

1933 Pulgas Avenue, EAST PALO ALTO



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rg-architecture
428 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 94103
415.649.6202
mail@rg-architecture.com



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REVISIONS
NO. DATE ISSUE

REVISION CHANGE

ISSUE
03/10/25 DESIGN REVIEW/ TREE
REMOVAL/ LOT SUBDIVISION

OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

PROJECT NAME
1933 Pulgas Ave
Townhomes
East Palo Alto, CA 94303

APN
063-492-280

SCALE
AS NOTED
DRAWN BY
TG / MP
CHECKED BY
RG / SK
PROJECT NO.
202309
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COVER PAGE

DRAWING NO. 1 OF 68

G0.01

1933 Pulgas Avenue, East Palo Alto



VICINITY MAP

DIRECTORY

OWNER

Wawaland LLC
6044 Stevenson Blvd
Fremont CA 94538
650.699.6999
Wa Li
ctiviewepa@gmail.com

ARCHITECT

RG-Architecture
428 South Van Ness Ave
San Francisco, CA 94103
415.649.6202
Riyad Ghanam, AIA, Principal
riyad@rg-architecture.com

CIVIL & SURVEYOR

Lea & Braze Engineering Inc.
2495 Industrial PKWY West
Hayward, CA 94545
510.887.4086 x133
Darren Bunting
dbunting@leabraze.com

TRAFFIC CONSULTANT

Hexagon Transportation Consultants, Inc
100 Century Center Court, Suite 501
San Jose, CA 95112
408.971.6100
Michelle Hunt
mhunt@hextrans.com

ARBORIST

D.R. Tree Consulting
Hayward, CA 94540
510-856-6629
Dustie Rushing
dustie@drtreeconsulting.com

GEOTECHNICAL ENGINEERING

Romig Engineers, Inc.
1390 El Camino Real, 2nd Floor
San Carlos, California 94070
M (510) 295-7546 | O (650) 591-5224
Michael Sacramento
michael@romigengineers.com

AREA GROSS PER BUILDING

AREA:	GROSS AREA (SQ FT)
GROSS BLDG 1	10,665
GROSS BLDG 10	13,230
GROSS BLDG 2	10,690
GROSS BLDG 3	12,752
GROSS BLDG 4	10,629
GROSS BLDG 5	10,755
GROSS BLDG 6	10,782
GROSS BLDG 7	10,703
GROSS BLDG 8	12,787
GROSS BLDG 9	12,692
GROSS GARAGE	37,400
	153,085 ft²

GENERAL NOTES

01 CODES: ALL WORK SHALL CONFORM WITH OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE CITY/COUNTY AND STATE CODES, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS INCLUDING BUT NOT LIMITED TO FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES. SEE CODE EDITIONS ON THIS SHEET.

02 PERMITS: BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDING INSPECTIONS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.

03 EXISTING CONDITIONS AND DIMENSIONS: THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT. CALLED-OFF DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED-OFF DIMENSIONS. DIMENSIONS ARE TO FACE OF STRUCTURE (STUD, CONCRETE, STEEL), UNLESS OTHERWISE NOTED. DIMENSIONS IN SECTIONS AND ELEVATIONS ARE TO TOP OF PLATE OR TOP OF SUB-PLATE UNLESS OTHERWISE NOTED. ELEVATION MARKERS ARE TO TOP OF FINISHED FLOORS.

04 PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER. CONTRACTOR TO IMMEDIATELY REPORT ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS IN THE PLANS AND SPECIFICATIONS TO THE ARCHITECT, AND UNTIL THEY ARE RESOLVED, SHALL NOT PROCEED WITH THE AFFECTED WORK.

05 DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.

06 COORDINATION: THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.

07 CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

08 INSTALLATION: THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.). ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS, UNLESS AGREED TO BY THE ARCHITECTS.

09 SUBCONTRACTORS: PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

10 REPAIR: THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

11 ABANDONMENT: ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

12 CLOSE-OUT: THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

ABBREVIATIONS

AT	CENTERLINE	(N)	NEW
DI	DIAMETER	N.I.C.	NOT IN CONTRACT
ABV	ABOVE	NO.	NUMBER
ACC	ACCESSIBLE	NOM	NOMINAL
A.D.	AREA DRAIN	N.T.S.	NOT TO SCALE
ADJ.	ADJUSTABLE	O.C.	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	O.H.	OPENING
APPROX.	APPROXIMATE	OPP.	OPPOSITE
ARCH.	ARCHITECTURAL	OV	OVER
ASPH.	ASPHALT	P	PROPERTY LINE
BLDG.	BUILDING	PL	PLATE
BLDG.	BLOCKING	PLAM	PLASTIC LAMINATE
B.U.R.	BUILT-UP ROOFING	PLYWD.	PLYWOOD
C.J.	CONTROL JOINT	P.T.	PRESSURE TREATED
CLR.	CLEAR	PAINTED	PAINTED
CLG.	CEILING	(R)	RELOCATED
C.H.	CEILING HEIGHT	R.	RISE, RISER
CONT.	CONTINUOUS	RTN	RETURN AIR
CTR.	CENTER	R.A.	ROOF DRAIN
D.	DRYER	REF.	REFRIGERATOR
DBL.	DOUBLE	REG.	REGISTER
DET.	DETAIL	REINF.	REINFORCED
D.F.	DOUGLAS FIR	REQ.	REQUIRED
DIA.	DIAMETER	ROOM	ROOM
DM.	DIMENSION	R.O.	ROUGH OPENING
DISP.	DISPOSER	REDWD.	REDWOOD
DN.	DOWN	S.	SOUTH
DR.	DOOR	S.A.B.F.	SELF-ADHERED BITUMINOUS FLASHING
D.S.	DOWN SPOUT	S.C.	SOLID CORE
DRW.	DRAWING	S.D.	SMOKE DETECTOR
DWR.	DRAWER	SECT.	SECTION
E	EXISTING	SIM	SIMILAR
(E)	EACH	SHEATHG	SHEATHING
EA.	ELEVATION	SH	SHEET
ELEC.	ELECTRICAL	S.M.D.	SEE MECHANICAL DRAWINGS
EL.	EQUAL	SPEC.	SPECIFICATION
EQ.	EXTERIOR	SQ.	SQUARE
EXT.	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
F.D.	FLOOR DRAIN	STD.	STANDARD
FDN.	FOUNDATION	STL.	STEEL
FIN.	FINISH	STOR.	STORAGE
FF.	FINISHED FLOOR	STR.	STRUCTURAL
FL.	FLOOR	SUSP.	SUSPENDED
FACE OF	FACE OF STUD	SYM.	SYMBOL
F.O.F.	FACE OF FINISH	T.	TREAD
F.O.S.	FACE OF STUD	T.B.	TOWEL BAR
F.S.M.F.	FLEXIBLE SHEET MEMBRANE FLASHING	T.G.	TONGUE AND GROOVE
FT.	FEET	T.O.	TOP OF
FTG.	FOOTING	T.O.C.	TOP OF CURB
GA.	GAGE	T.O.P.	TOP OF PLATE
GALV.	GALVANIZED	T.O.W.	TOP OF WALL
G.V.	GYP/SUM BOARD	T.P.H.	TOILET PAPER HOLDER
G.V. BD.	GYP/SUM BOARD	TRSM.	TRANSMISSION
H.	HIGH	T.V.	TELEVISION
H.B.	HOSE BIB	TYP.	TYPICAL
HDR.	HEAD	U.O.N.	UNLESS OTHERWISE NOTED
HDWR.	HARDWARE	V.	VENT
HORIZ.	HORIZONTAL	V.F.	VERTICAL
HT.	HEIGHT	V.I.F.	VERIFY IN FIELD
I.D.	INSIDE DIAMETER	V.G.	VERTICAL GRAIN
I.G.	INSULATED GLASS	W.	WEST
INSUL.	INSULATION	W.C.	WASHING MACHINE
INT.	INTERIOR	WTH.	WITH
JT.	JOINT	W.C.	WATER CLOSET (TOILET)
J.W.	LAVATORY	WD.	WOOD
L.	LIGHT	WH.	WATER HEATER
M.	MASTER	WO	WITHOUT
MAX.	MAXIMUM	WP.	WATERPROOF, WORK
MECH.	MECHANICAL	W.P.	POINT
M.E.P.	MECHANICAL/ELECTRICAL/PLUMBING	W.R.	WATER RESISTANT
MFR.	MANUFACTURER	WRB.	WESTERN RED CEDAR
MIN.	MINIMUM	W.R.C.	WESTERN RED CEDAR
MISC.	MISCELLANEOUS	YD.	YARD

REFERENCE SYMBOLS

REFERENCE SYMBOLS	ELECTRICAL/MECHANICAL SYMBOLS
DEM WALL (PLAN VIEW)	SINGLE ELECTRICAL OUTLET, DIRECT WIRED
EXISTING WALL (PLAN VIEW)	DUPLEX OUTLET
NEW WALL (PLAN VIEW)	FOURPLEX OUTLET
HATCH = STRUCTURE	ELECTRICAL OUTLET, HALF-SWITCHED
OUTLINE = FINISH	ELECTRICAL OUTLET, FULLY SWITCHED
DIMENSION TO STRUCTURE	ELECTRICAL OUTLET FOR PICTURE LIGHT
DIMENSION TO FINISH (CLEAR)	FLUSH FLOOR MOUNTED OUTLET
HIDDEN EDGE, ABOVE OR BEYOND	GROUND FAULT INTERRUPT
HIDDEN EDGE, BELOW OR BEHIND	JUNCTION BOX
DOOR SYMBOL	MULTI-FUNCTION SMOKE & CO DETECTOR
WINDOW SYMBOL	SMOKE DETECTOR
# = WINDOW TYPE	AUTOMATIC SPRINKLER
LETTER = OTC RATING	HEAD
SKYLIGHT SYMBOL	DOOR BELL BUTTON
GUARD SYMBOL	DOOR CHIME
WALL (FLOOR) TYPE	GARAGE DOOR OPENER SWITCH
GRID OR REFERENCE LINE	INTERCOM STATION
SECTION MARKER: DRAWING # OI SHEET	ALARM KEYPAD
DETAIL MARKER: DRAWING # OI SHEET	MOTION DETECTOR
ELEVATION MARKER: DRAWING # OI SHEET	SPEAKER OUTLET
ROOM NO. OI MATERIAL CODE	SCENE CONTROL MASTER UNIT
FLOOR (WALL) CEILING	SCENE CONTROL REMOTE WALL STATION
LEVEL LINE OR DATUM	STEAM UNIT CONTROL PANEL
SPOT ELEVATION	PLUS MOLD
PROPERTY LINE	(1) R6S QUAD
EXISTING CONTOURS	(1) 244 PAIR CAT-6
NEW OR FINISHED CONTOURS	(2) CAT-6 & (1) R6S QUAD
EXISTING CONTOURS	(2) CAT-6 & (2) R6S QUAD
COLD WATER CONNECTION	(1) 244 PAIR CAT-6
HOT WATER CONNECTION	HDMI
CENTRAL VACUUM	(1) 244 PAIR CAT-3
GAS OUTLET	HDMI
HOSE BIB	(1) 244 PAIR CAT-3
FLOOR DRAIN	COLD WATER CONNECTION
DOWNSPUT	HOT WATER CONNECTION
THERMOSTAT	CENTRAL VACUUM
SUPPLY AIR REGISTER AT WALL OR TOE SPACE	GAS OUTLET
SUPPLY AIR REGISTER AT FLOOR	HOSE BIB
SUPPLY AIR REGISTER AT CEILING	FLOOR DRAIN
RETURN AIR GRILL AT WALL	DOWNSPUT
RETURN AIR GRILL AT FLOOR	THERMOSTAT
RETURN AIR GRILL AT CEILING	SUPPLY AIR REGISTER AT WALL OR TOE SPACE
EXHAUST FAN	SUPPLY AIR REGISTER AT FLOOR
EXHAUST FAN LIGHT UNIT	SUPPLY AIR REGISTER AT CEILING
CEILING FAN	RETURN AIR GRILL AT WALL
	RETURN AIR GRILL AT FLOOR
	RETURN AIR GRILL AT CEILING
	EXHAUST FAN
	EXHAUST FAN LIGHT UNIT
	CEILING FAN

SCOPE OF WORK

TREE REMOVAL, LOT SUBDIVISION, DEMOLISH EXISTING 1 AND 2 STORY RESIDENTIAL BUILDINGS ON THE EXISTING LOT. ERECT TEN 3-STORY BUILDINGS TO INCLUDE 58 RESIDENTIAL TOWNHOUSE UNITS TOTAL AND SHARED AMENITIES, OVER AN UNDERGROUND PARKING GARAGE.

THE DEVELOPMENT EMPLOYS THE CA STATE DENSITY BONUS LEGISLATION TO INCREASE THE DENSITY TO A TOTAL OF 58 UNITS. THE ALLOWED BASE DENSITY FOR R-MD-2 ZONING IS 22 DWELLING UNITS PER ACRE, WHICH IS A TOTAL OF 46 DWELLING UNITS. THE PROJECT PROPOSES AN INCREASE OF THE DENSITY BY A 26% BONUS OR 12 UNITS IN ORDER TO PROVIDE A TOTAL OF 58 UNITS THAT TOTAL 9 INCLUSIONARY UNITS.

WAIVERS:

1. INCREASE MAXIMUM FLOOR AREA RATIO FROM A MAXIMUM 0.65 TO 1.25.
2. DECREASE SIZE OF TYPICAL PARKING SPACE TO 8'-0" X 18'-0".
3. INCREASE BUILDING HEIGHT FROM A MAXIMUM 36'-0" TO 40'-4".
4. DECREASE FRONT SETBACK FROM 27'-6" TO 2'-6" AFTER 20-FOOT + 7'-6" SIDEWALK DEDICATION FOR PUBLIC RIGHT-OF-WAY.
5. DECREASE REAR SETBACK FROM 20' (FIRST STORY) AND 30' (SECOND STORY) TO 10' MINIMUM AND 19' MAXIMUM.

PLANNING CODE SUMMARY:

PROJECT SITE: 1933 PULGAS AVENUE, EAST PALO ALTO, CA 94303

APN #: 063-492-280

ZONING DISTRICT: R-MD-2

GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL

LOT AREA: 110,476 SF / 2.536 ACRES
92,532 SF / 2.124 ACRE RESIDENTIAL
17,944 SF / 0.412 ACRE COMMERCIAL

HEIGHT LIMIT: 3 STORIES OR 36 FEET

UNIT COUNT - PROPOSED: 58 UNITS - 20% OF 46 BASE UNITS = 58 UNITS TOTAL
(46 BASE UNITS + 12 DENSITY BONUS UNITS, APPLYING 26% STATE DENSITY BONUS)
20% INCLUSIONARY REQUIREMENT APPLIES TO THE BASE 46 UNITS = 9.34 UNITS. OF THIS, 0.36 UNITS WILL BE COVERED BY AN IN-LIEU FEE.

INCLUSIONARY HOUSING: 5 UNITS (10% AT 80% AMI)
4 UNITS (10% AT 120% AMI)
9 TOTAL INCLUSIONARY RATE

REAR SETBACK: REQUIRED: 20' FOR 1ST FLOOR AND 30' FOR 2ND & 3RD FLOOR.
PROPOSED: 10' MINIMUM TO 19' MAXIMUM

FRONT SETBACK: REQUIRED: 20'
PROPOSED: 30' INCLUDING 20' EASEMENT + 7'-6" SIDEWALK PUBLIC ACCESS EASEMENT

SIDE SETBACK: REQUIRED: 10'
PROPOSED: 20'

SITE COVERAGE: MAXIMUM PERMITTED: 60%
PROPOSED: LOT COVERAGE RESIDENTIAL - 39% (36,060 SF / 92,532 SF)
PROPOSED: LOT COVERAGE COMMERCIAL - 28%

FLOOR AREA RATIO: MAXIMUM PERMITTED: .65
PROPOSED: RESIDENTIAL LOT FAR - 1.25 = (115,685 SF / 92,532 SF)
(PER CA STATE DENSITY BONUS WAIVER)
PROPOSED: COMMERCIAL LOT FAR - 0.28 = (5,084 SF / 18,315 SF)

OFF STREET PARKING: CAR PARKING REQUIRED: 2 SPACES PER UNIT + 0.2 GUEST PARKING PER UNIT.
CAR PARKING PROPOSED: 120 PARKING SPACES TOTAL FOR 58 UNITS
(108 RESIDENTIAL SPACES, INCLUDING 3 ADA PARKING SPACES + 12 GUEST PARKING SPACES, INCLUDING 1 ADA PARKING SPACE)

BIKE PARKING: REQUIRED: 1 CLASS 1 BICYCLE PARKING PER EACH UNIT
1 CLASS 2 BICYCLE PARKING PER 20 UNITS - 3 REQUIRED
58 CLASS 1 BICYCLE PARKING PROVIDED
4 CLASS 2 BICYCLE PARKING PROVIDED

OPEN SPACE: REQUIRED: 200 SF OPEN SPACE PER UNIT (GROUND FLOOR UNITS) & 100' (UPPER FLOOR UNITS). MINIMUM DIMENSION SHALL BE 6 FEET.
PROPOSED: ALMOST EACH GROUND FLOOR RESIDENTIAL DWELLING UNIT (49 UNITS) PROVIDED WITH PRIVATE OPEN SPACE IN COMPLIANCE WITH EAST PALO ALTO DEVELOPMENT CODE 2022, TITLE 18, ARTICLE 2, CHAPTER 18.10, COMMON OPEN SPACES PROVIDED FOR 8 UPPER FLOOR UNITS & 1 GROUND FLOOR UNIT.

PROVIDED: 900 SF COMMON OPEN SPACE PROVIDED FOR 8 UPPER FLOOR UNITS & 1 GROUND FLOOR UNIT.
PRIVATE OPEN SPACE PROVIDED FOR 49 RESIDENTIAL GROUND FLOOR UNITS.

