(N) RETAINING WALL



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 CIVIL ENGINEERS • LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: 1000 CALIFORNIA HWY. WEST
 HAYWARD, CALIFORNIA 94545
 (510) 887-4086
 WWW.LEABRAZE.COM

1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

PRELIMINARY GRADING
 & DRAINAGE PLAN

NO.	REVISIONS	BY
2	CITY COMMENT REV 09-09-25	AV
1	CITY COMMENT REV 08-22-25	AV

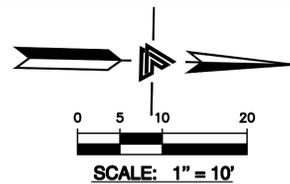
JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:

TM-3.0
 7 OF 20 SHEETS

MATCHLINE SEE SHEET TM-3.0

MATCHLINE SEE SHEET TM-3.2

LOT 1
PALO MOBILE ESTATES
79 MAPS 53



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CALIFORNIA

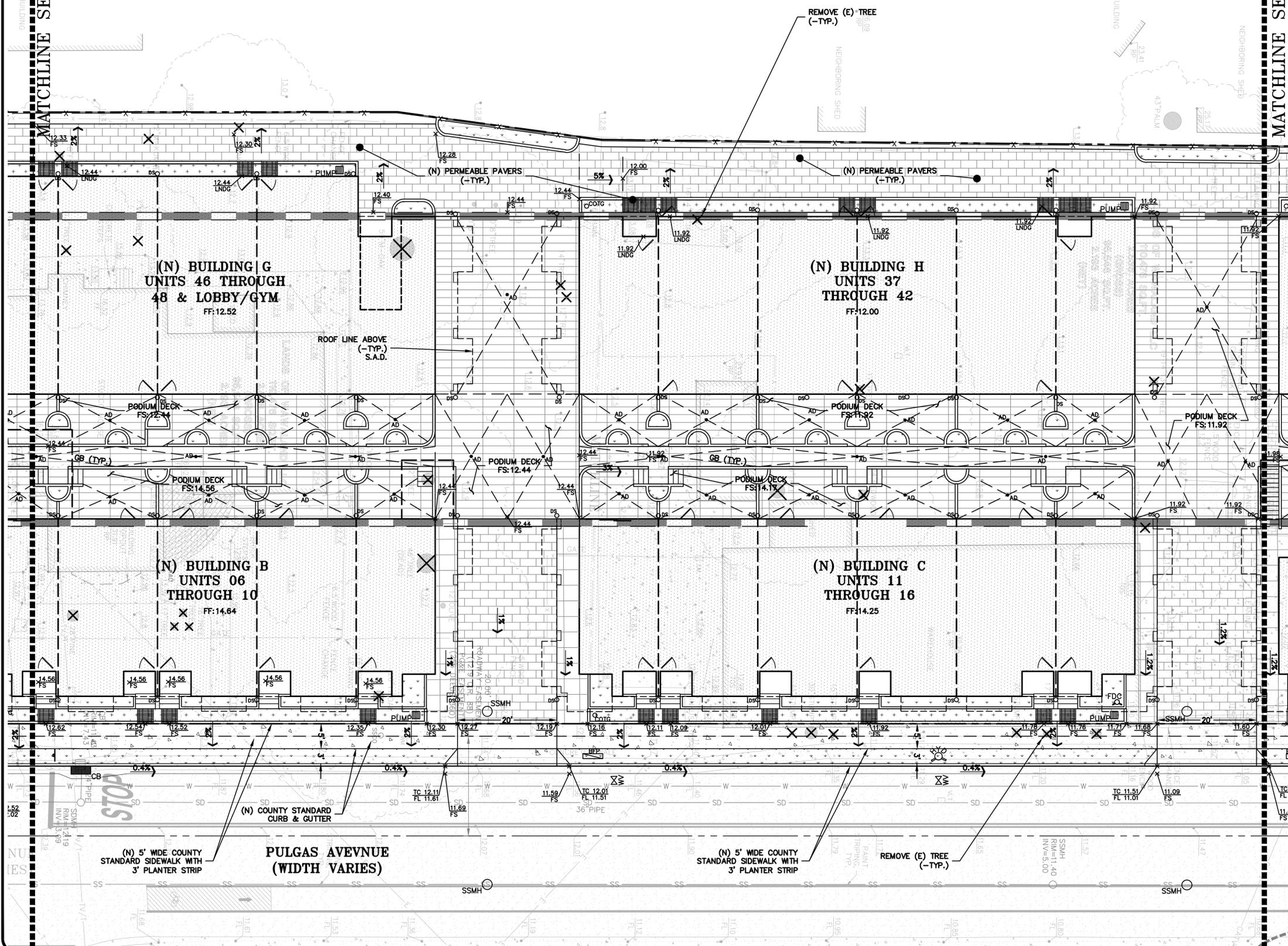
PRELIMINARY GRADING
& DRAINAGE PLAN

CITY COMMENT REV	AV
09-09-25	
CITY COMMENT REV	AV
08-22-25	
REVISIONS	BY
JOB NO:	2240115
DATE:	04-03-25
SCALE:	AS NOTED
DESIGN BY:	AV, ET
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SHEET NO:	

TM-3.1
8 OF 20 SHEETS

LEGEND

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	(N) BUILDING S.A.D.
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	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



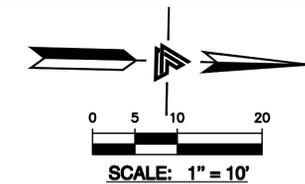
(N) 5' WIDE COUNTY STANDARD SIDEWALK WITH 3' PLANTER STRIP

PULGAS AVENUE
(WIDTH VARIES)

(N) 5' WIDE COUNTY STANDARD SIDEWALK WITH 3' PLANTER STRIP

REMOVE (E) TREE (-TYP.)

MATCHLINE SEE SHEET TM-3.1



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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