BUILDING CODE SUMMARY:

CONSTRUCTION TYPE: TYPE VA (RESIDENTIAL) OVER TYPE IA (SUBTERRANEAN GARAGE)

OCCUPANT GROUP:

R-2: RESIDENTIAL THREE STORIES
S-2: SUBTERRANEAN GARAGE & MEP ROOMS
ACCESSORY USE TO MAIN R-2 RESIDENTIAL OCCUPANCY: TRASH ENCLOSURES BICYCLE PARKING

UNITS COUNT:

PROPOSED - 58 RESIDENTIAL UNITS

BLDG. HT. & NUMBER OF STORY:

PERMITTED: TO 3 STORIES OR 36 FT (R-MD-2 ZONING).
PROPOSED:
BLDG. HT. 40' 5" MEASURED TO TOP OF PITCHED ROOF FOR STREET FACING BUILDINGS.
BLDG. HT. 30' 0" MEASURED TO TOP OF FLAT ROOF FOR REAR FACING BUILDINGS.
STORIES: 3 STORY BLDG; 3 LEVELS OF TYPE VA (ABOVE GROUND BUILDINGS) OVER BASEMENT TYPE IA GARAGE (S-2)

DEFERRED SUBMITTALS:

SPRINKLER SYSTEM IS UNDER SEPARATE PERMIT
SOLAR PANELS UNDER SEPARATE PERMIT
EMERGENCY EVACUATION SIGNS UNDER SEPARATE PERMIT
STAIRWELL IDENTIFICATION SIGNS & EVACUATION SIGNS UNDER SEPARATE PERMIT
FIRE ALARM UNDER SEPARATE PERMIT
ERRC SYSTEM UNDER SEPARATE PERMIT

PREVAILING CODES:

2022 CALIFORNIA BUILDING CODE & EAST PALO ALTO AMENDMENTS
2022 CALIFORNIA RESIDENTIAL CODE & EAST PALO ALTO AMENDMENTS
2022 CALIFORNIA MECHANICAL CODE & EAST PALO ALTO AMENDMENTS
2022 CALIFORNIA PLUMBING CODE & EAST PALO ALTO AMENDMENTS
2022 CALIFORNIA ELECTRICAL CODE & EAST PALO ALTO AMENDMENTS
2022 CALIFORNIA ENERGY CODE & EAST PALO ALTO AMENDMENTS
2022 CALIFORNIA GREEN BUILDING STANDARD CODE

RESIDENTIAL AREA CALCULATIONS BY FLOOR

LEVEL	CONSTR. TYPE	GROSS AREA (SQ FT)
BASEMENT	1A	37,400
FIRST FLOOR	5A	35,427
SECOND FLOOR	5A	40,129
THIRD FLOOR	5A	40,129
TOTAL		153,085 ft²

UNIT MIX

TYPE	QUANTITY	NET SQ FT	NET SQ FT TOTAL	UNIT MIX
A	(10) 3 BD	1,895 SF	18,950 SF NET AREA	17.2 %
B	(15) 4 BD	1,984 SF	31,744 SF NET AREA	27.6 %
D	(13) 4 BD	1,968 SF	25,584 SF NET AREA	22.4 %
D.1	(3) 3 BD	1,912 SF	5,736 SF NET AREA	5.2 %
F	(8) 3 BD	1,707 SF	13,656 SF NET AREA	13.8 %
G	(8) 1 BD	747 SF	5,976 SF NET AREA	13.8 %
TOTAL	58		101,646 SF	100 %

FIRE RESISTANCE SUMMARY

TABLE 601 COMPLIANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV			TYPE V	
	A	B	A	B	A	B	A	B	C	HT	A B
Primary structural frame ^a (see Section 202)	3 ^{h,5}	2 ^{h,5}	2 ^{h,5}	0 ^h	1 ^{h,5}	0	3 ^h	2 ^h	2 ^h	HT	1 ^{h,5} 0
Bearing walls											
Exterior ^{b,1}	3	2	1	0	2	2	3	2	2	2	1 0
Interior	3 ^h	2 ^h	1	0	1	0	3	2	2	1/HT ⁹	1 0
Nonbearing walls and partitions											
Exterior										See Table 705.5	
Nonbearing walls and partitions											
Interior ^d	0	0	0	0	0	0	0	0	0	See Section 2304.11.2	0 0
Floor construction and associated secondary structural members (see Section 202)	2	2	1	0	1	0	2	2	2	HT	1 0
Roof construction and associated secondary structural members (see Section 202)	1 1/2 ^h	1 ^{h,5}	1 ^{h,5}	0 ^h	1 ^{h,5}	0	1 1/2	1	1	HT	1 ^{h,5} 0

For SI: 1 foot = 304.8 mm.

- a. Roof supports. Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour when supporting a roof only.
- b. 1. Except in Group A, E, F-1, H, L, L.M., R-1, R-2, R-1, R-2 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members in roof construction shall not be required, including protection of primary structural frame members, roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
2. For Group A, E, L, L-1, R-1, R-2 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the primary structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
- c. One-story portions of Group A and E assembly occupancies the roof-framing system of Type I-A or Type II-A construction may be of unprotected construction where the fire separation distance is 2 feet or greater.
- d. In all occupancies, heavy timber complying with Section 2304.11 shall be allowed for roof construction, including primary structural frame members, where a 1-hour or less fire-resistance rating is required.
- e. Not less than the fire-resistance rating required by other sections of this code.
- f. Not less than the fire-resistance rating based on fire separation distance (see Table 705.5).
- g. Not less than the fire-resistance rating as referenced in Section 704.10.
- h. Heavy timber bearing walls supporting more than two floors or more than a floor and a roof shall have a fire-resistance rating of not less than 1 hour.

TABLE 705.5 COMPLIANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE. ^{a, b, c, d, e}

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H ^a , L	OCCUPANCY GROUP F-1, M, S-1 ^f	OCCUPANCY GROUP A, B, E, F-2, I, R ¹ , S-2, U ^h
X < 5 ^b	All	3	2	1
5 ≤ X < 10	IA, I/A	3	2	1
	Others	2	1	1
	IA, IB, I/A, I/B	2	1	1 ^c
10 ≤ X < 30	IIB, VB	1	0	0
	Others	1	1	1 ^c
	All	0	0	0



1.



2.



3.



4.



5.



6.



7.



8.



9.



10.



11.



12.



13.



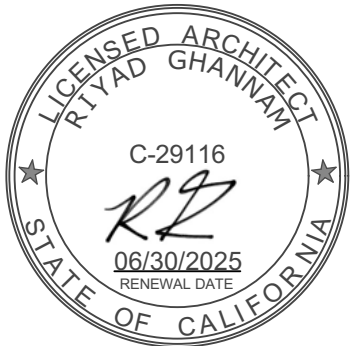
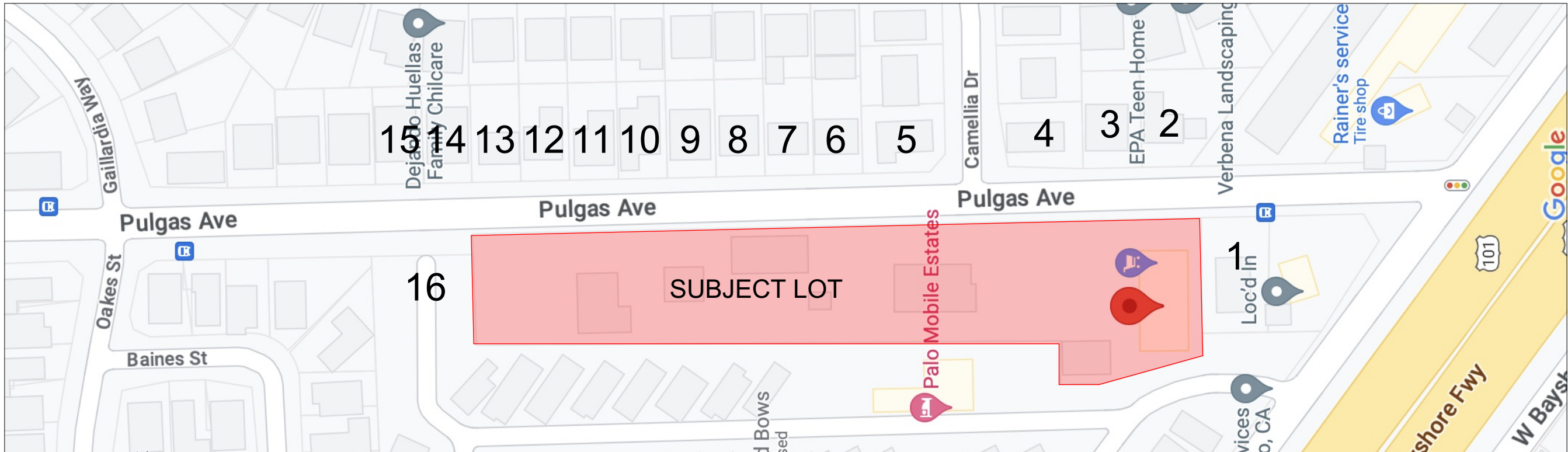
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15.



16.



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REVISIONS	NO.	DATE	ISSUE
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REVISION CHANGE

ISSUE
03/10/25 DESIGN REVIEW/ TREE
REMOVAL/ LOT SUBDIVISION

OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

PROJECT NAME
**1933 Pulgas Ave
Townhomes**
East Palo Alto, CA 94303

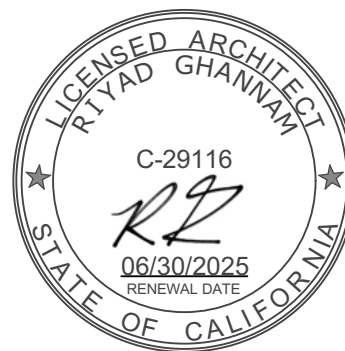
APN
063-492-280

SCALE
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202309
DATE OF PUBLICATION
3/25/2025

**NEIGHBORHOOD
PHOTOS**

DRAWING NO. 4 OF 68

G0.04



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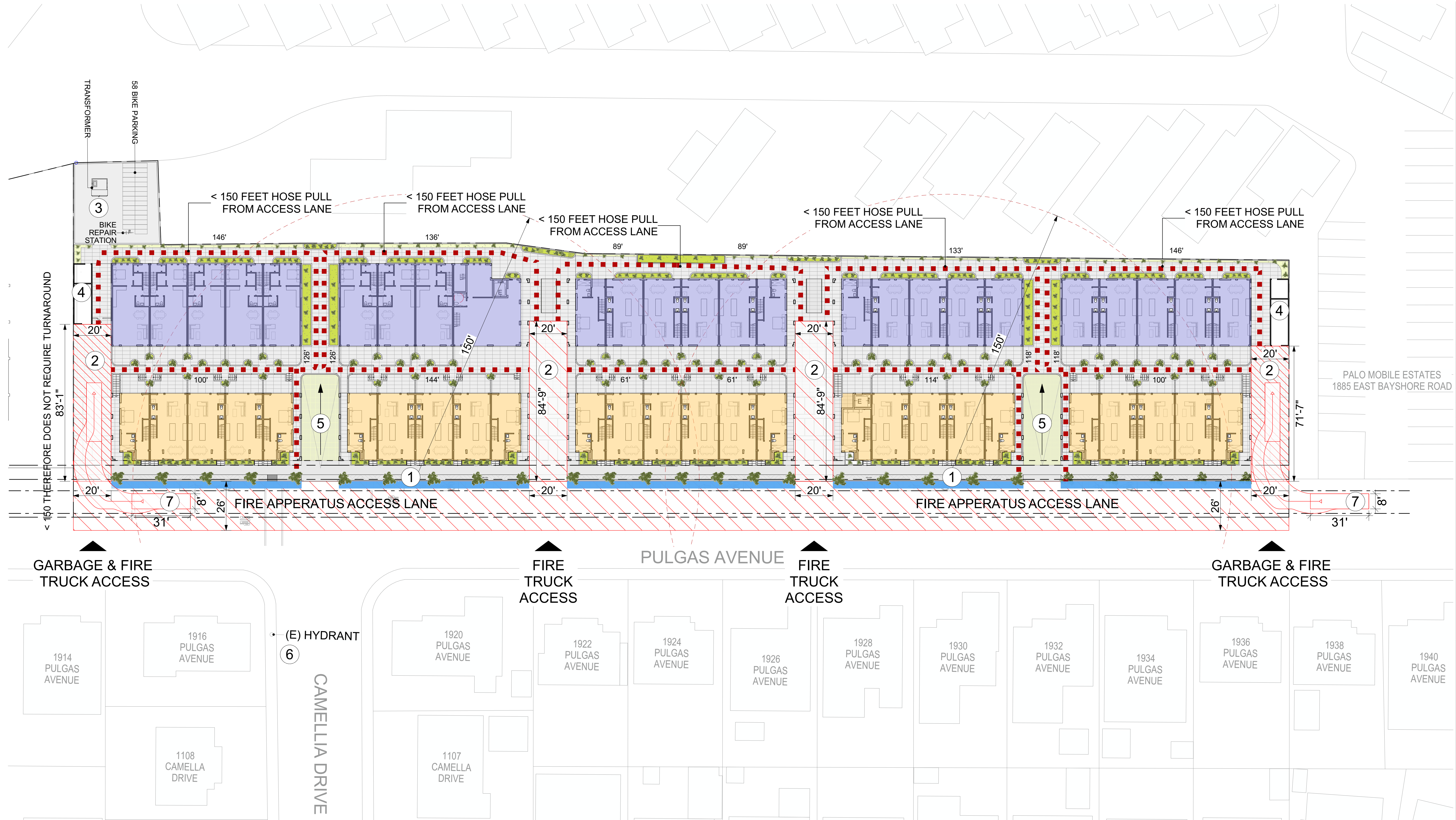
PROJECT NO.
202309

DATE OF PUBLICATION
3/25/2025

**FIRE/GARBAGE
TRUCK ACCESS
DIAGRAMS**

DRAWING NO. 5 OF 68

G0.05



LEGEND:

- 3 STORY RESIDENTIAL TOWNHOUSES - 40'-5" HEIGHT
- 3 STORY RESIDENTIAL TOWNHOUSES - 30'-0" HEIGHT
- FIRE APPERATUS ACCESS LANE
- SHARED FIRE & GARBAGE APPERATUS ACCESS LANE
- 150 FOOT HOSE PULL MAXIMUM
- FIRE TRUCK LADDER LOCATIONS

- 1 PROPOSED FIRE HYDRANT, TBD
- 2 FIRE APPERATUS ACCESS LANE
- 3 PROPOSED TRANSFORMER
- 4 TRASH ENCLOSURE
- 5 RAMP TO UNDERGROUND GARAGE
- 6 EXISTING FIRE HYDRANT
- 7 TRUCK MANEUVERING PATH, TYP

Market-Rate Unit Mix Example Table - 58-Unit Ownership Project

Unit Type	Bedrooms	Sq.Ft. (Net)	# Units	Total Bedrooms	Total Sq.Ft.
Type A	3	1,895	10	30	18950
Type B	4	1,984	16	64	31744
Type D	4	1,968	16	64	31488
Type F	3	1,707	8	24	13656
Type G	1	747	8	8	5976
Total			58	190	101814

Note: 3 of the Type D Units are approximately 50 sq ft smaller
Note: 3 of the Type F Units are approximately 50 sq ft larger

Inclusionary Unit Mix Table - 58-Unit Ownership Project

Unit Type	% AMI	Bedrooms	Sq.Ft. (Net)	# Units	Total Bedrooms	Total Sq.Ft.
Type A	120	3	1,895	1	3	1895
Type A	80	3	1,895	1	3	1895
Type B	120	4	1,984	1	4	1984
Type B	80	4	1,984	1	4	1984
Type D	120	4	1,968	1	4	1968
Type D	80	4	1,968	1	4	1968
Type G	80	1	747	1	1	747
Type G	80	1	747	1	1	747
Type F	120	3	1,707	1	3	1707
Total				9	27	14895

*Note: Affordability levels of the Inclusionary Units: For-Sale requirement: 10% of units affordable to households at or below 80% AMI and 10% of units affordable to households at or below 120% AMI.

R-MD-2 Multiple-family medium density residential (12 - 22 du/ac) - Based on City provided table

BASE UNITS	46
DENSITY BONUS UNITS	12
(DENSITY BONUS 26% FOR INCLUSIONARY)	
TOTAL UNITS	58

INCLUSIONARY PROVIDED: 9 UNITS (5 UNITS AT 80% AMI, 4 UNITS AT 120% AMI)
20% INCLUSIONARY REQUIREMENT APPLIES TO THE BASE 46 UNITS = 9.34 UNITS. OF THIS, 0.36 UNITS WILL BE COVERED BY AN IN-LIEU FEE.