PRELIMINARY GRADING
 & DRAINAGE PLAN

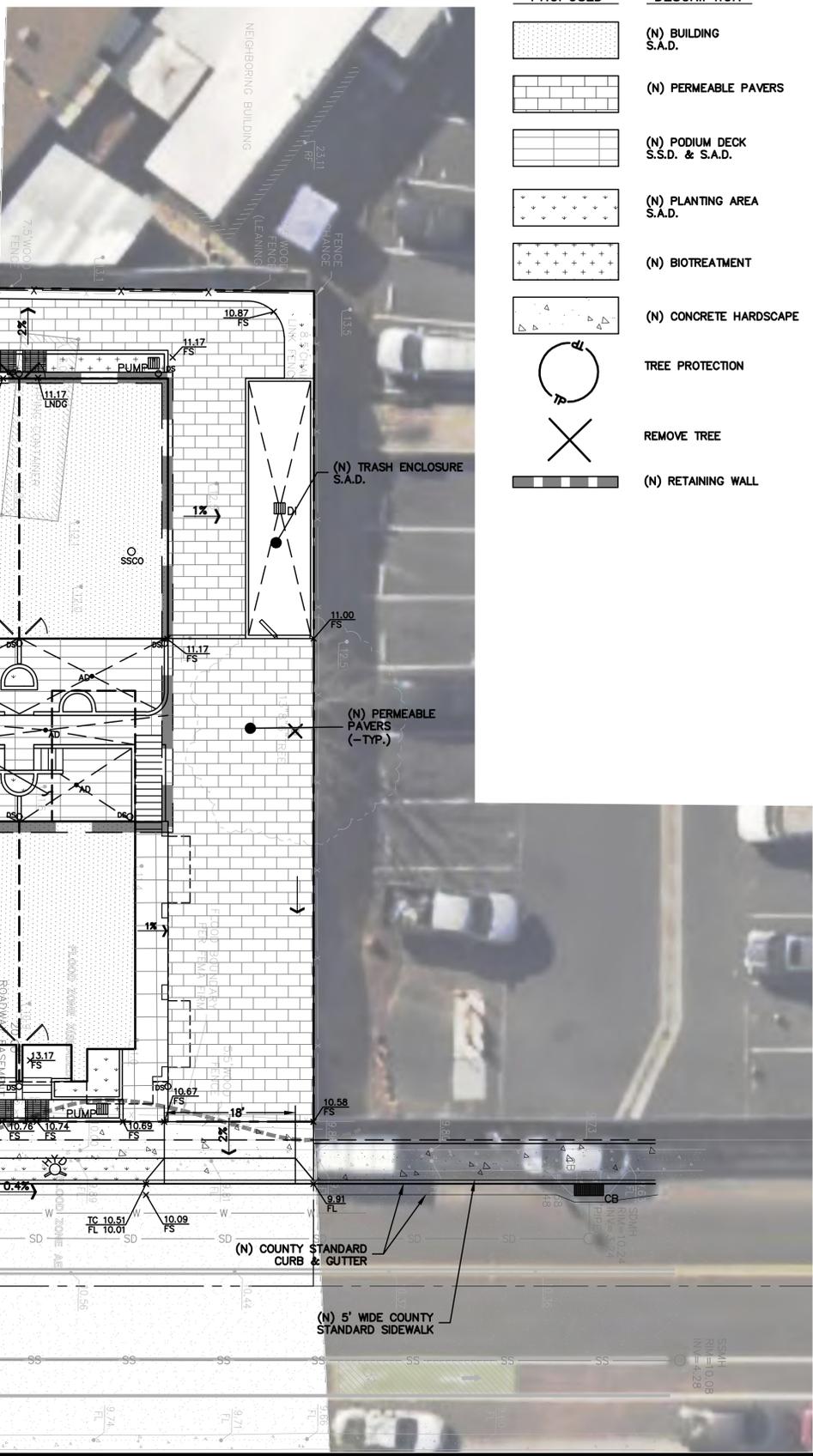
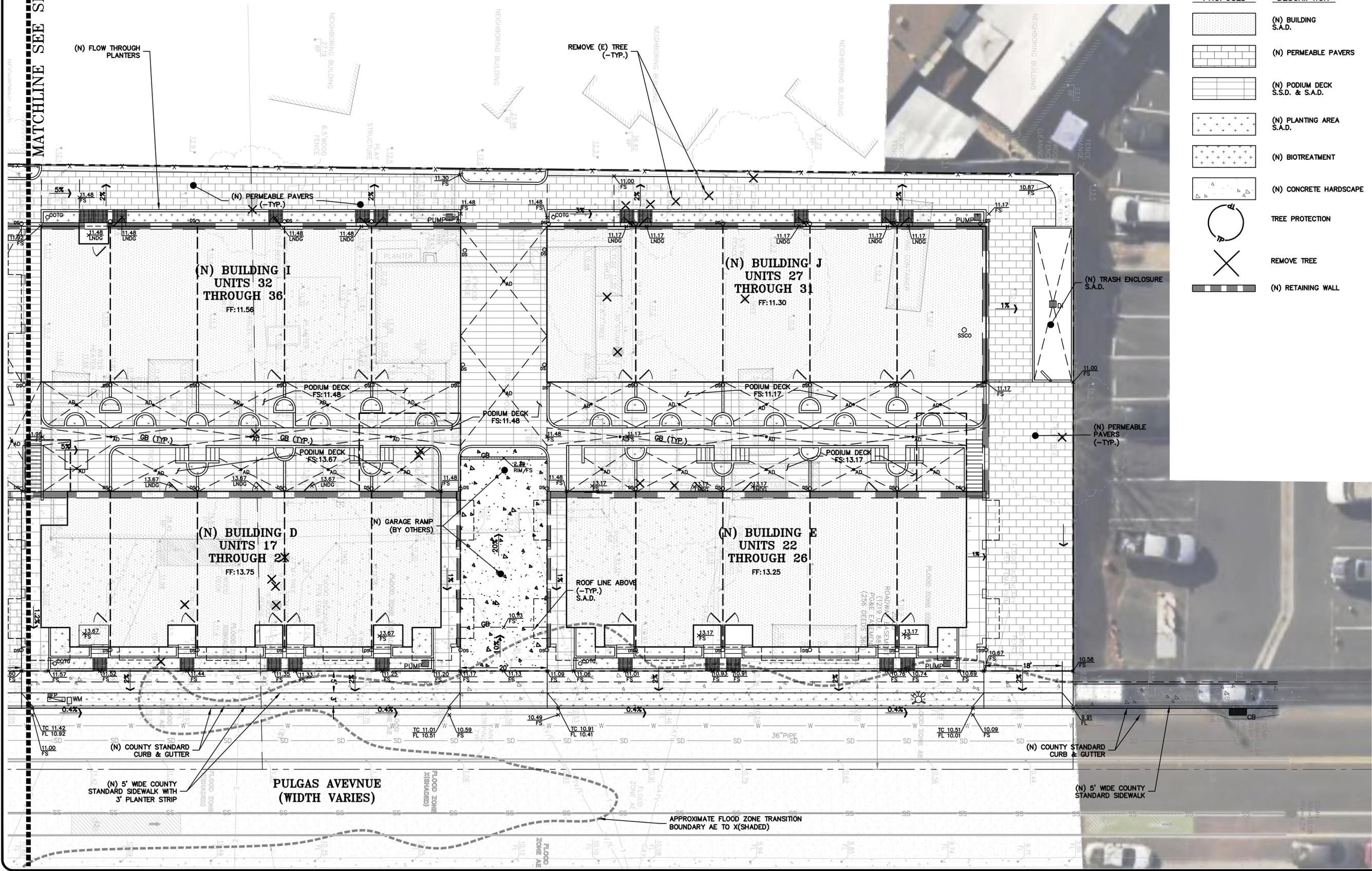
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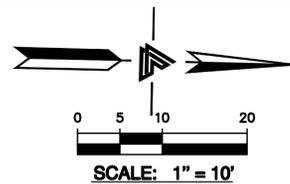
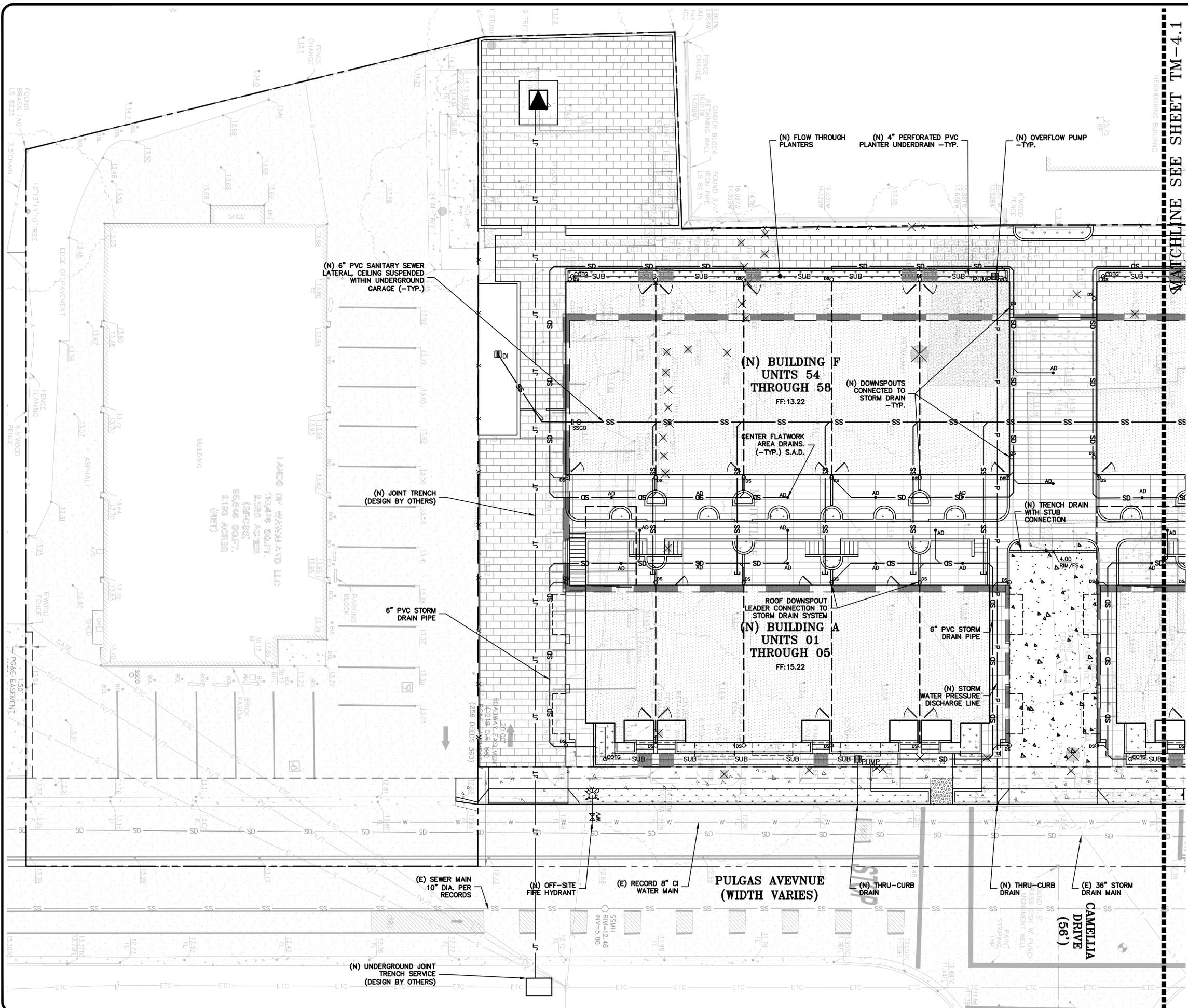
JOB NO: 2240115
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 CHECKED BY: JC
 SHEET NO:

TM-3.2
 9 OF 20 SHEETS

LEGEND

PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS S.A.D.
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT S.A.D.
	(N) CONCRETE HARDSCAPE S.A.D.
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL





LEGEND

PROPOSED	DESCRIPTION
[Pattern: Dotted]	(N) BUILDING S.A.D.
[Pattern: Horizontal Lines]	(N) PERMEABLE PAVERS
[Pattern: Vertical Lines]	(N) PODIUM DECK S.S.D. & S.A.D.
[Pattern: Stippled]	(N) PLANTING AREA S.A.D.
[Pattern: Cross-hatched]	(N) BIOTREATMENT
[Pattern: Diagonal Lines]	(N) CONCRETE HARDSCAPE
[Symbol: Circle with 'P']	TREE PROTECTION
[Symbol: Circle with 'R']	REMOVE TREE
[Symbol: Thick Dashed Line]	(N) RETAINING WALL



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**1933 PULGAS AVENUE
EAST PALO ALTO,
CALIFORNIA**

**PRELIMINARY
UTILITY PLAN**

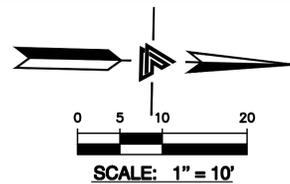
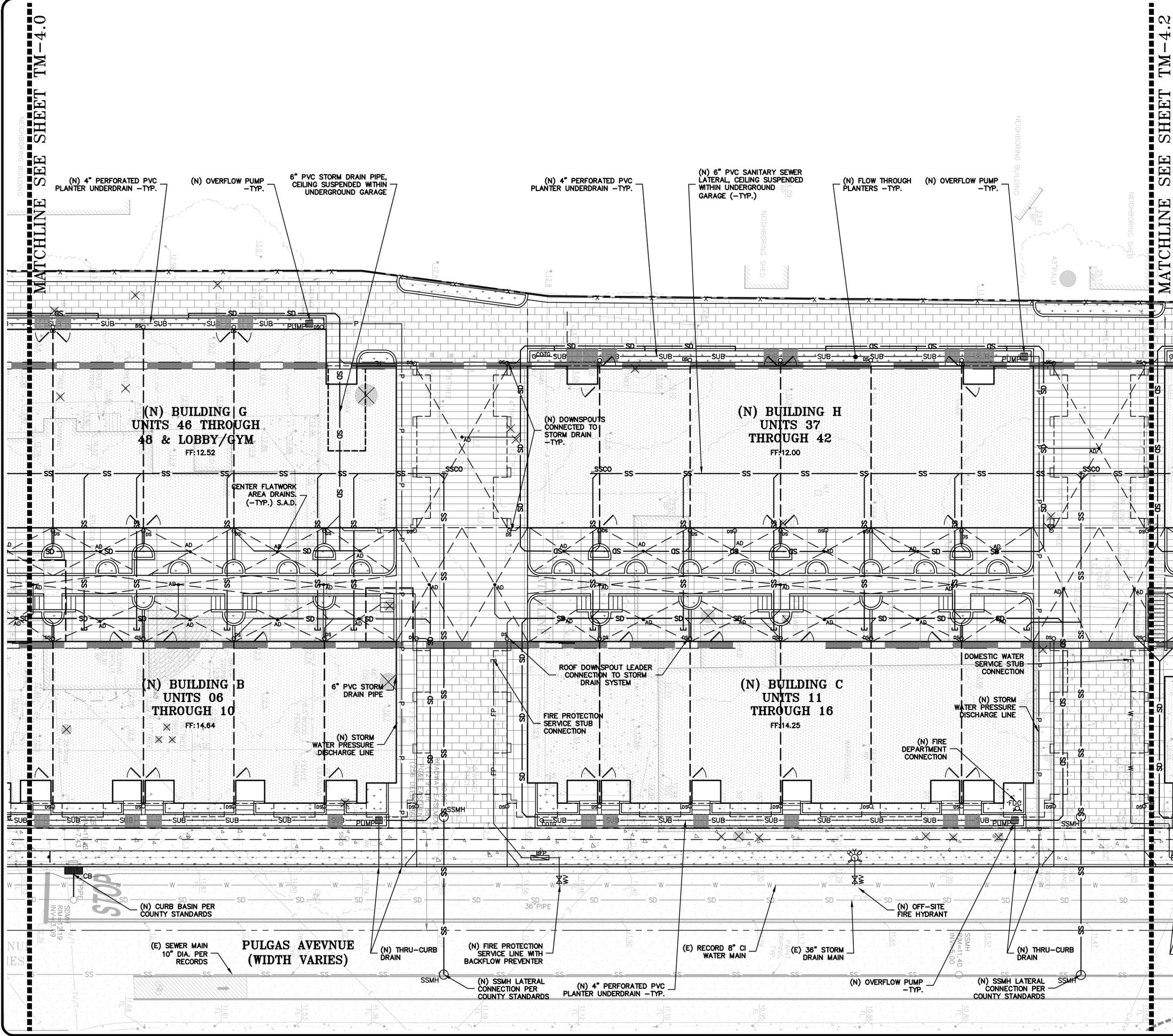
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1	CITY COMMENT REV 08-22-25	AV