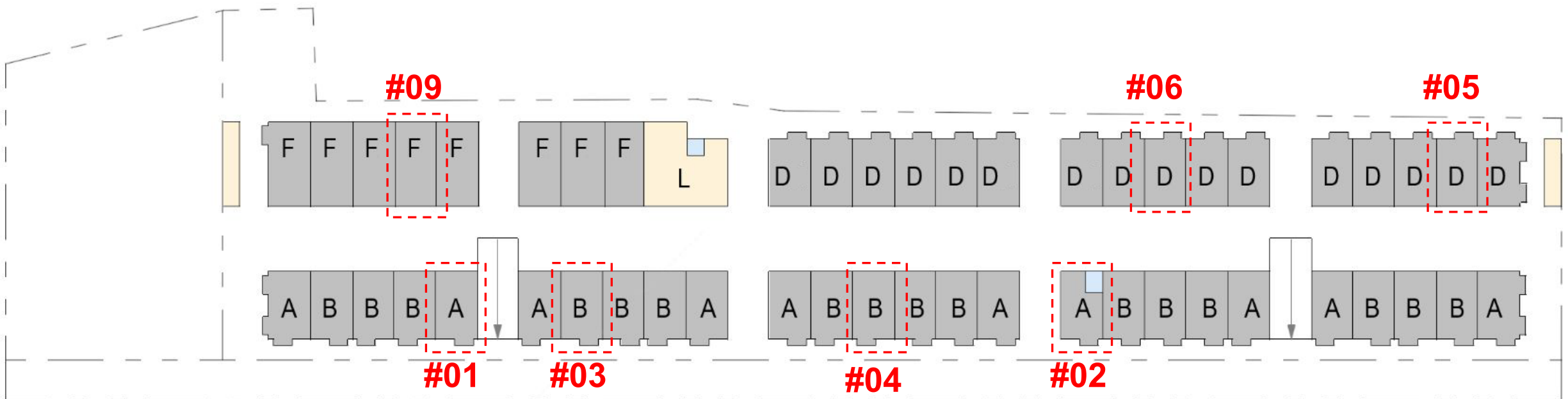
5 UNITS (10% AT 80% AMI
4 UNITS (10% AT 120% AMI)
9 TOTAL INCLUSIONARY RATE

Affordability levels of the Inclusionary Units

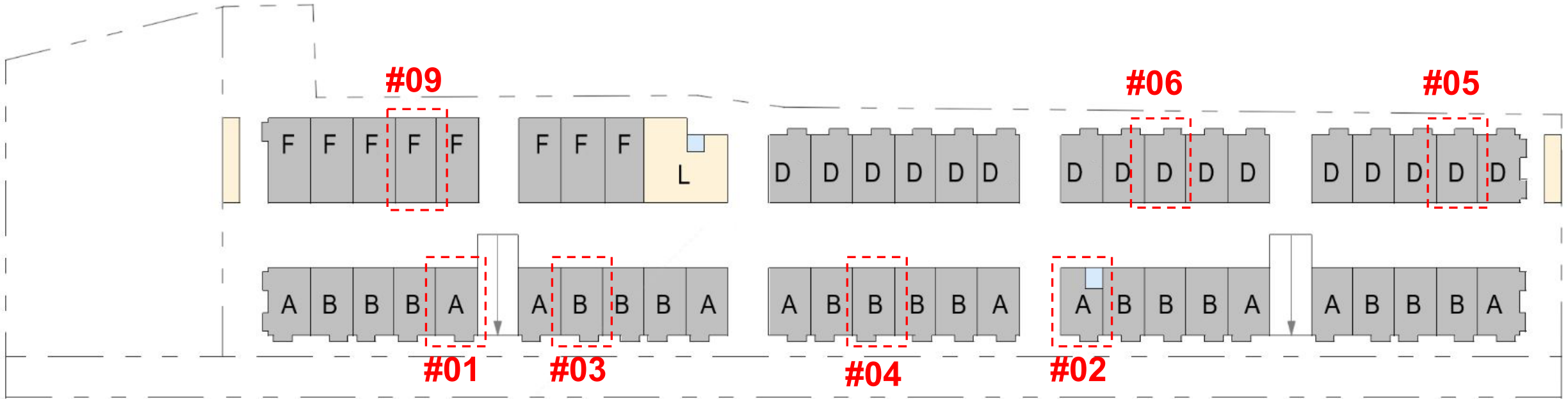
UNIT MIX TABLES

IZ/Density 1933 Pulgas ave.		
IZ applies to base units - 10% @ 80% of AMI, 10% @ 120% of AMI, remaining density applies to base		
	Raw Number	Actual Units
Base Units	46	46
Proposed Units	58	58
Density Bonus Requested	26%	12
10% of Base @ 80% of AMI	4.6	5
10% of Base @ 120% of AMI	4.6	4
Resulting IZ Units	9.2	9

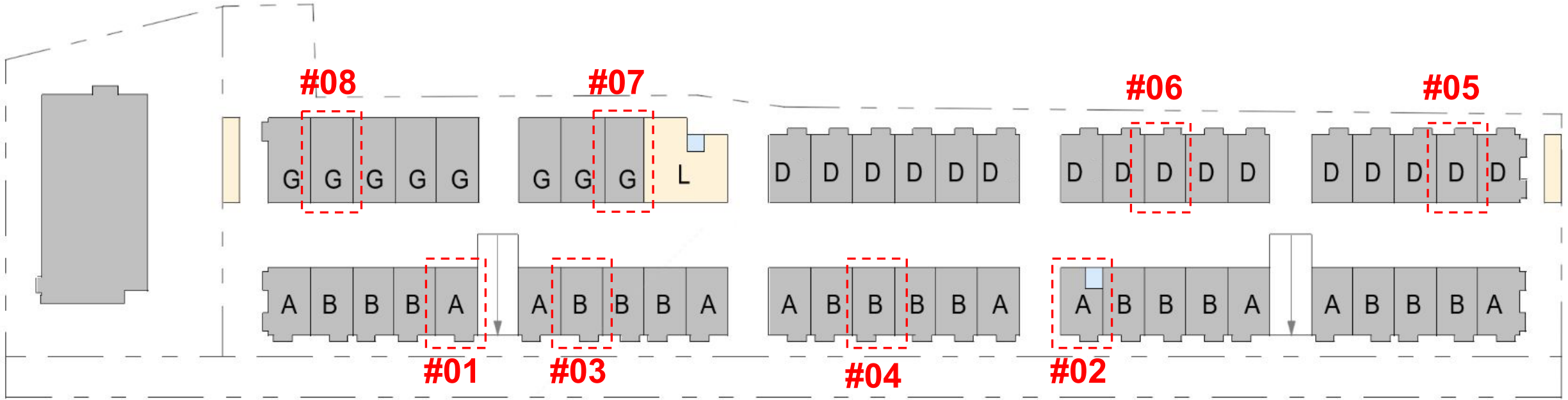
ALL INCLUSIONARY UNITS WILL BE CONSTRUCTED TO BE COMPARABLE IN EXTERIOR APPEARANCE AND OVERALL QUALITY TO THE MARKET-RATE UNITS IN THE SAME DEVELOPMENT. WHILE INTERIOR FINISHES, FEATURES, AND AMENITIES MAY VARY FROM THOSE PROVIDED IN THE MARKET-RATE UNITS, THEY WILL BE DURABLE, OF GOOD QUALITY, COMPATIBLE WITH THE MARKET-RATE UNITS, AND CONSISTENT WITH CONTEMPORARY STANDARDS FOR NEW HOUSING.



STORY 3



STORY 2



STORY 1

Unit Type	% AMI	Bedrooms	Sq. Ft.	Unit Number
Type A	120	3	1,895	#01
Type A	80	3	1,895	#02
Type B	120	4	1,984	#03
Type B	80	4	1,984	#04
Type D	120	4	1,968	#05
Type D	80	4	1,968	#06
Type G	80	1	718	#07
Type G	80	1	718	#08
Type F	120	3	1,707	#09

INCLUSIONARY UNITS DISTRIBUTION CHART



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NO. DATE ISSUE

REVISION CHANGE

R1 - 01 - Inclusionary units and distribution
have been revised and added to sheet
G0.06.

ISSUE
03/10/25 DESIGN REVIEW/ TREE
REMOVAL/ LOT SUBDIVISION

OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

PROJECT NAME
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Townhomes
East Palo Alto, CA 94303

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3/25/2025

INCLUSIONARY
UNITS -
PRELIMINARY
DIAGRAMS
DRAWING NO. 6 OF 68

G0.06

REVISIONS		
NO.	DATE	ISSUE

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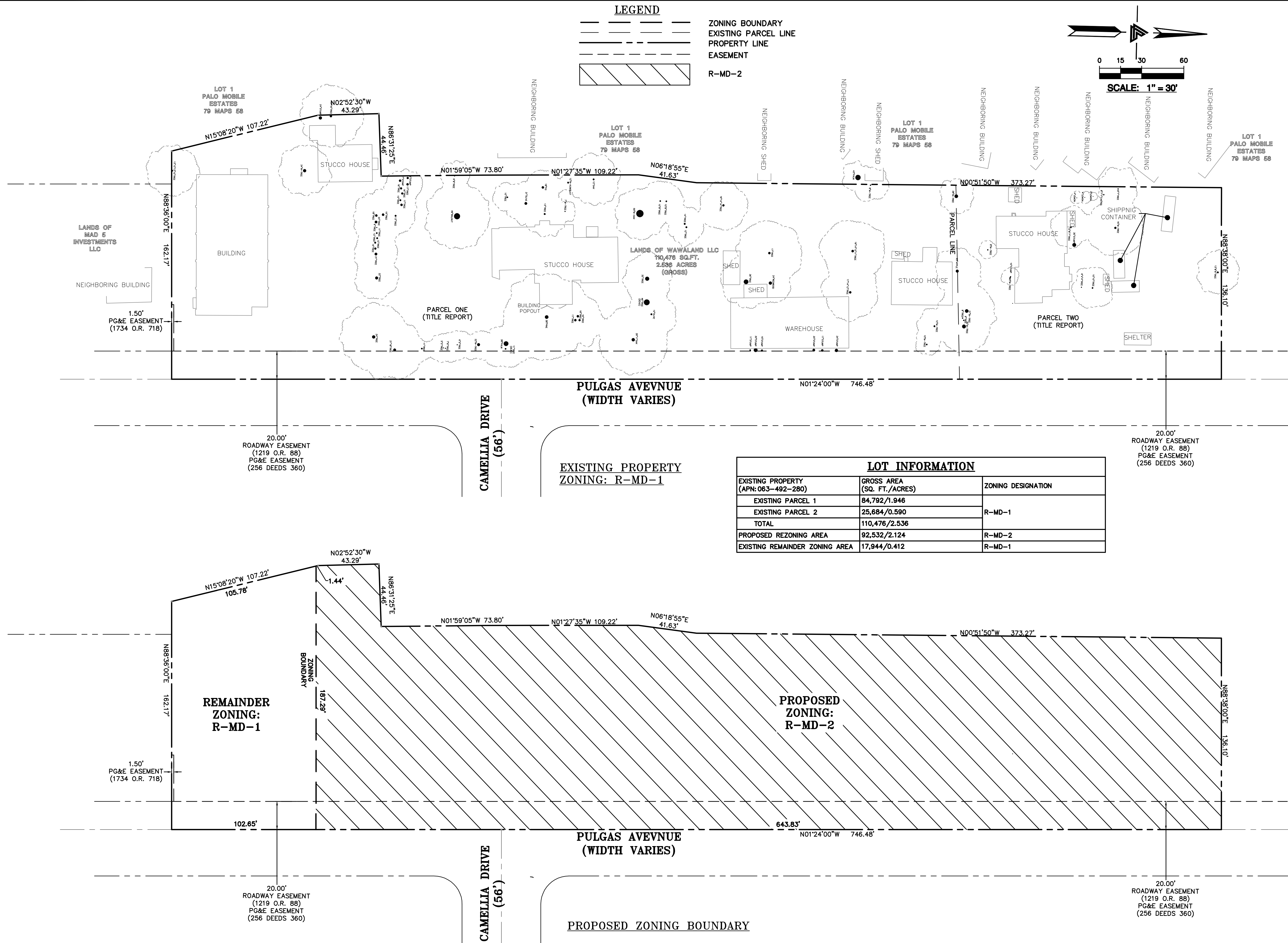
OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

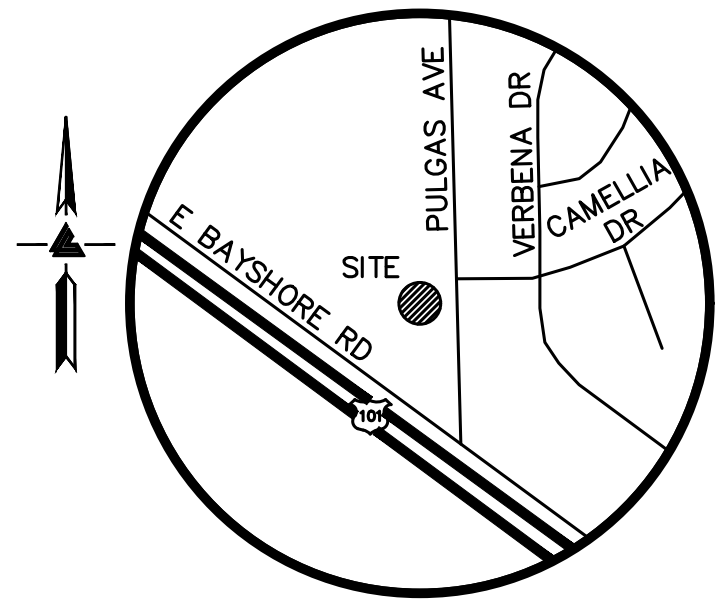
APN
063-492-280

REZONING - PLAT MAP

DRAWING NO. 7 OF 68

G0.07

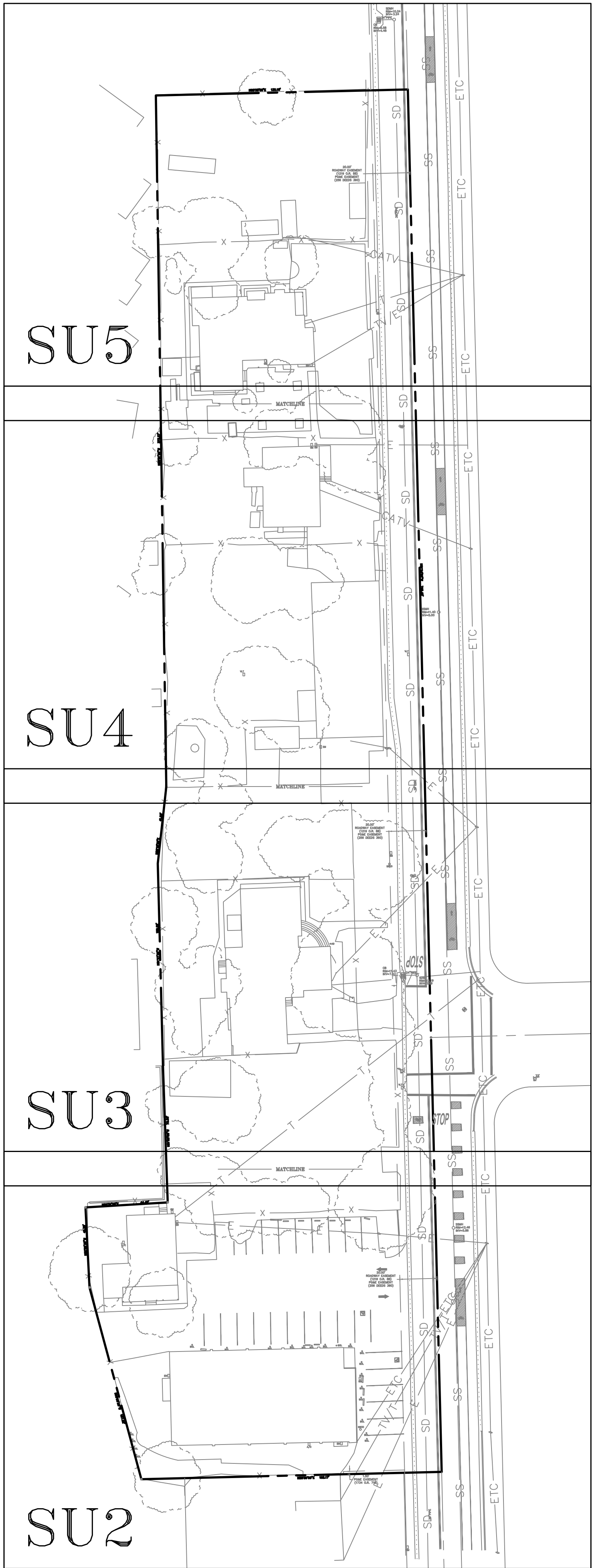




VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
--- BUILDING OVERHANG LINE
--- CATV --- CABLE TV OVERHEAD LINE
--- E --- ELECTRICAL OVERHEAD LINE
--- ETC --- ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
--- T --- TELEPHONE OVERHEAD LINE
--- TV/E --- ELECTRICAL/CABLE TV OVERHEAD LINE
--- TV/T --- TELEPHONE/CABLE TV OVERHEAD LINE
--- EASEMENT
--- X --- FENCE LINE
--- FLOW LINE
--- SS --- SANITARY SEWER LINE
--- SD --- STORM DRAIN LINE
□ A/C AIR CONDITIONING UNIT
• AD AREA DRAIN
• BENCHMARK
• BOL BOLLARD
BW BOTTOM RETAINING WALL
CB CATCH BASIN
EM ELECTRICAL METER
FF FINISH FLOOR
FH FIRE HYDRANT
FL FLOW LINE
GM GAS METER
INV INVERT
ICV IRRIGATION CONTROL VALVE
J JOINT POLE
M- MULTI-TRUNK TREE
RP ROOF PEAK
RF ROOF FLAT
SSCO SANITARY SEWER CLEAN-OUT
SSMH SANITARY SEWER MAINTENANCE HOLE
SIGN
SDMH STORM DRAIN MAINTENANCE HOLE
VLT UTILITY VAULT
TC TOP OF CURB
TW TOP OF RETAINING WALL
WM WATER METER
WV WATER VALVE
XXX.XX SPOTGRADE
ASPHALT
BRICK
CONCRETE
GRAVEL
WOOD



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE GROSS AREA OF THE SURVEYED LOT IS 110,476± SQUARE FEET / 2.536± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, TITLE NO. FWTO-3762200717-JJ, DATED OCTOBER 11, 2022.