JOB NO: 2240115
 DATE: 04-03-25
 SCALE: AS NOTED
 DESIGN BY: AV, ET
 CHECKED BY: JC
 SHEET NO:

TM-4.0
10 OF 20 SHEETS

MATCHLINE SEE SHEET TM-4.0

MATCHLINE SEE SHEET TM-4.2



LEGEND

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	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



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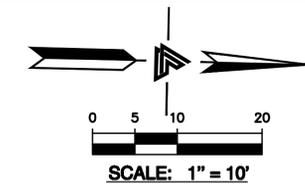
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 EAST PALO ALTO,
 CALIFORNIA

**PRELIMINARY
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MATCHLINE SEE SHEET TM-4.1



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 CALIFORNIA

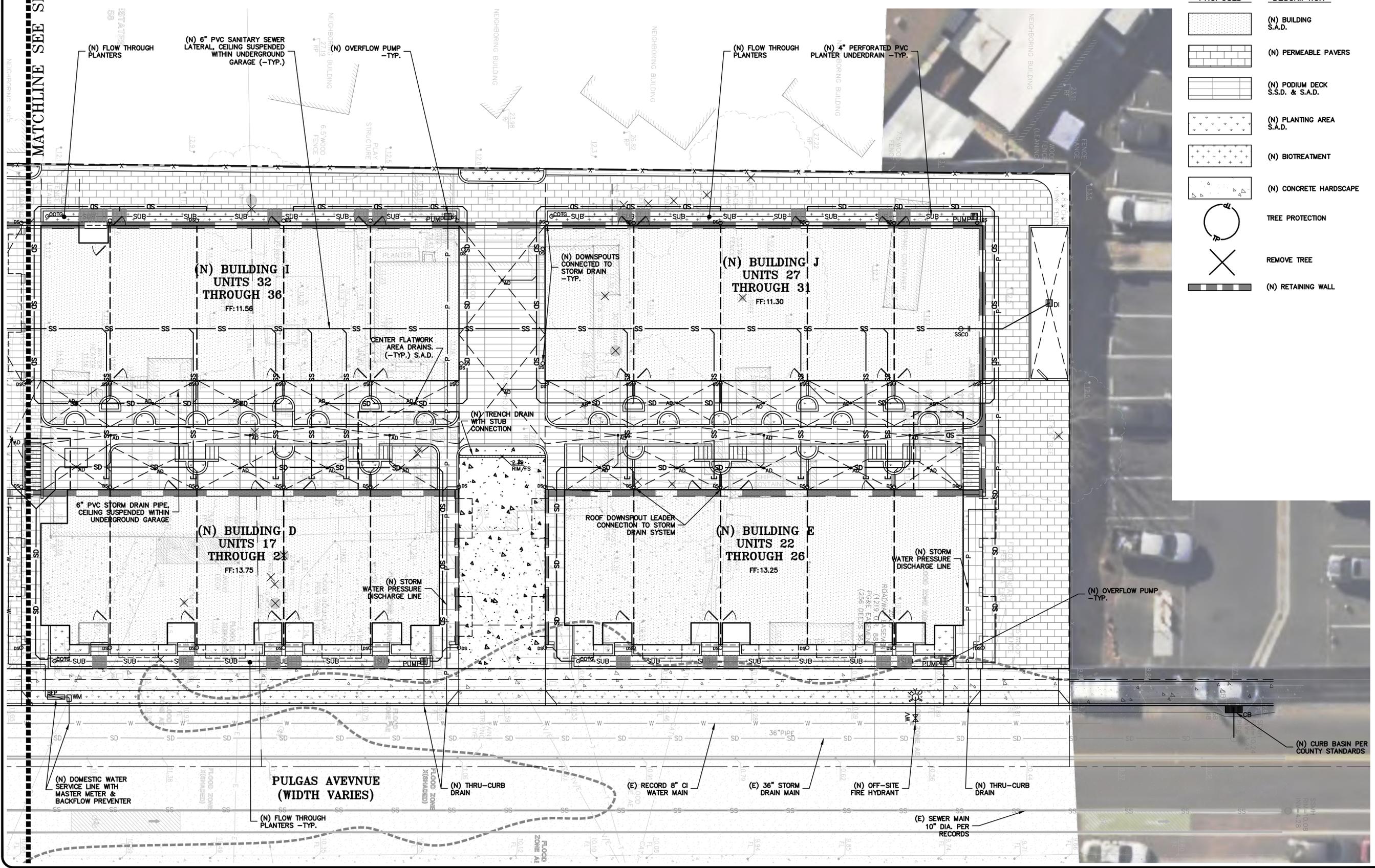
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TM-4.2
 12 OF 20 SHEETS

LEGEND

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	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



(N) CURB BASIN PER COUNTY STANDARDS

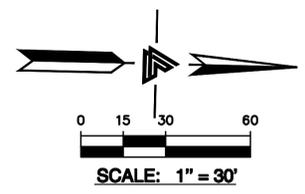
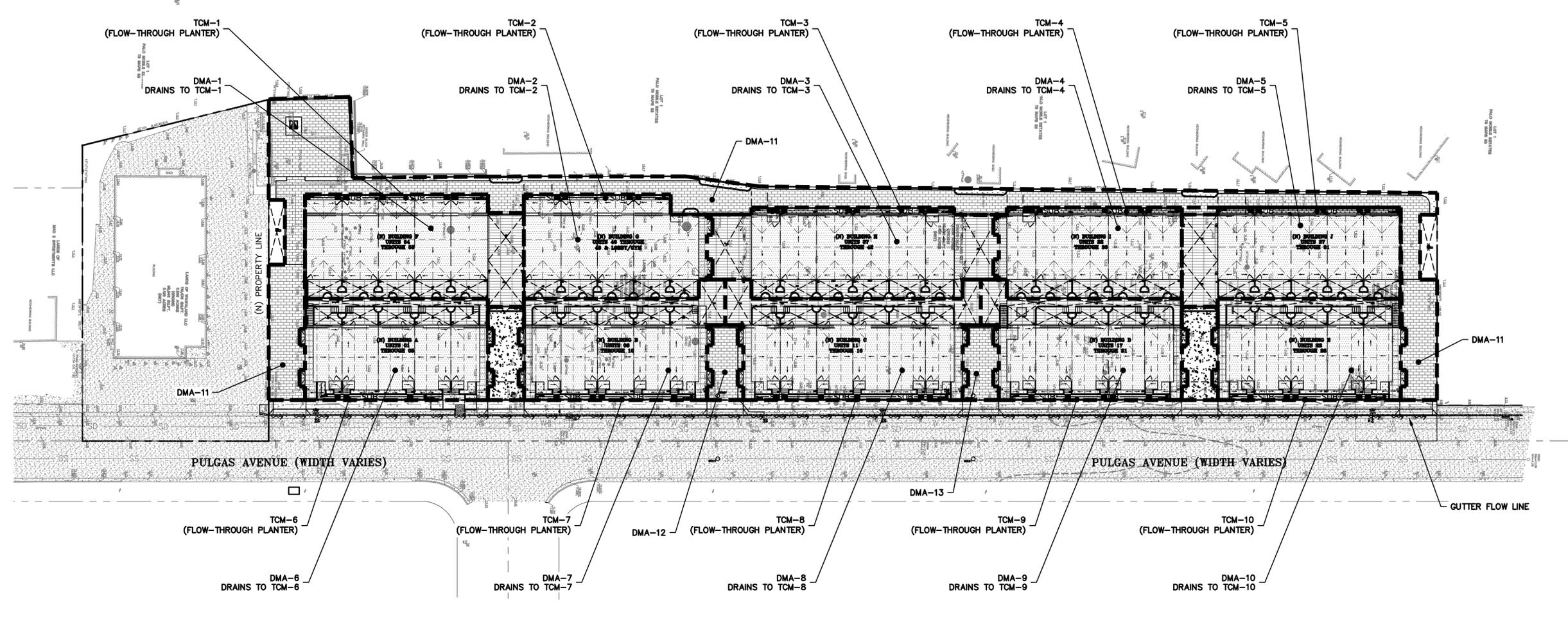


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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

PRELIMINARY STORMWATER
 CONTROL PLAN
 (SITE LAYOUT)

REVISIONS	BY
2	CITY COMMENT REV 09-09-25 AV
1	CITY COMMENT REV 08-22-25 AV
JOB NO:	2240115
DATE:	04-03-25
SCALE:	AS NOTED
DESIGN BY:	AV, ET
CHECKED BY:	JC
SHEET NO:	



DEVELOPMENT AREA INFORMATION

TOTAL SITE AREA	92,531 SQUARE FEET (2.124 ACRE)			
TOTAL PROJECT AREA	93,114 SQUARE FEET (2.138 ACRE)			
TOTAL DISTURBED AREA	85,000 SQUARE FEET (1.951 ACRE)			
IMPERVIOUS AREAS	EXISTING TOTAL S.F.	REMOVED TOTAL S.F.	NEW TOTAL S.F.	PROPOSED TOTAL S.F.
BUILDING ROOF AREA*	13,838	13,838	40,290	40,290
DRIVEWAY & PARKING	9,304	9,304	1,800	1,800
IMPERVIOUS PATIOS & WALKWAYS	5,743	5,743	17,230	17,230
PUBLIC SIDEWALK & ROADWAY	11,313	3,263	4,935	12,985
SHIPPING CONTAINERS	711	711	0	0
OFF-SITE IMPERVIOUS AREA	465	465	0	0
TOTAL IMPERVIOUS AREA	41,374	35,217	64,255	64,255
NET CHANGE IN IMPERVIOUS AREA	+ 22,881 SQFT (NET INCREASE)			
PERVIOUS PAVING				
PERVIOUS PAVER PATIOS & WALKWAYS	0	0	12,490	12,490
TOTAL PERVIOUS PAVING AREA	0	0	12,490	12,490
NET CHANGE IN PERVIOUS PAVING AREA	+ 12,490 SQFT (NET INCREASE)			
TOTAL DEVELOPED AREA	41,374	35,217	76,745	76,745
NET CHANGE IN DEVELOPED AREA	+ 35,371 SQFT (NET INCREASE)			
ON-SITE LANDSCAPE / TREATMENT AREA	51,622			6,513
OFF-SITE LANDSCAPE AREA	118			0
TOTAL PROJECT PERVIOUS AREA	51,740			14,158

*HARDSCAPE BELOW ROOF OVERHANGS INCLUDED IN ROOF AREA

DRAINAGE MANAGEMENT AREA SUMMARY TABLE

DMA ID NUMBER	IMPERVIOUS AREA (ft ²)	PERVIOUS AREA (ft ²)	TREATMENT MEASURE	SIZING CRITERIA	SIZE REQUIRED	SIZE PROVIDED
1	6,468	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	250 ft ²	250 ft ²
2	5,310	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	200 ft ²	200 ft ²
3	6,852	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	275 ft ²	280 ft ²
4	4,654	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	186 ft ²	240 ft ²
5	5,660	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	226 ft ²	250 ft ²
6	5,236	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	211 ft ²	200 ft ²
7	5,592	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	220 ft ²	220 ft ²
8	6,868	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	270 ft ²	270 ft ²
9	5,580	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	220 ft ²	220 ft ²
10	5,300	—	FLOW-THROUGH PLANTER WITH UNDERDRAIN	2C: FLOW	220 ft ²	220 ft ²
11	—	6,575	PERVIOUS PAVEMENT W/O UNDERDRAIN	1B: VOLUME	384 CU. FT.	1,972.50 CU. FT.
12	—	710	PERVIOUS PAVEMENT W/O UNDERDRAIN	1B: VOLUME	41.00 CU. FT.	213.00 CU. FT.
13	—	710	PERVIOUS PAVEMENT W/O UNDERDRAIN	1B: VOLUME	41.00 CU. FT.	213.00 CU. FT.



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1933 PULGAS AVENUE
 EAST PALO ALTO,
 CALIFORNIA

PRELIMINARY
 STORMWATER CONTROL
 DETAILS

REVISIONS	BY
2	CITY COMMENT REV 09-09-25 AV
1	CITY COMMENT REV 08-22-25 AV
JOB NO:	2240115
DATE:	04-03-25
SCALE:	N.T.S.
DESIGN BY:	AV, ET
CHECKED BY:	JC
SHEET NO:	

BIO-RETENTION SOIL CONSIDERATIONS

THE BIO-RETENTION PLANTING SOIL SHALL MEET THE REQUIREMENTS SET FORTH IN APPENDIX L OF THE SAN MATEO COUNTY CLEANWATER PROGRAM C.3 STORMWATER TECHNICAL GUIDANCE HANDBOOK.

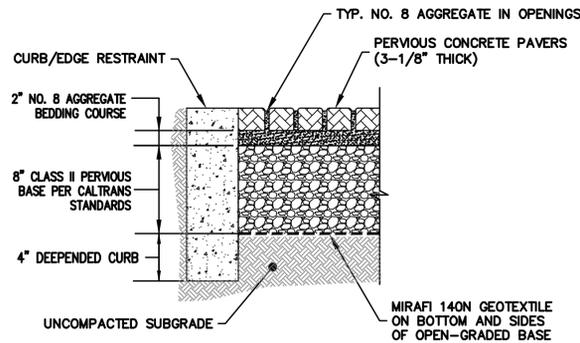
BIO-RETENTION SOIL SHALL HAVE A MINIMUM PERCOLATION RATE OF 5" PER HOUR AND MAXIMUM PERCOLATION RATE OF 10" PER HOUR. IF NATIVE SOILS DO NOT MEET THIS PERCOLATION REQUIREMENT, AN ADMIXTURE SHALL BE MIXED INTO PLANTING SOIL TO ALLOW FOR A 5" PER HOUR PERCOLATION RATE. IN-SITU TESTING SHALL BE CONDUCTED TO VERIFY THAT THE MATERIAL MEETS THE PERCOLATION REQUIREMENTS.

NO BARK MULCH SHALL BE PLACED IN THE VEGETATED AREA.

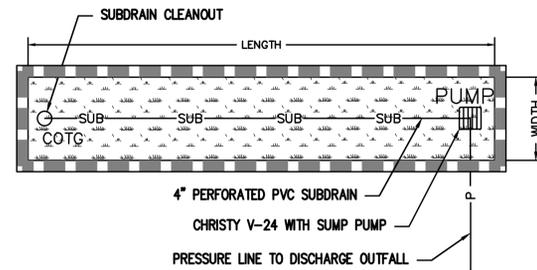
IF IMPORT SOIL IS USED, IT SHALL HAVE THE FOLLOWING PROPERTIES FOR SANDY LOAM. A TYPICAL SOIL MIX COMPRISES 50% CONSTRUCTION SAND, 20%-30% TOPSOIL WITH LESS THAN 5% MAXIMUM CLAY CONTENT AN 20%-30% ORGANIC LEAF COMPOST.

NOTE:
 THIS IS A SCHEMATIC DETAIL. REFER TO THE PLANS FOR SPECIFIC INLET AND OUTLET LOCATIONS. REFER TO THE PLANS FOR SPECIFIC OVERFLOW RISER LOCATIONS.