PG&E EASEMENT PER DOCUMENT (252 DEEDS 486) - THE EXACT LOCATION OF THIS EASEMENT IS NOT DISCLOSED OF RECORD.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

BENCHMARK

CITY OF EAST PALO ALTO BENCHMARK
CITY BM 1
DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN THE LAWN IN UNIVERSITY SQUARE PARK AT TATE AND OAKES STREETS IN THE CITY OF EAST PALO ALTO LOCATED AT THE EAST SIDE OF THE CONCRETE PATH
ELEVATION = 13.17'
(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 12.35'
(NAVD 88 DATUM)

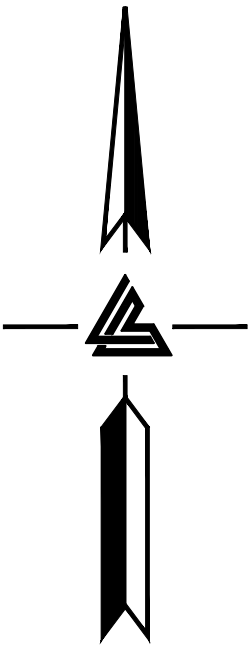
FEMA FLOOD NOTE

PORTION OF SURVEYED PROPERTY LIE WITHIN FLOOD ZONE: AE

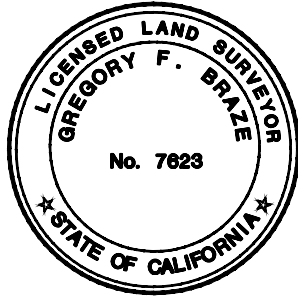
100-YEAR BASE FLOOD ELEVATION (BFE): 10.3' (NAVD88 DATUM)
PER FLOOD INSURANCE STUDY
TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS

FEMA FLOOD INSURANCE RATE MAP
NO.: 06081C0309F
EFFECTIVE DATE: MARCH 5, 2019

FEMA FLOOD INSURANCE STUDY FOR SAN MATEO COUNTY, CA
NO.:06081CV001D
REVISED: APRIL 5, 2019



0 20 40 80
SCALE: 1" = 40'



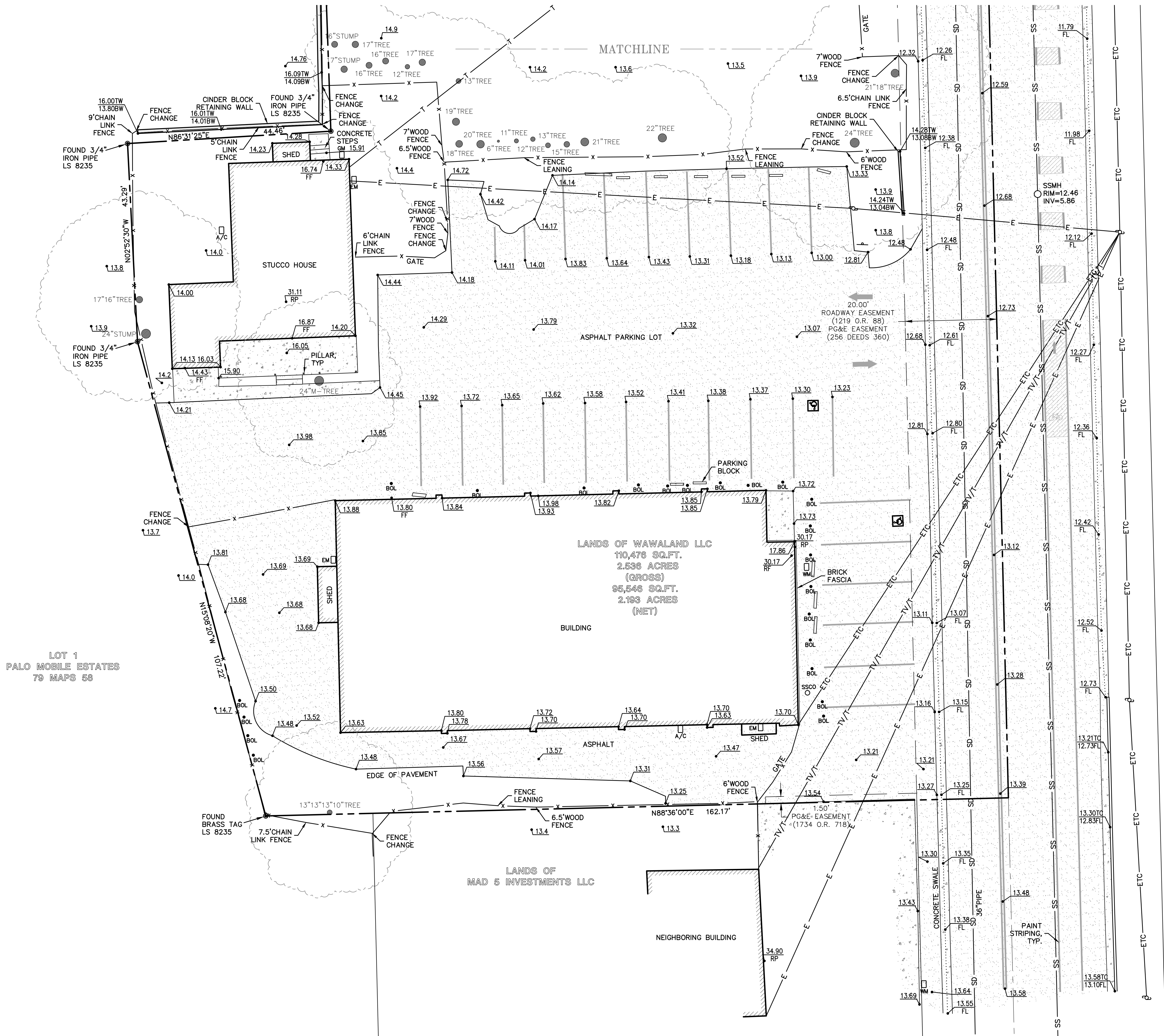
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
ROSEVILLE
CLAYTON
SAN JOSE
SAN LUIS OBISPO
WWW.LEABRAZE.COM

1933 PULGAS AVENUE
EAST PALO ALTO
CALIFORNIA
APN: 063-492-280
SAN MATEO COUNTY

TOPOGRAPHIC SURVEY

1	1
1	1
1	1
1	1
REVISIONS	BY
JOB NO:	2230335
DATE:	6-6-23
SCALE:	1"=40'
BNDY BY:	MT
FIELD BY:	JC
DRAWN BY:	ZB
SHEET NO:	

SU1
1 OF 5 SHEETS



LOT 1
PALO MOBILE ESTATES
79 MAPS 58

MATCHLINE

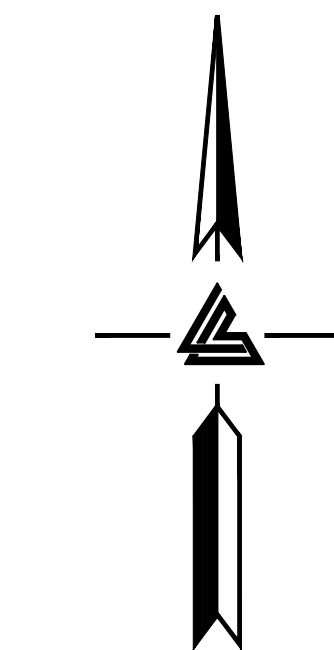
LANDS OF WAWALAND LLC
110,476 SQ.FT.
2.536 ACRES
(GROSS)
95,546 SQ.FT.
2.193 ACRES
(NET)

BUILDING

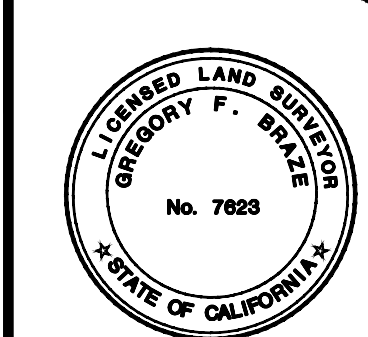
ASPHALT PARKING LOT

STUCCO HOUSE

NEIGHBORING BUILDING



0 5 10 20
SCALE: 1" = 10'



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
MAIN OFFICE: 2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4066
WWW.LEABRAZE.COM

1933 PULGAS AVENUE
EAST PALO ALTO
CALIFORNIA

APN: 063-492-280

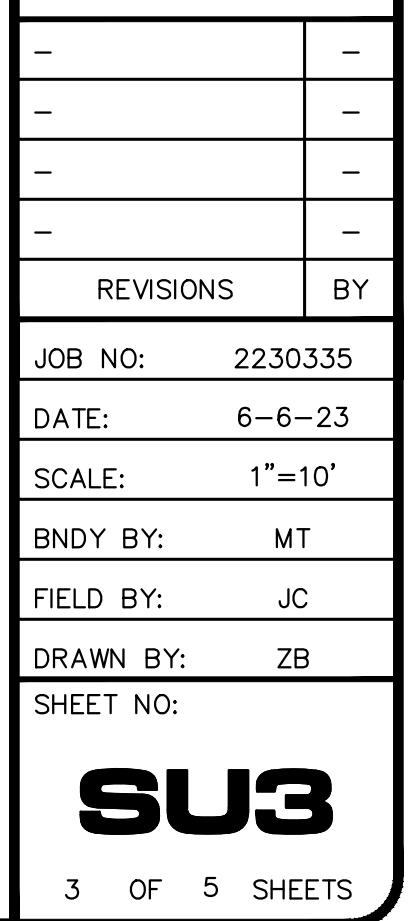
SAN MATEO COUNTY

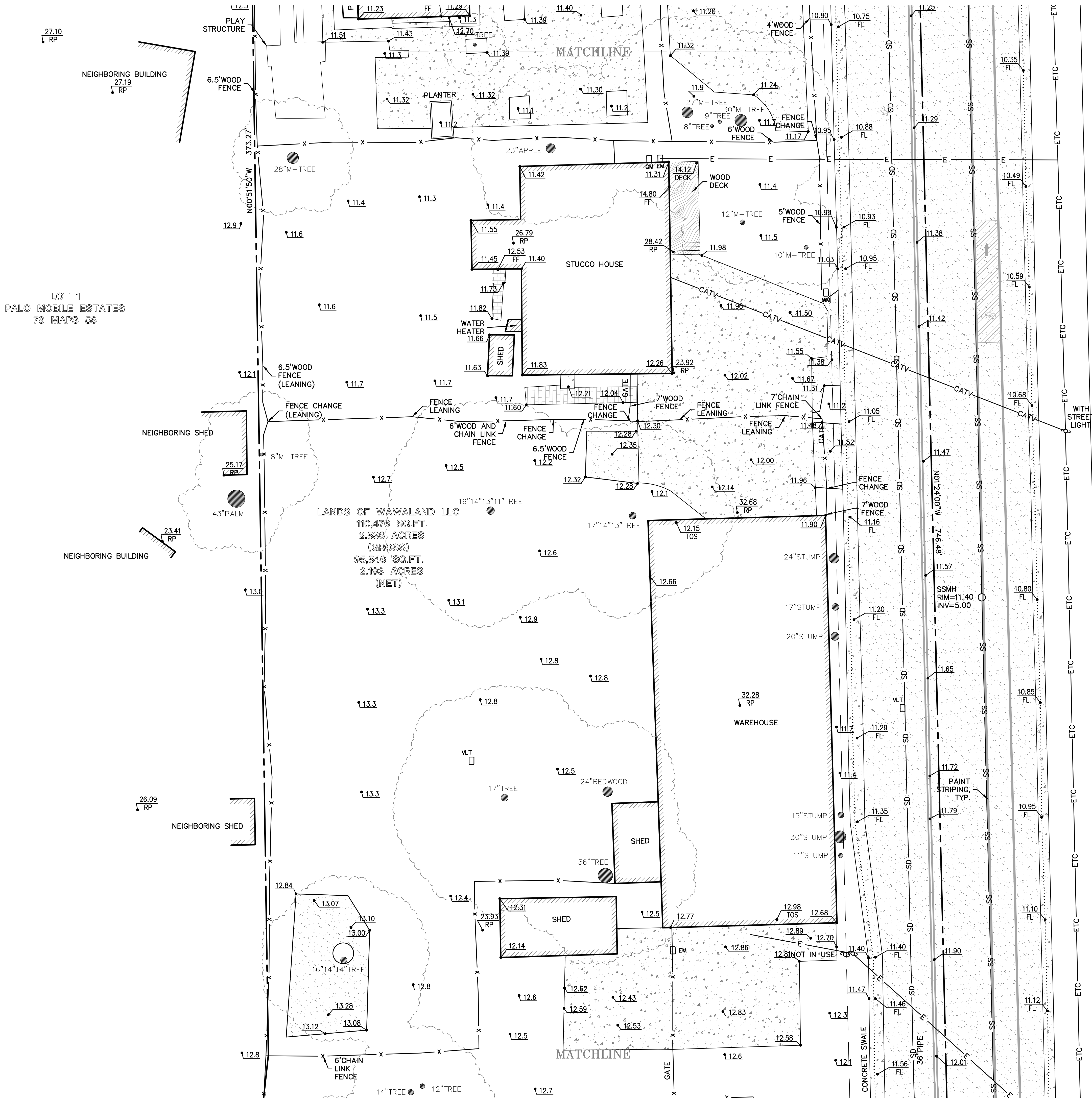
TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO: 2230335	
DATE: 6-6-23	
SCALE: 1"=10'	
BNDY BY: MT	
FIELD BY: JC	
DRAWN BY: ZB	
SHEET NO:	

SUR

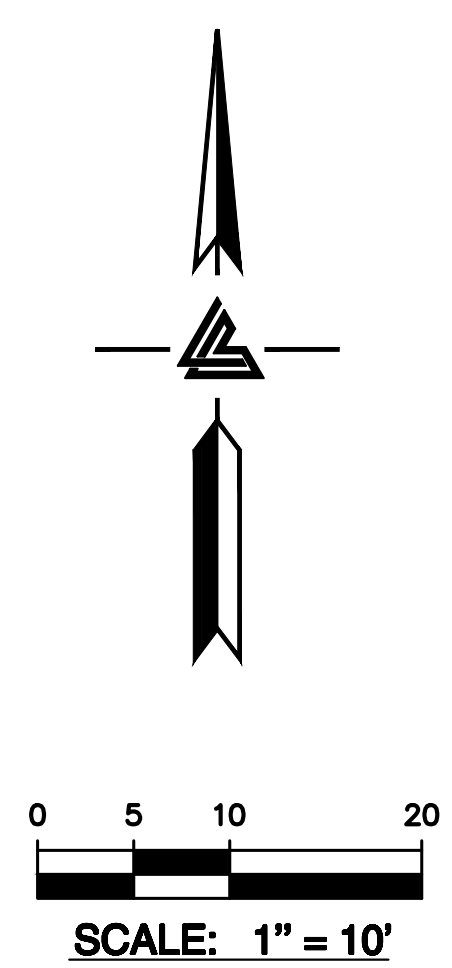
2 OF 5 SHEETS





LOT 1
PALO MOBILE ESTATES
79 MAPS 58

LANDS OF WAWALAND LLC
110,476 SQ.FT.
2.536 ACRES
(GROSS)
95,546 SQ.FT.
2.193 ACRES
(NET)



LEA & BRAZE ENGINEERING, INC.
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FAYARD, CALIFORNIA 94545
(916) 887-4086
SAN JOSE
SAN LUIS OBISPO
WWW.LEABRAZE.COM

1933 PULGAS AVENUE
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CALIFORNIA
APN: 063-492-280
SAN MATEO COUNTY

TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO: 2230335	
DATE: 6-6-23	
SCALE: 1"=10'	
BNDY BY: MT	
FIELD BY: JC	
DRAWN BY: ZB	
SHEET NO:	
SU4	
4 OF 5 SHEETS	



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
OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538


East Palo Alto, CA 94303

EXISTING/ DEMOLITION SITE PLAN

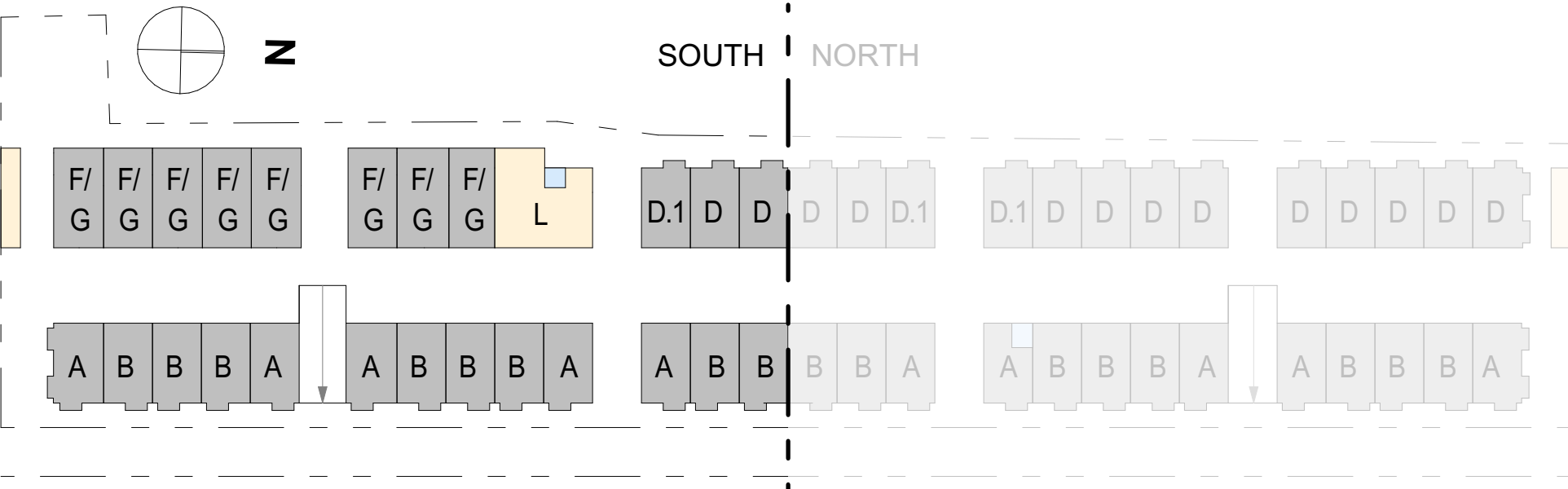
R0.06



 EXISTING STRUCTURE
TO BE DEMOLISHED

 EXISTING STRUCTURE
TO REMAIN

- 12 CLOSE-OUT: THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.