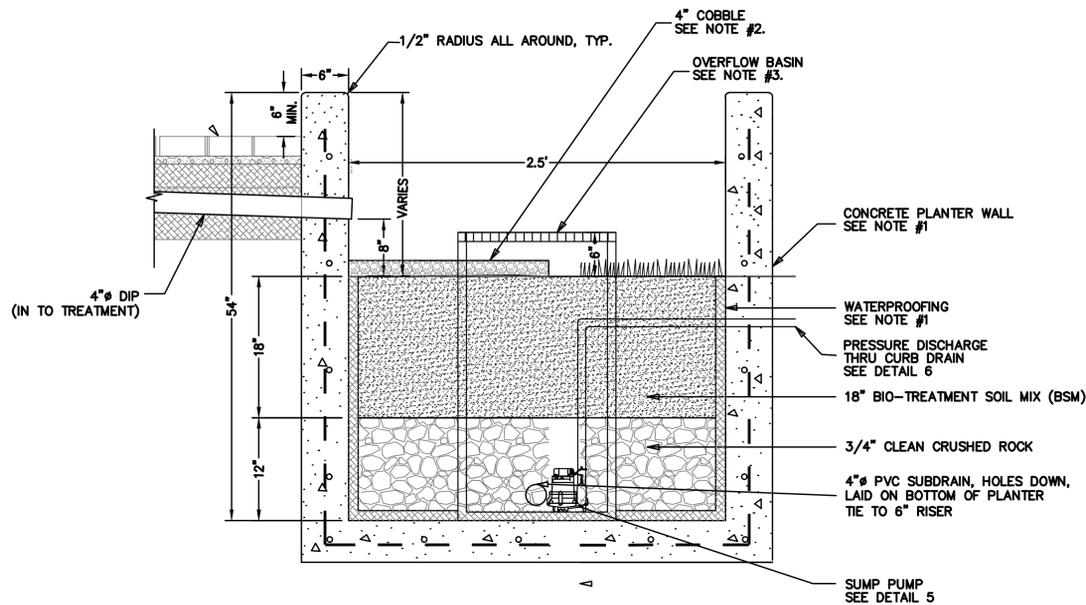
TOM	LENGTH	WIDTH
1	99.83'	2.5'
2	79.83'	2.5'
3	110.83'	2.5'
4	95.33'	2.5'
5	99.83'	2.5'
6	VARIES	2.5'
7	87.50'	2.5'
8	107.50'	2.5'
9	87.50'	2.5'
10	87.50'	2.5'



1 PERVIOUS PAVER SECTION
 SCP-3.0 NTS



2 FLOW-THROUGH PLANTERS
 SCP-3.0 NTS

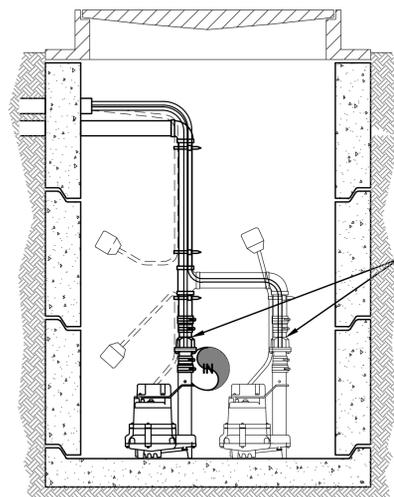


- NOTE:**
1. CONCRETE PLANTER AND WATERPROOFING DESIGN BY OTHERS.
 2. PLACE 4" MINIMUM COBBLE FOR 2' AROUND DOWNSPOUT.
 3. ATRIUM GRATE TO BE NDS 6" POLYOLEFIN ATRIUM GRATE, COLOR BLACK.

4 SUNKEN FLOW-THROUGH PLANTER
 SCP-3.0 NTS

PUMP PURPOSE: FLOW-THRU PLANTER STORM DRAIN LIFT

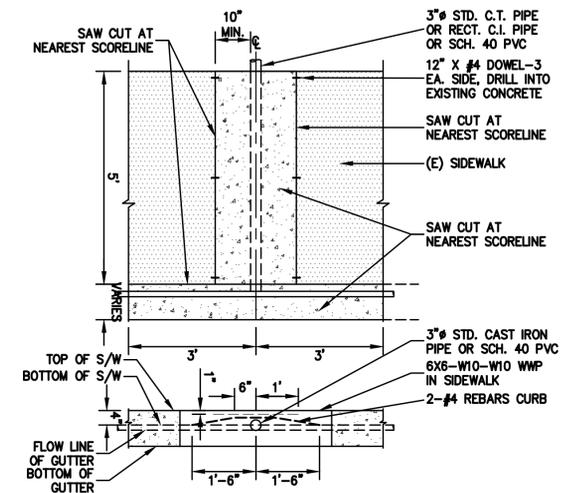
SPECIFICATION	QUANTITY	CONTAINMENT
ZOELLER 151	SIMPLEX (SINGLE)	CHRISTY V-24
ZOELLER 153	DUPLEX (DOUBLE)	30" HDPE
		CONCRETE MANHOLE



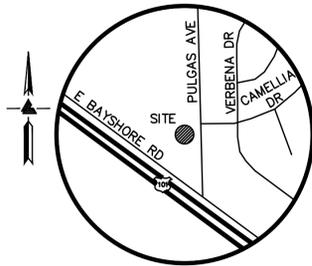
5 SUMP PUMP
 NTS

- PUMP NOTES:**
1. SUBSURFACE DRAINAGE SYSTEMS (IF APPLICABLE) AND SURFACE STORM DRAIN SYSTEMS (IF APPLICABLE) SHALL REMAIN DEDICATED SEPARATE SYSTEMS AND SHALL NOT CONNECT TO EACH OTHER.
 2. SIMPLEX PUMPS MAY BE CONTROLLED BY PIGGYBACK FLOAT SWITCH OR VIA HARD WIRE TO CONTROL PANEL.
 3. DUPLEX PUMPS SHALL BE HARD WIRED TO ALTERNATING CONTROL PANEL AND OPERATE VIA FLOAT SWITCHES.
 4. RAIL SYSTEM SHALL BE UTILIZED FOR PUMPS DEEPER THAN 5' BELOW GROUND SURFACE.
 5. ALL PUMPS SHALL HAVE AUDIBLE HIGH WATER LEVEL ALARM IN LOCATION TO ALERT OWNER OR CONNECTED TO BUILDING SECURITY SYSTEM.
 6. ALL WIRING SHALL BE PER APPLICABLE CODE AND SHALL BE LOCATED PER CONTRACTOR / ELECTRICIAN.
 7. HDPE SHALL HAVE SOLID LID BOLTED DOWN.

NOTE: BACK-UP POWER IS RECOMMENDED. NOTIFY ENGINEER IF OMITTED FROM PROPOSED PROJECT.