rg-architecture
428 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 94103
415.649.6202
mail@rg-architecture.com



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REVISIONS		
NO.	DATE	ISSUE

REVISION CHANGE

[illegible]

ISSUE
03/10/25 DESIGN REVIEW/ TREE
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FREMONT CA 94538

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East Palo Alto, CA 94303

APN
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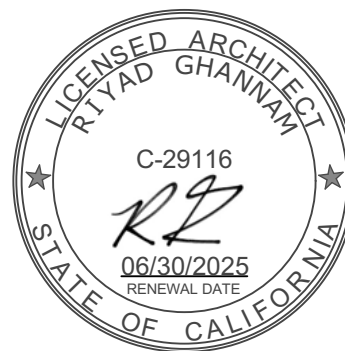
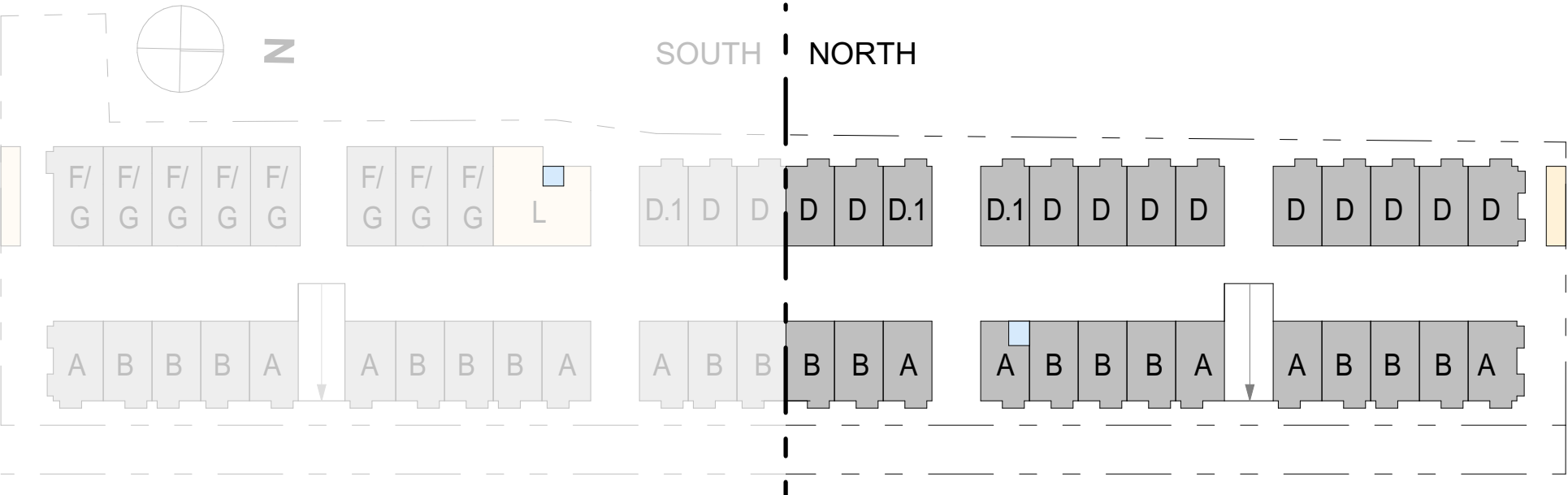
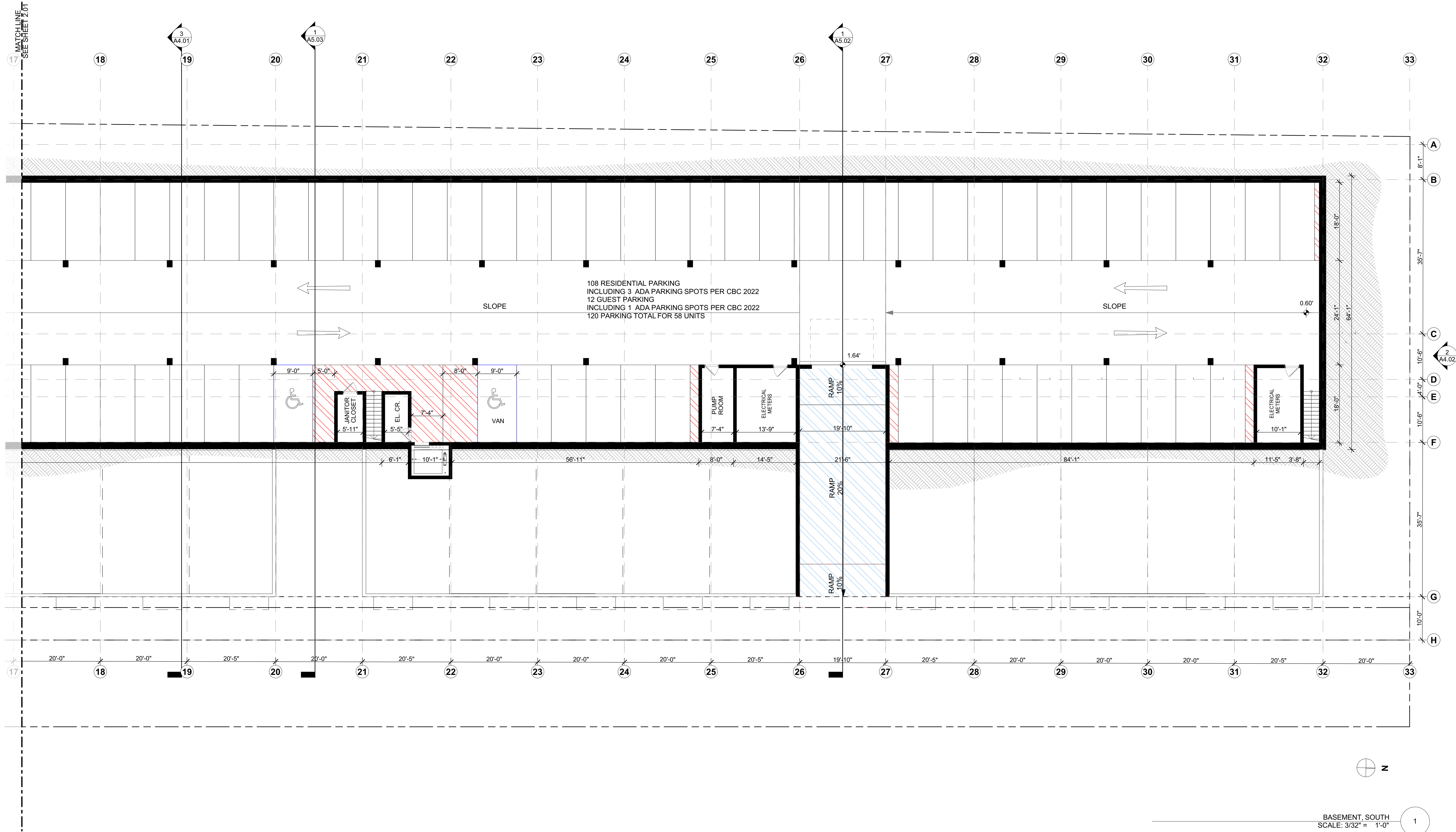
DATE OF PUBLICATION
3/25/2025

BASEMENT - SOUTH

DRAWING NO. 15 OF 68

A2.01

BASEMENT, SOUTH
SCALE: 3/32" = 1'-0"



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REVISIONS	NO.	DATE	ISSUE
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REVISION CHANGE

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**BASEMENT -
NORTH**

DRAWING NO. 16 OF 68

A2.02





REVISIONS	
NO.	DATE
1	11/1/88
2	11/1/88
3	11/1/88
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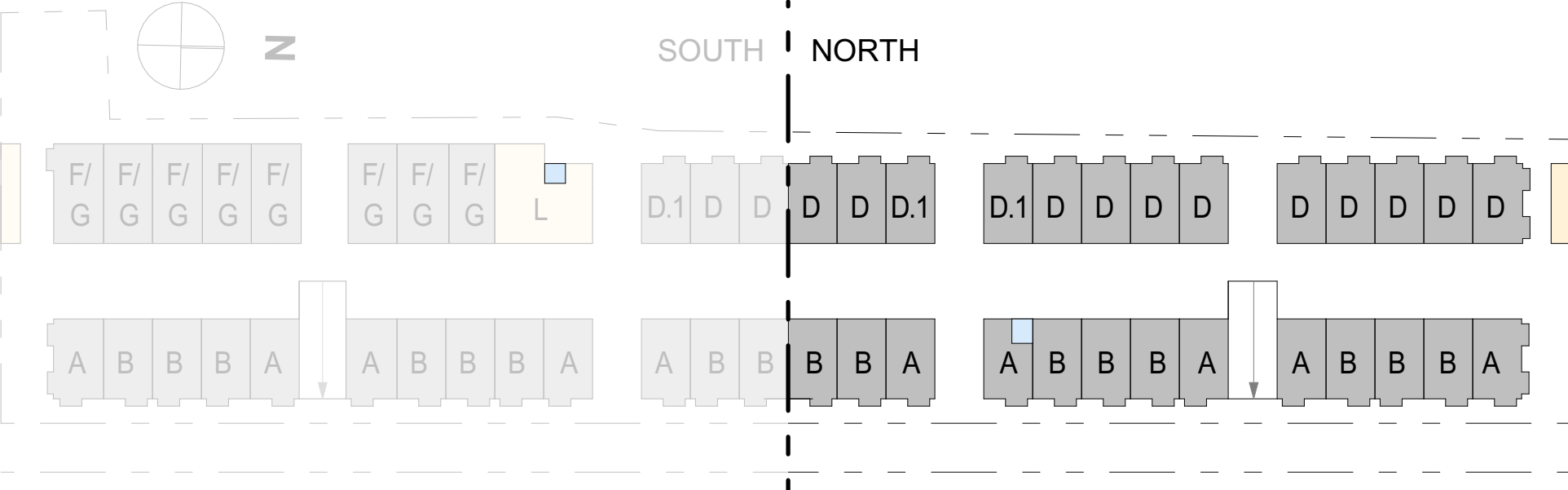
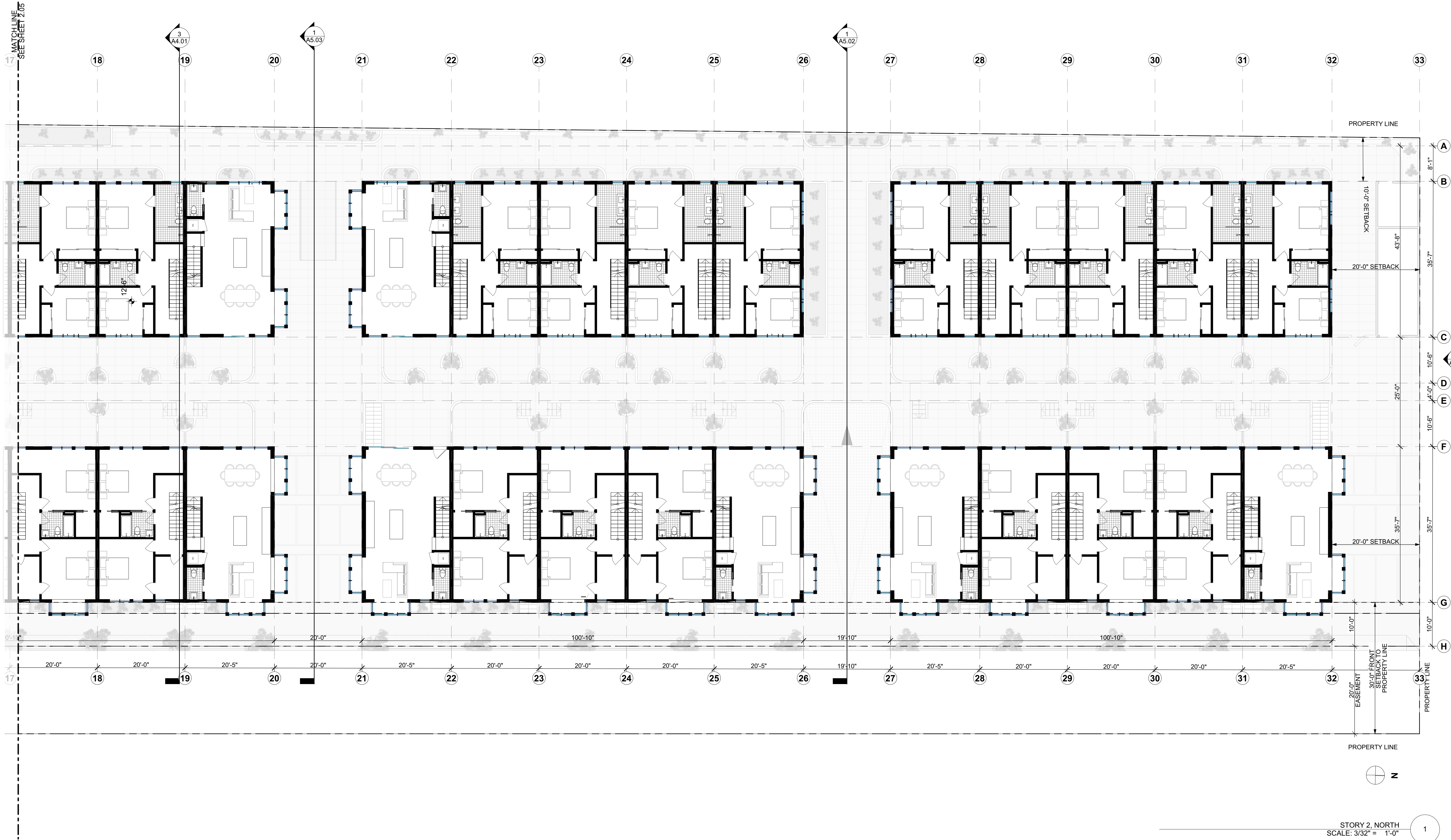
VISION CHANGE

42.05



STORY 2, SOUTH
SCALE: 3/32" = 1'-0"

1



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FREMONT CA 94538

PROJECT NAME
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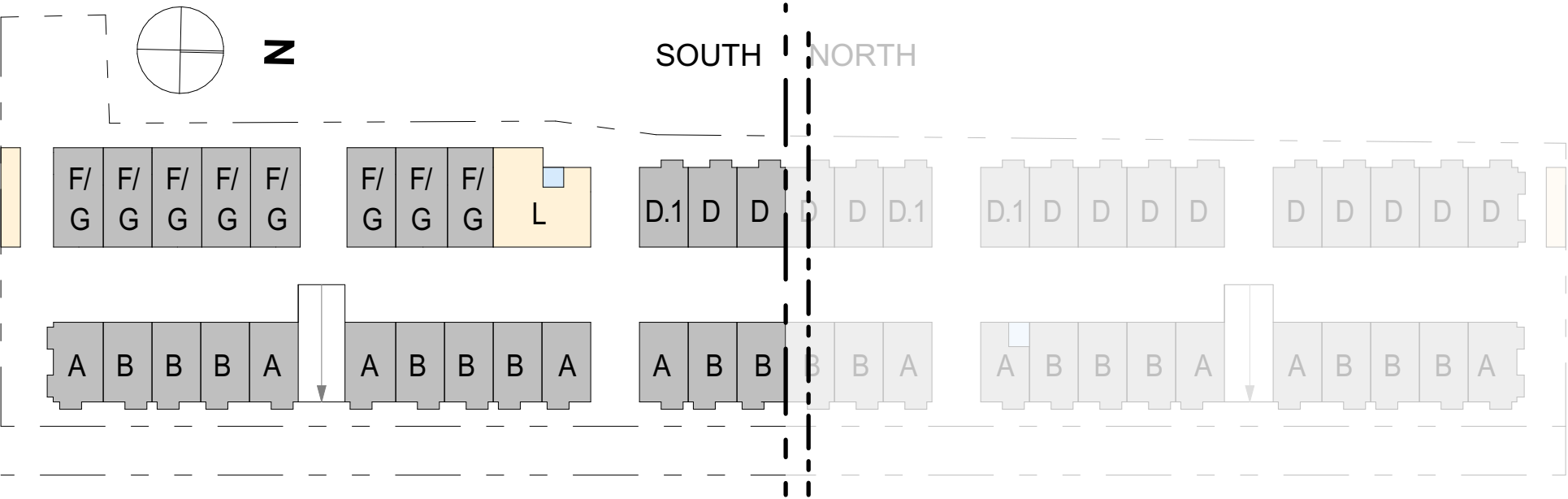
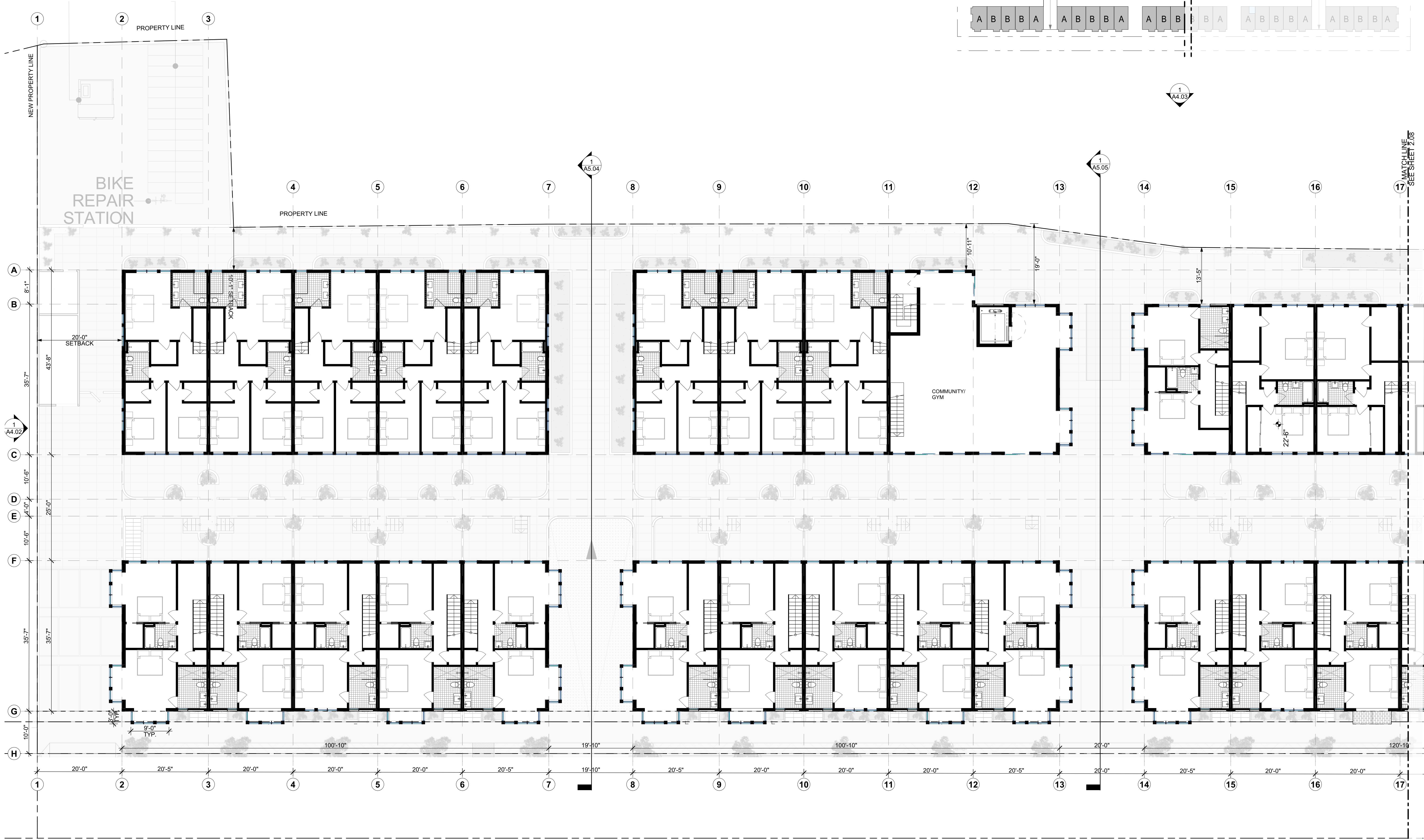
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STORY 2 - NORTH