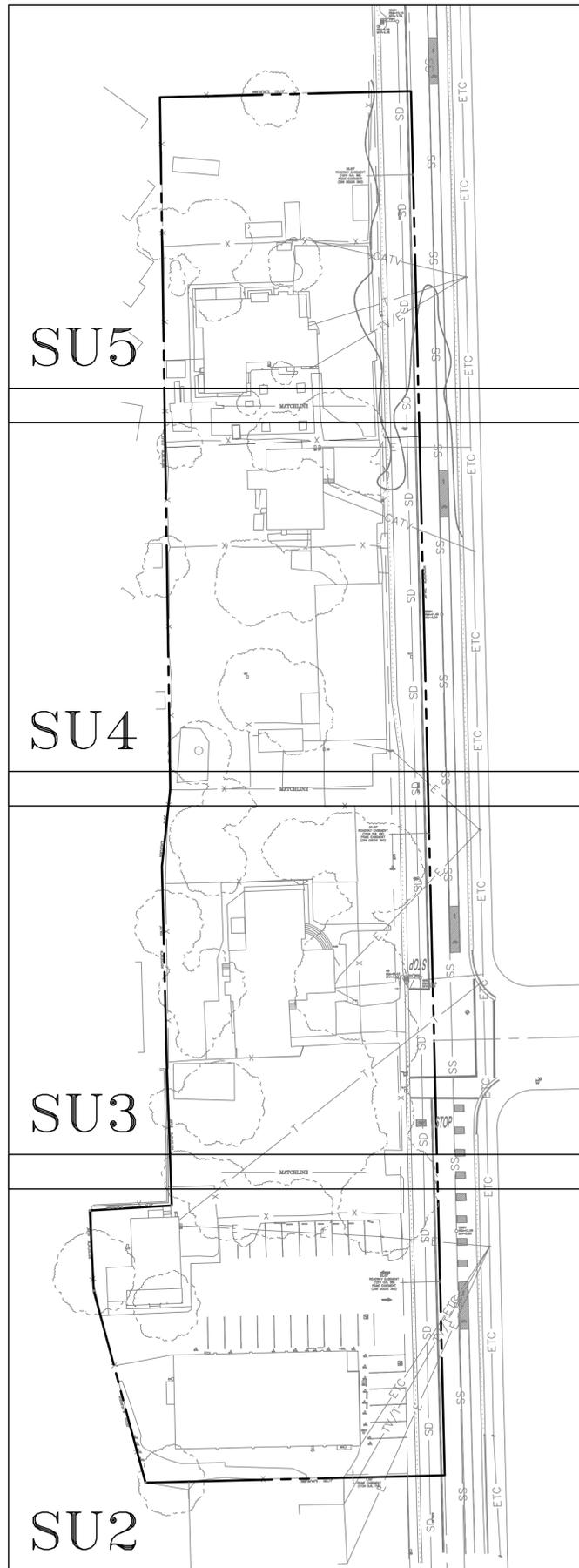
6 CURB DRAIN INLET
 NTS



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- CATV - CABLE TV OVERHEAD LINE
- E - ELECTRICAL OVERHEAD LINE
- ETC - ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- T - TELEPHONE OVERHEAD LINE
- TV/E - ELECTRICAL/CABLE TV OVERHEAD LINE
- TV/T - TELEPHONE/CABLE TV OVERHEAD LINE
- - - EASEMENT
- x - FENCE LINE
- - - FLOW LINE
- SS - SANITARY SEWER LINE
- SD - STORM DRAIN LINE
- A/C AIR CONDITIONING UNIT
- AD AREA DRAIN
- BENCHMARK
- BOL BOLLARD
- BW BOTTOM RETAINING WALL
- ▨ CB CATCH BASIN
- EM ELECTRICAL METER
- FF FINISH FLOOR
- ⊗ FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- INV INVERT
- ⊗ ICV IRRIGATION CONTROL VALVE
- β JOINT POLE
- M- MULTI-TRUNK TREE
- RP ROOF PEAK
- RF ROOF FLAT
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MAINTENANCE HOLE
- SIGN SIGN
- SDMH STORM DRAIN MAINTENANCE HOLE
- VLT UTILITY VAULT
- TC TOP OF CURB
- TW TOP OF RETAINING WALL
- WM WATER METER
- ⊗ WV WATER VALVE
- XXX.XX SPOTGRADE
- ASPHALT ASPHALT
- BRICK BRICK
- CONCRETE CONCRETE
- GRAVEL GRAVEL
- WOOD WOOD



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE GROSS AREA OF THE SURVEYED LOT IS 110,476± SQUARE FEET / 2.536± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, TITLE NO. FWTO-3762500604-JJ, DATED AUGUST 25, 2025.
 PG&E EASEMENT PER DOCUMENT (252 DEEDS 486) - THE EXACT LOCATION OF THIS EASEMENT IS NOT DISCLOSED OF RECORD.

TREE NOTE

TREE SIZE, TYPE AND DRILINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

BENCHMARK

CITY OF EAST PALO ALTO BENCHMARK
 CITY BM 1
 DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN THE LAWN IN UNIVERSITY SQUARE PARK AT TATE AND OAKES STREETS IN THE CITY OF EAST PALO ALTO LOCATED AT THE EAST SIDE OF THE CONCRETE PATH
 ELEVATION = 13.17'
 (NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
 MAG AND SHINER SET IN ASPHALT
 ELEVATION = 12.35'
 (NAVD 88 DATUM)

BASIS OF BEARINGS

THE BEARING NORTH 1°24'00" WEST OF THE CENTERLINE OF PULGAS AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED, "PALO MOBILE ESTATES" FILED IN BOOK 79 OF PARCEL MAPS AT PAGES 58-59, SAN MATEO COUNTY RECORDS WAS USED AS THE BASIS FOR ALL BEARINGS SHOWN ON THIS SURVEY.

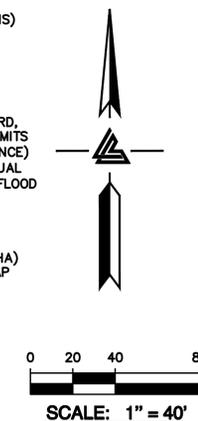
FEMA FLOOD NOTE

PORTIONS OF SURVEYED PROPERTY LIE WITHIN FLOOD ZONES: AE, X(SHADED) AND X

ZONE: AE
 100-YEAR BASE FLOOD ELEVATION (BFE): 10.3' (NAVD88 DATUM)
 PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
 FEMA FLOOD INSURANCE STUDY (FIS) FOR SAN MATEO COUNTY, CA
 NO.: 06081C001D
 REVISED: APRIL 5, 2019
 (SEE SHEETS SU4 & SU5)

ZONE: X(SHADED)
 AREAS OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR (1% ANNUAL CHANCE) AND 500-YEAR FLOODS (0.2% ANNUAL CHANCE) AND OUTSIDE THE SPECIAL FLOOD HAZARD AREA (SFHA)

ZONE: X
 PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
 FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0309F
 EFFECTIVE DATE: APRIL 5, 2019