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A2.06



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LICENCED ARCHITECT
RAYMOND GHANAM
C-29116
06/30/2025
RENEWAL DATE
STATE OF CALIFORNIA

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STORY 3 - SOUTH

DRAWING NO. 21 OF 68

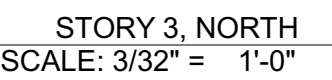
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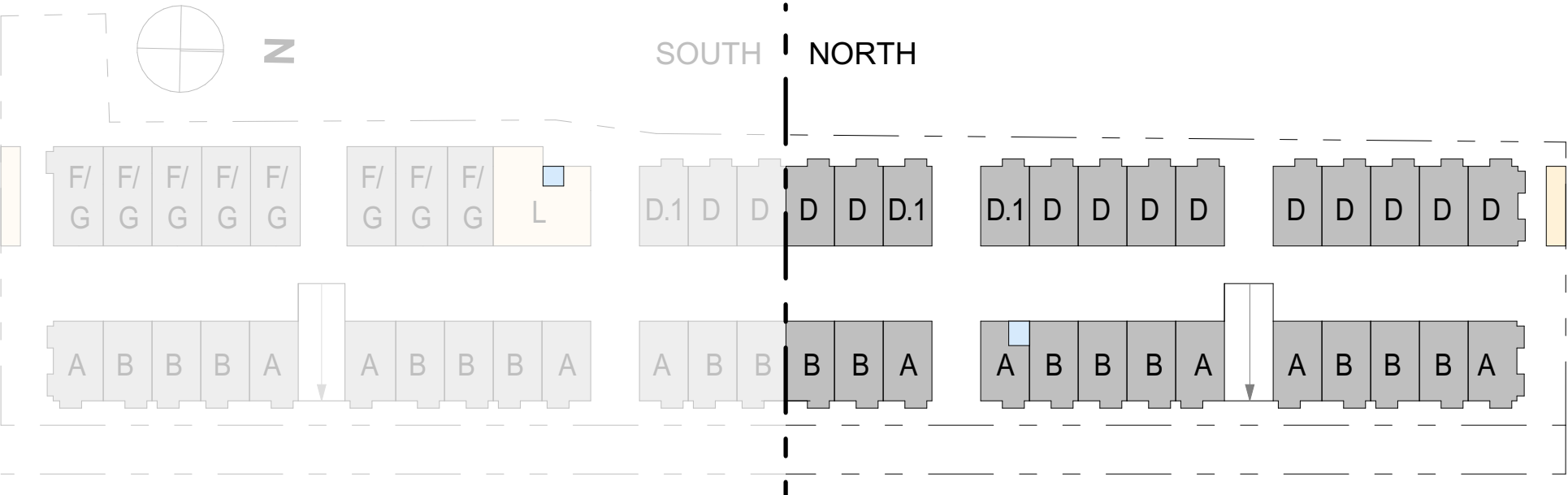
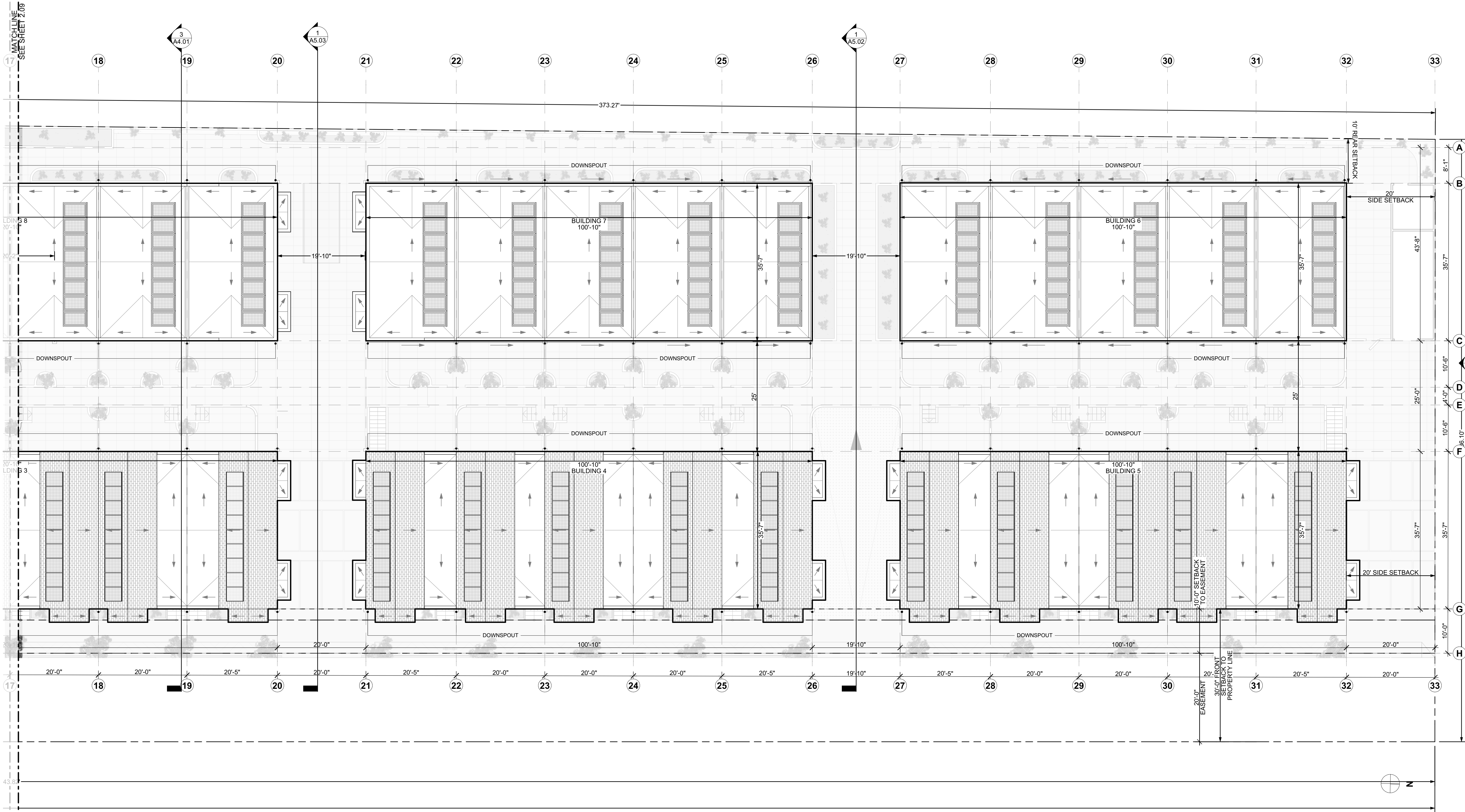
STORY 3, SOUTH
SCALE: 3/32" = 1'-0"

1



42.08





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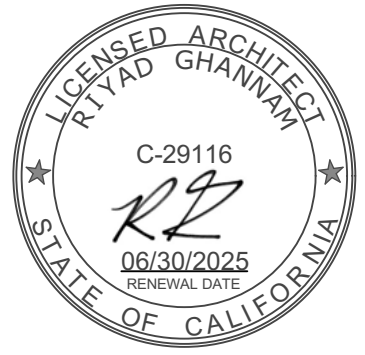
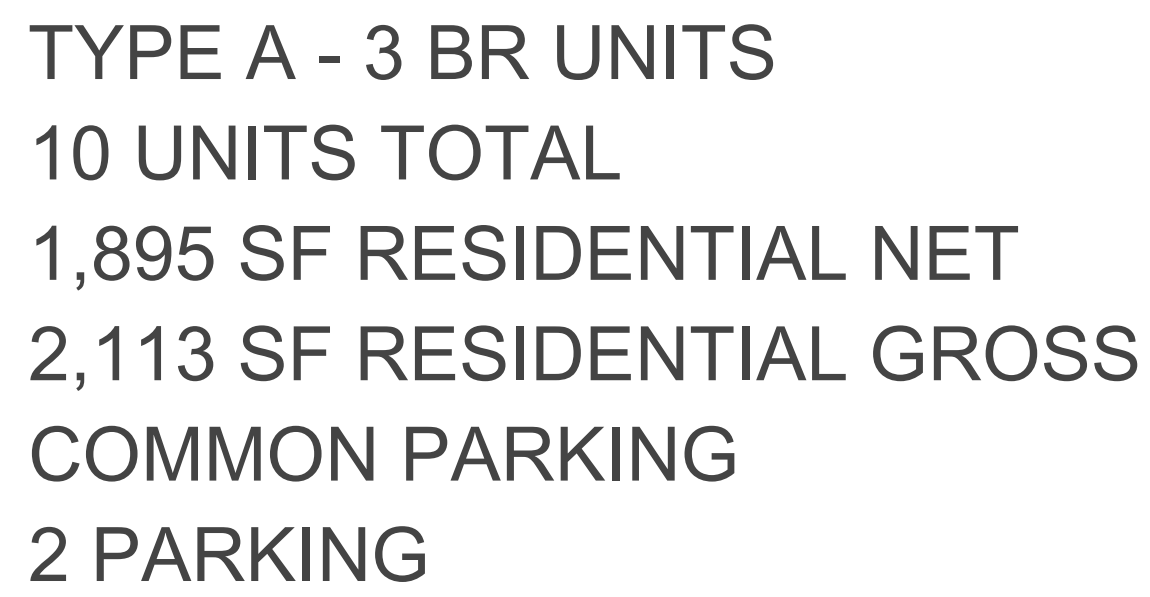
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ROOF - NORTH

DRAWING NO. 24 OF 68

A2.10



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[illegible]REVISION CHANGE

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ENLARGED FLOOR PLANS - TYPE A

DRAWING NO. 25 OF 68

A2.11

FLOOR PLANS

TYPE B - 4 BR UNITS

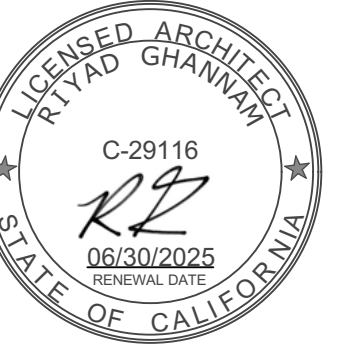
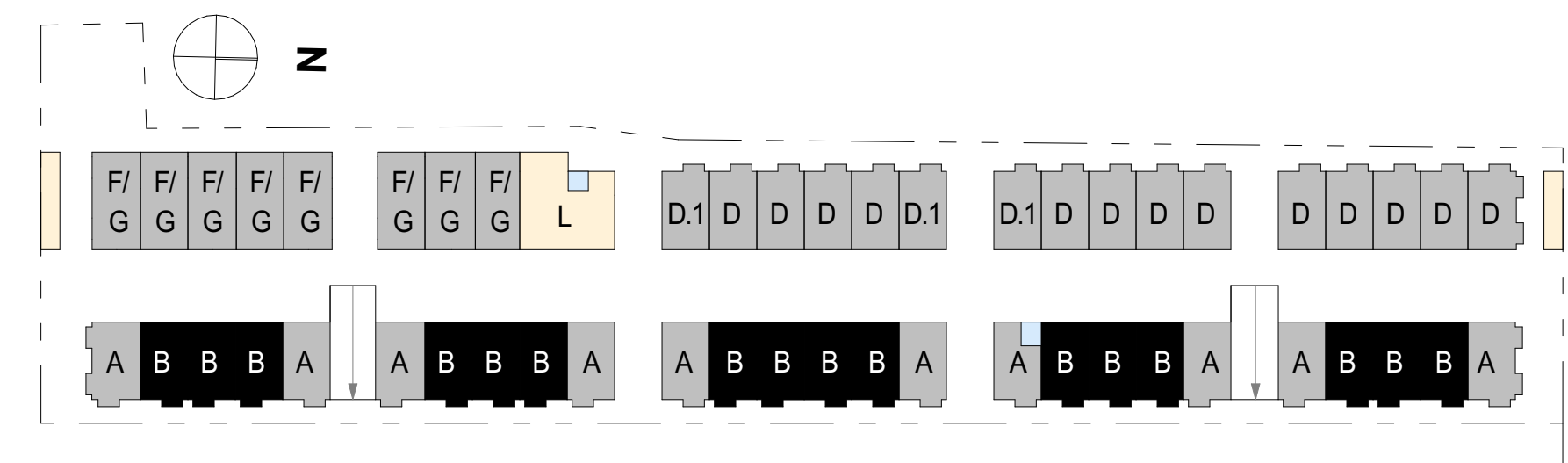
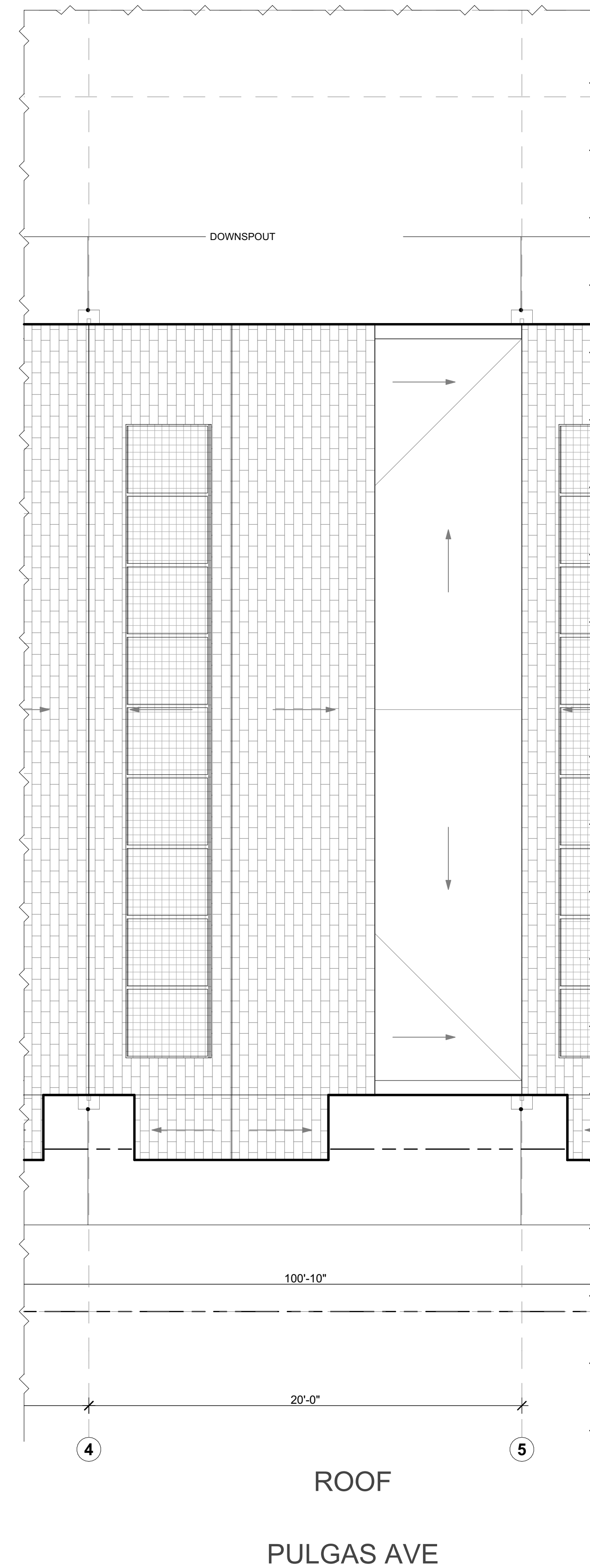
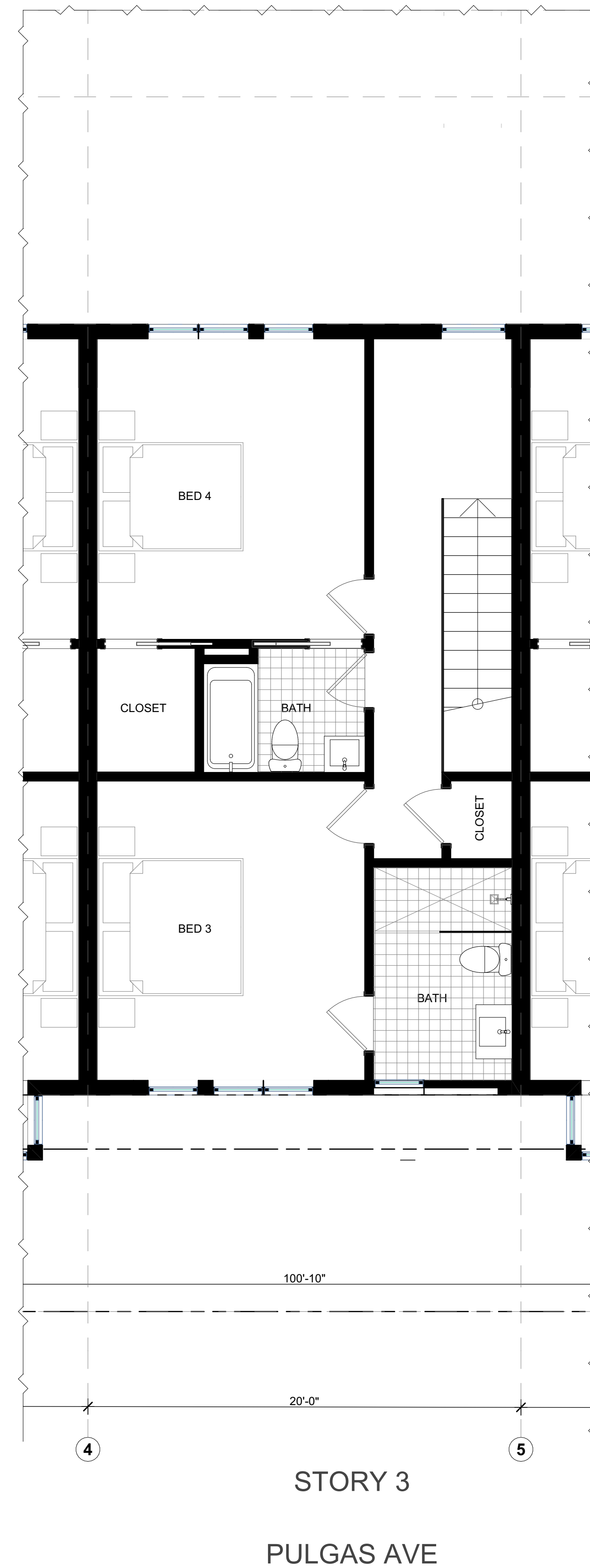
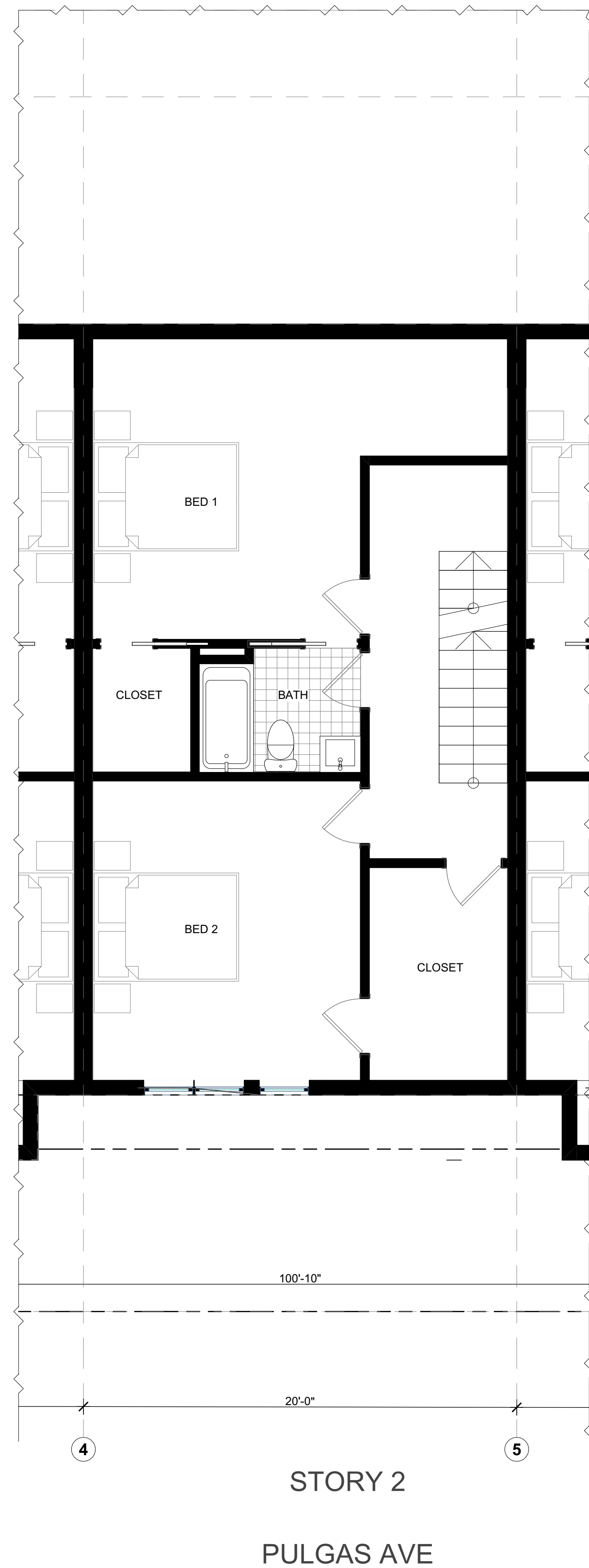
16 UNITS TOTAL

1,984 SF RESIDENTIAL NET

2,160 SF RESIDENTIAL GROSS

COMMON PARKING

2 PARKING



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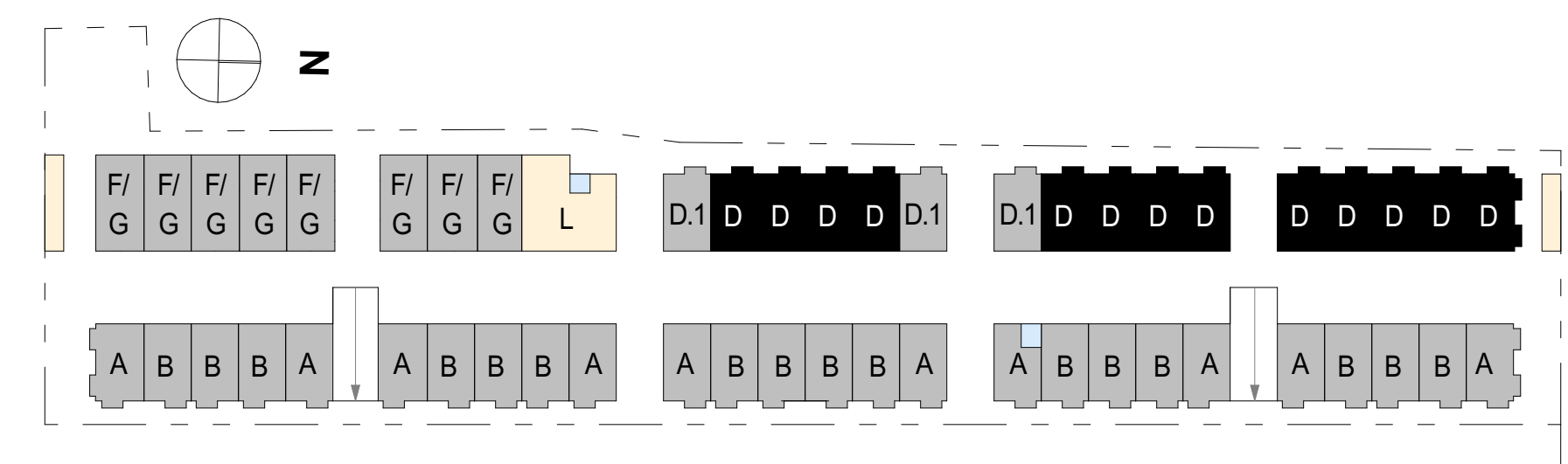
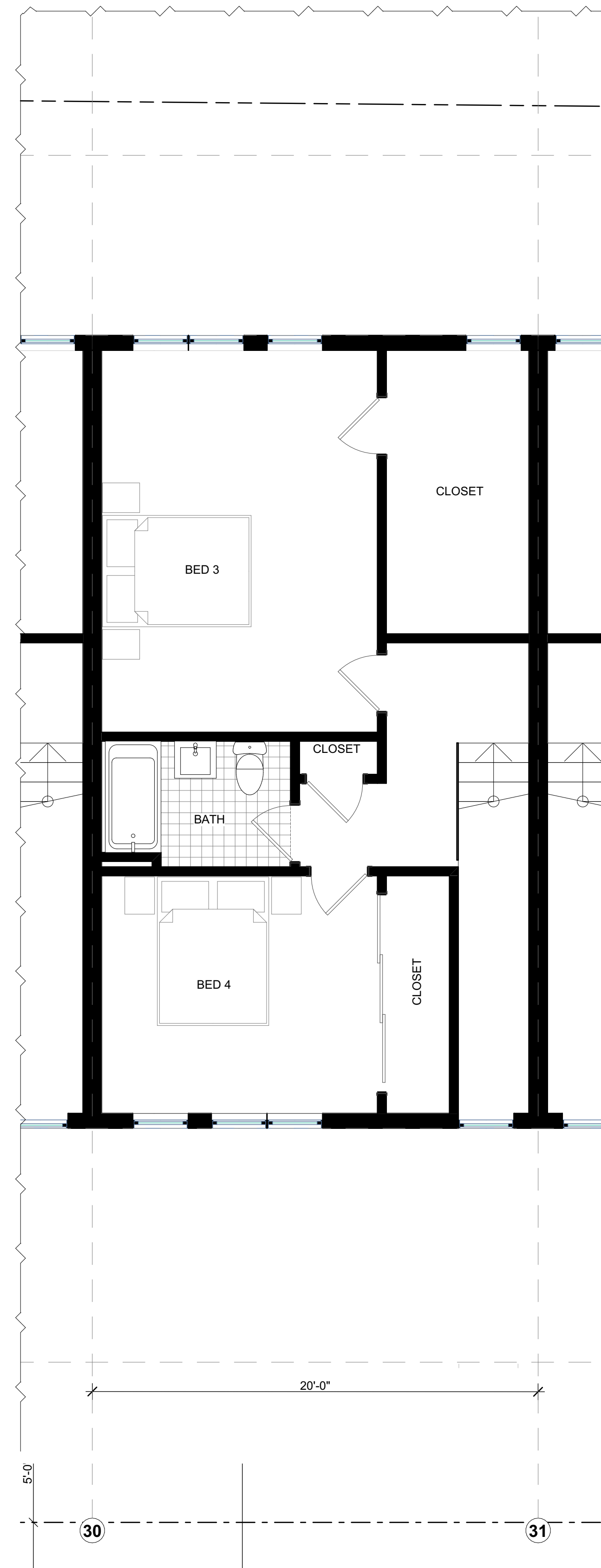
DATE OF PUBLICATION

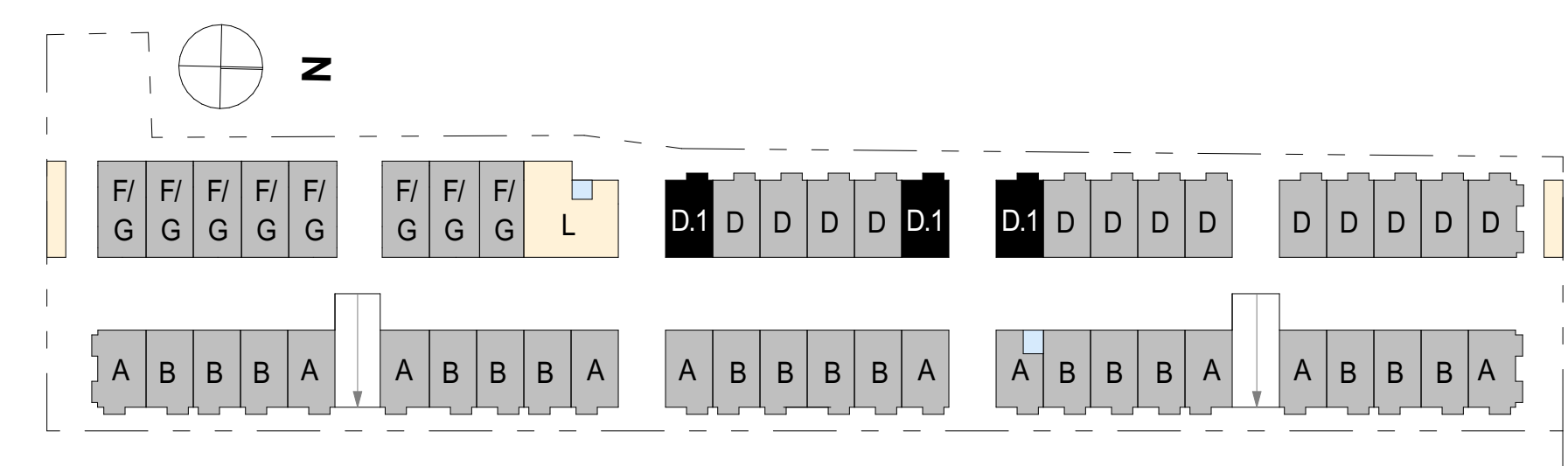
3/25/2025

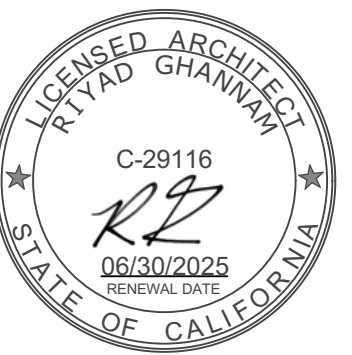
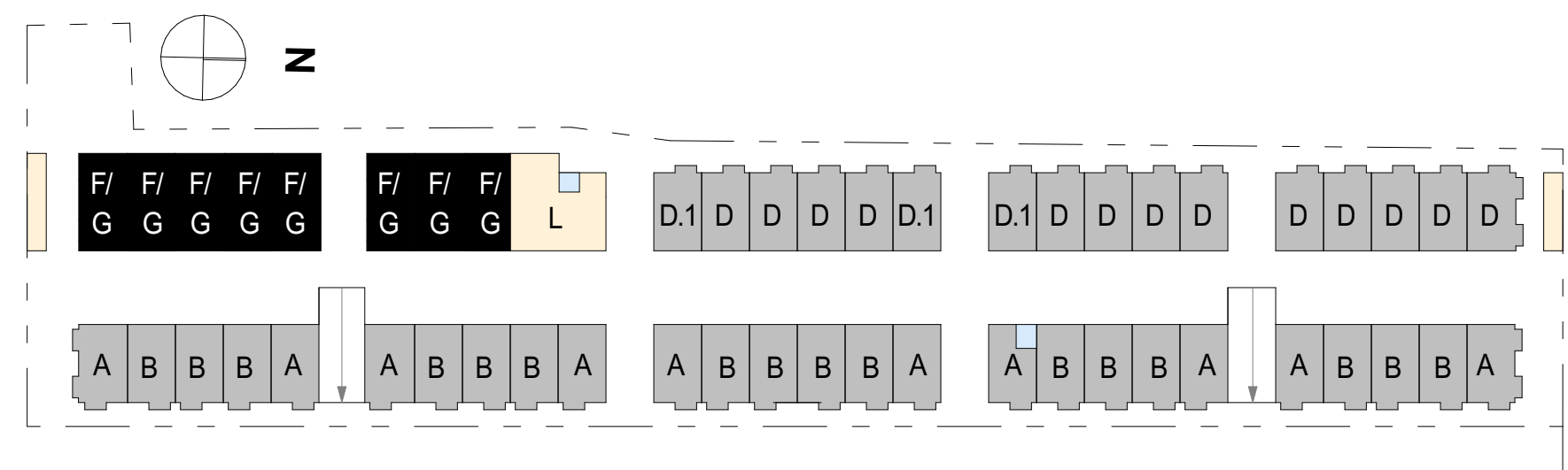
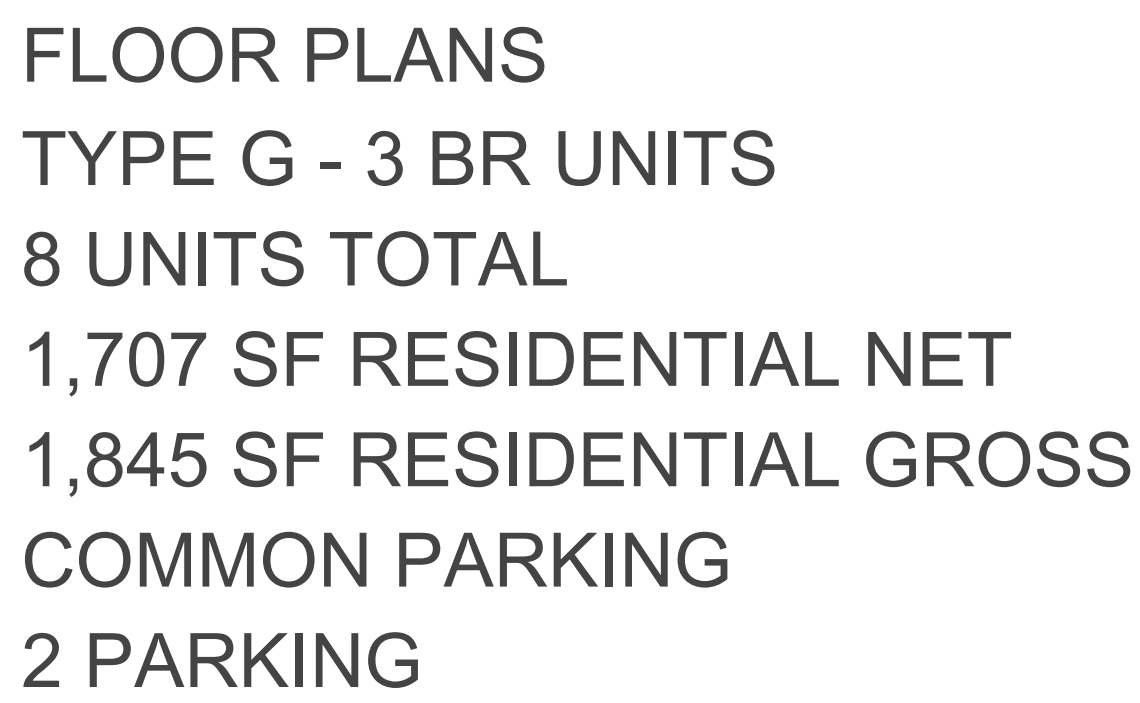
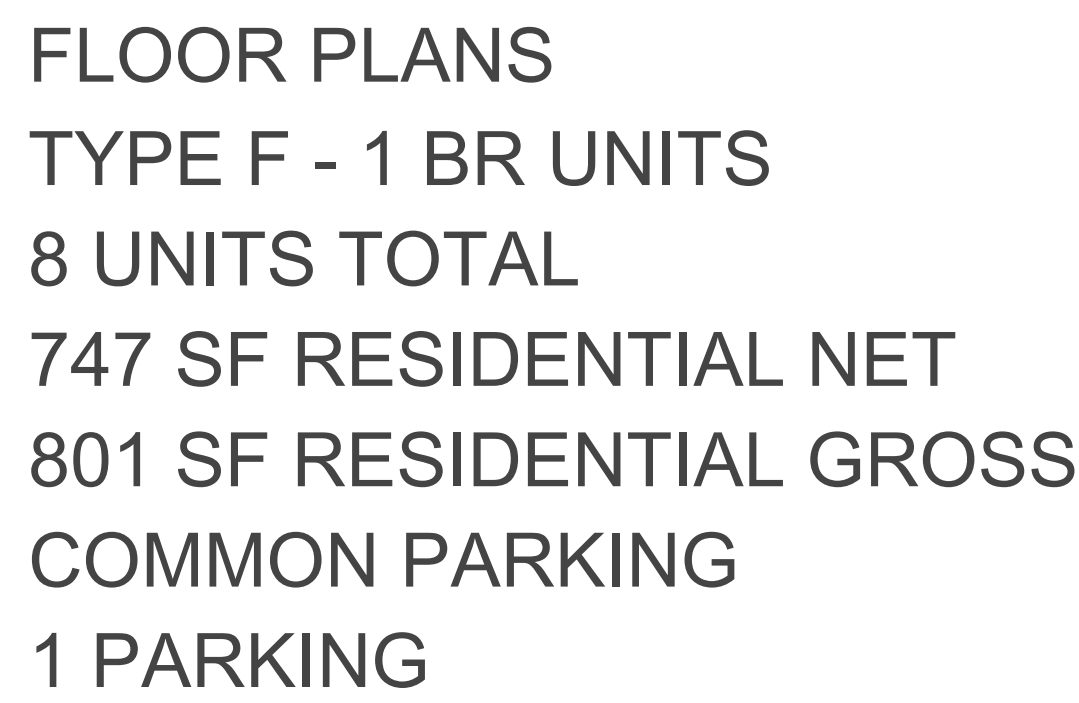
ENLARGED FLOOR PLANS - TYPE B