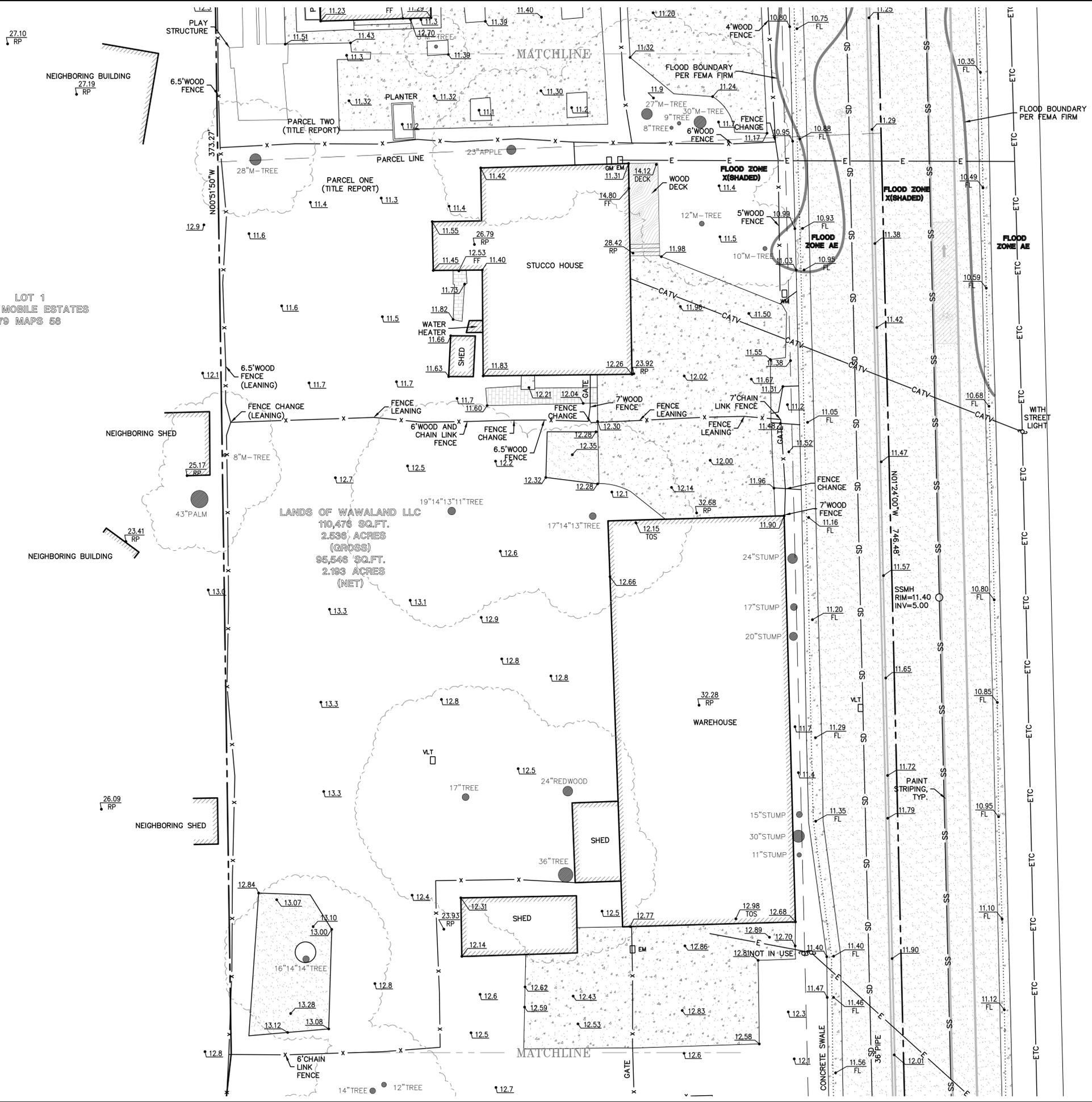
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS | LAND SURVEYORS
 REGIONAL OFFICES:
 ROSELVILLE
 SAN JOSE
 SAN LUIS OBISPO
 WWW.LEABRAZE.COM

1933 PULGAS AVENUE
 EAST PALO ALTO
 CALIFORNIA
 SAN MATEO COUNTY APN: 063-492-280

TOPOGRAPHIC SURVEY

UPDATED TITLE REP 9-19-25	MT
ADD. PARCEL LINE 9-9-24	MT
FEMA FLOOD INFO 08/29/2024	PCW
REVISIONS	BY
JOB NO: 2230335	
DATE: 6-6-23	
SCALE: 1"=40'	
BNDY BY: MT	
FIELD BY: JC	
DRAWN BY: ZB	
SHEET NO:	

LOT 1
PALO MOBILE ESTATES
79 MAPS 58



LANDS OF WAWALAND LLC
110,476 SQ.FT.
2.536 ACRES
(GROSS)
95,546 SQ.FT.
2.193 ACRES
(NET)



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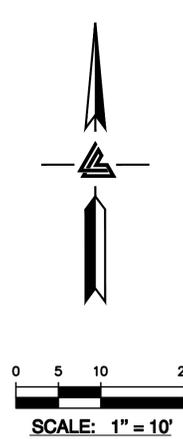
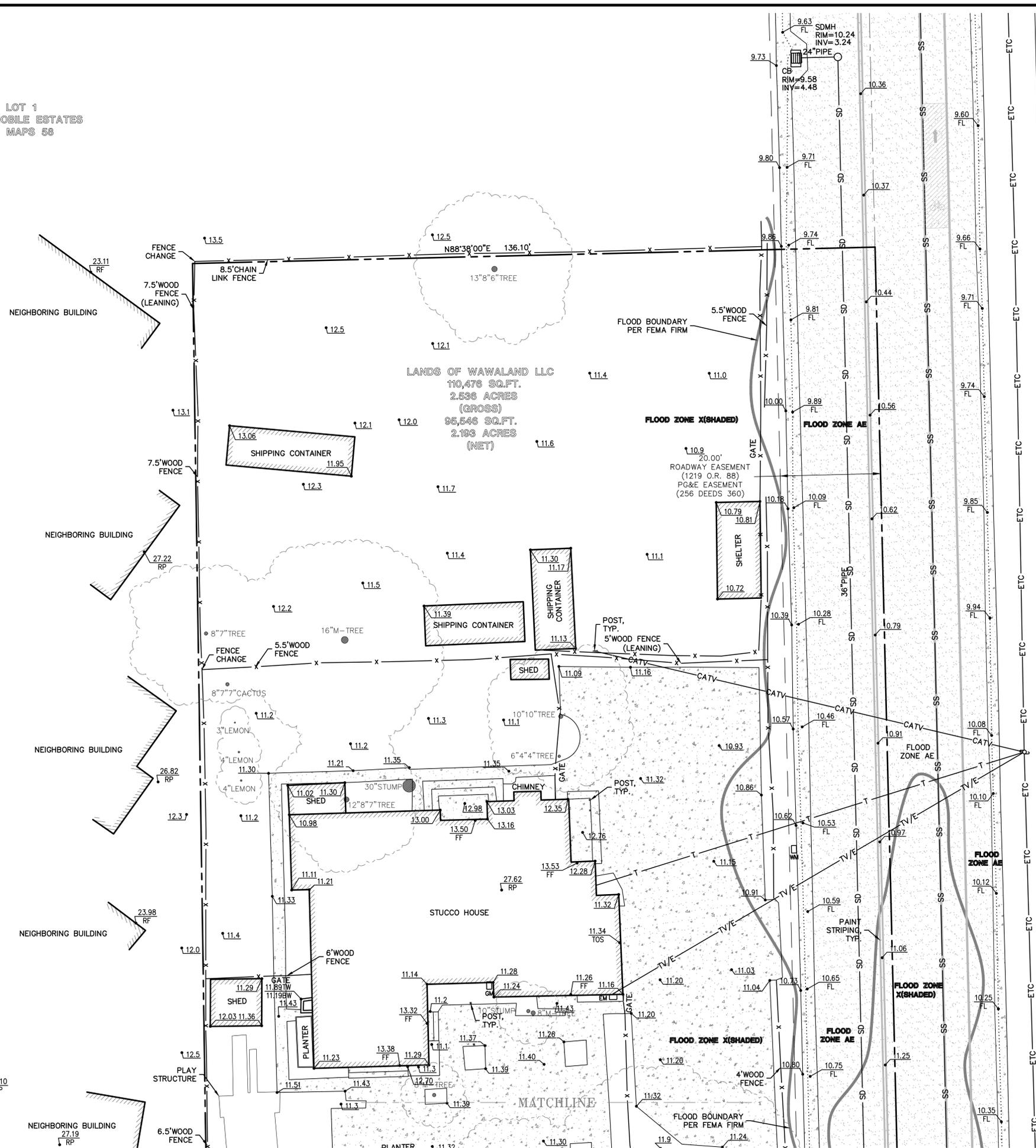
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SU5
5 OF 5 SHEETS

APN: 063-492-280
SAN MATEO COUNTY