DRAWING NO. 26 OF 68

A2.12







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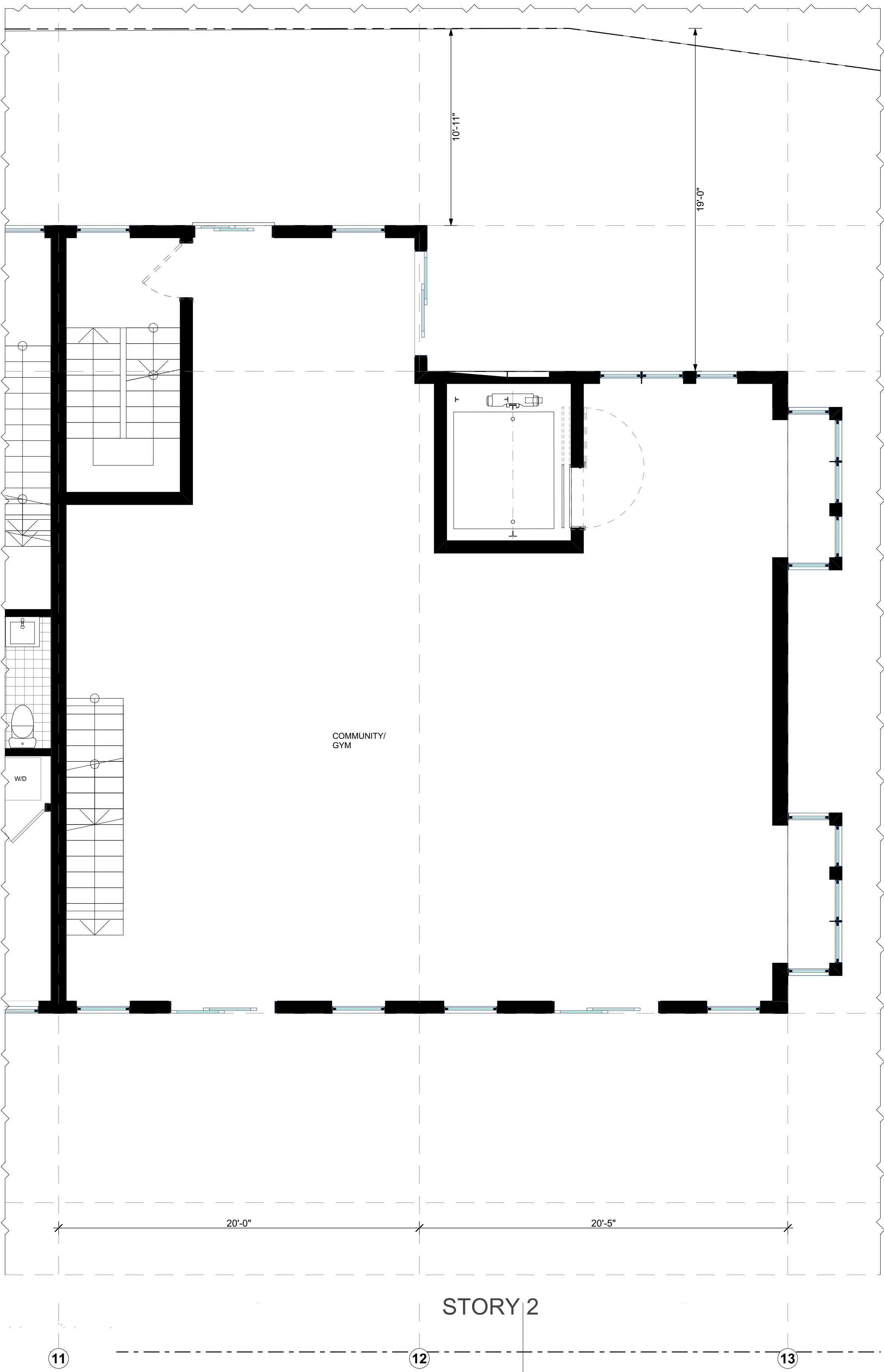
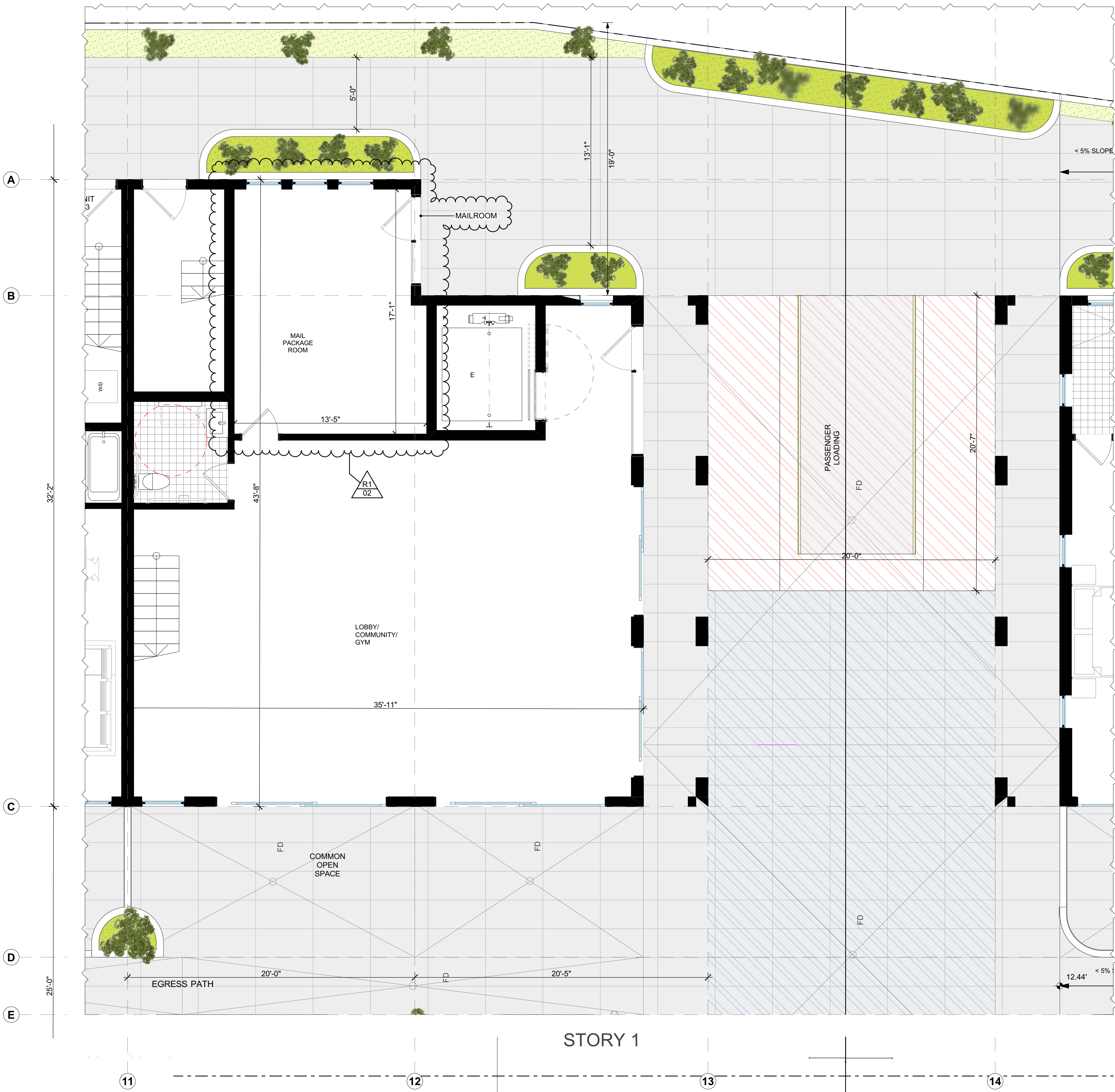
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ENLARGED FLOOR PLANS - TYPE F & G

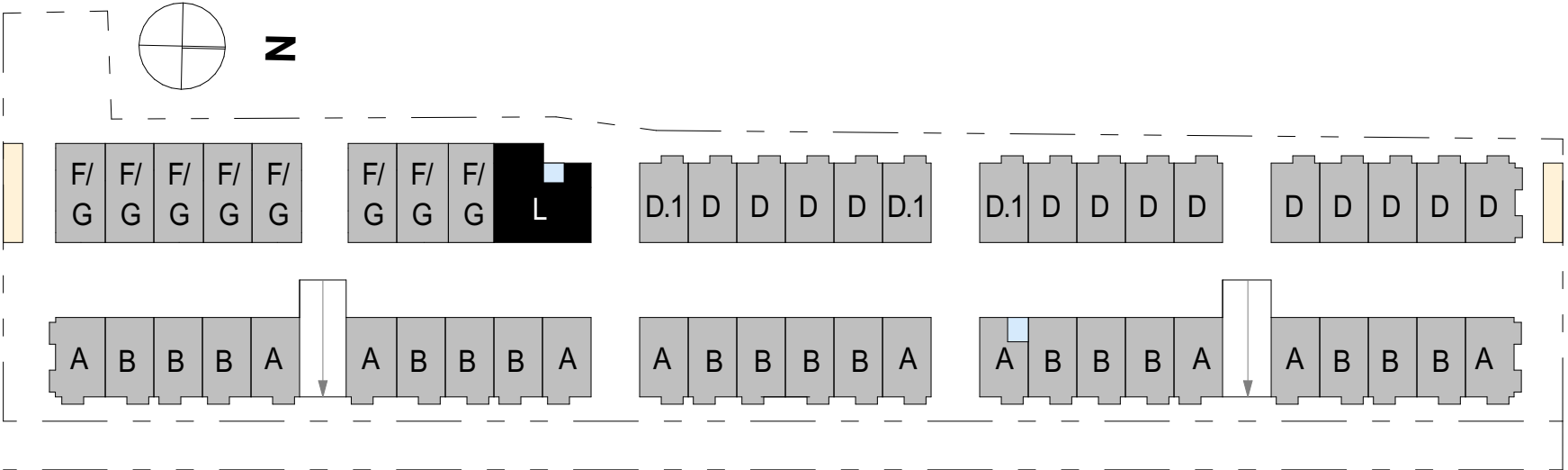
DRAWING NO. 29 OF 68

A2.15



FLOOR PLANS - COMMUNITY ROOM

4,029 SF
2 EXITS



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R1 - 02 - Mail & Package Room is centrally located in the community building.

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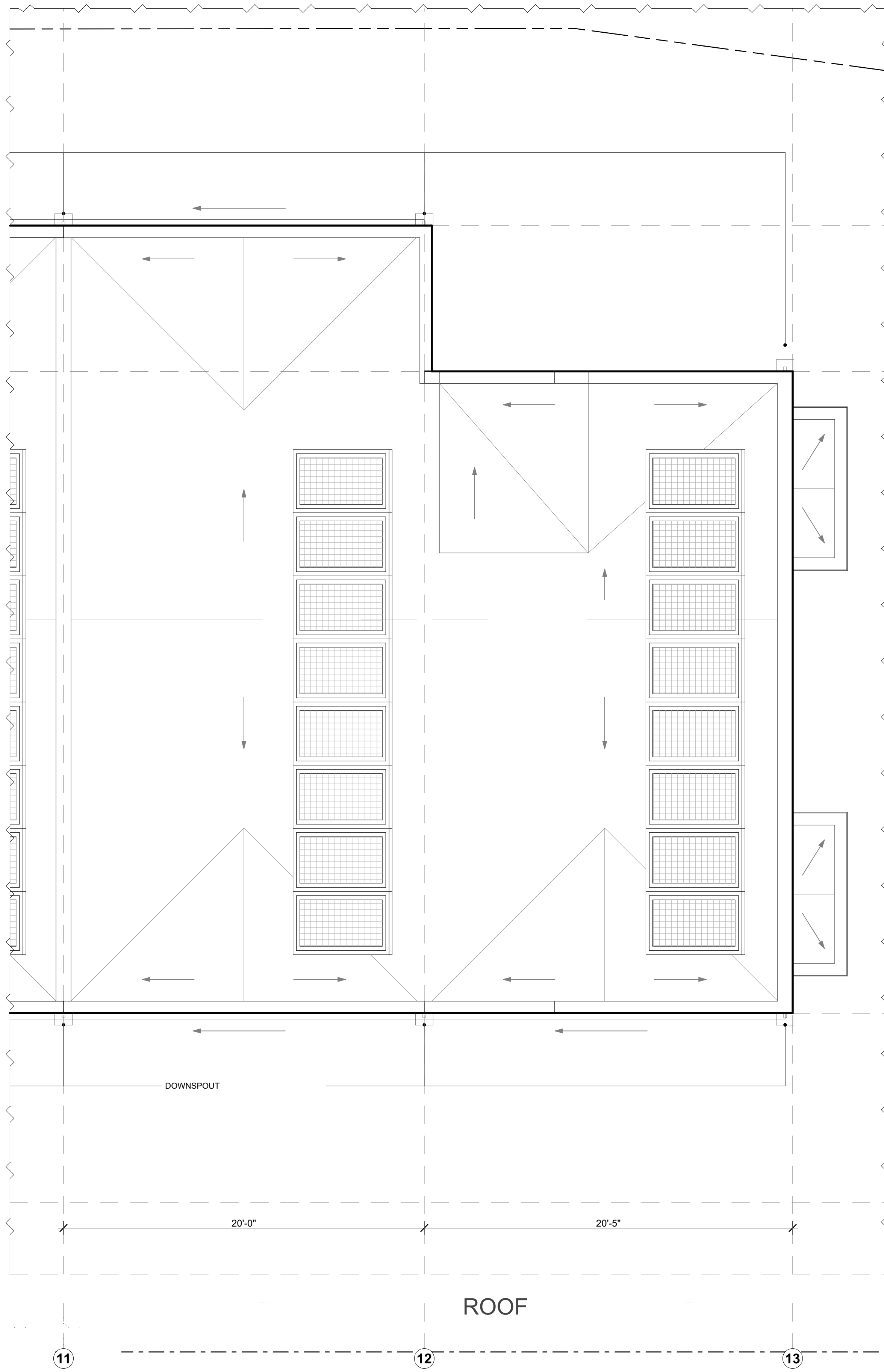
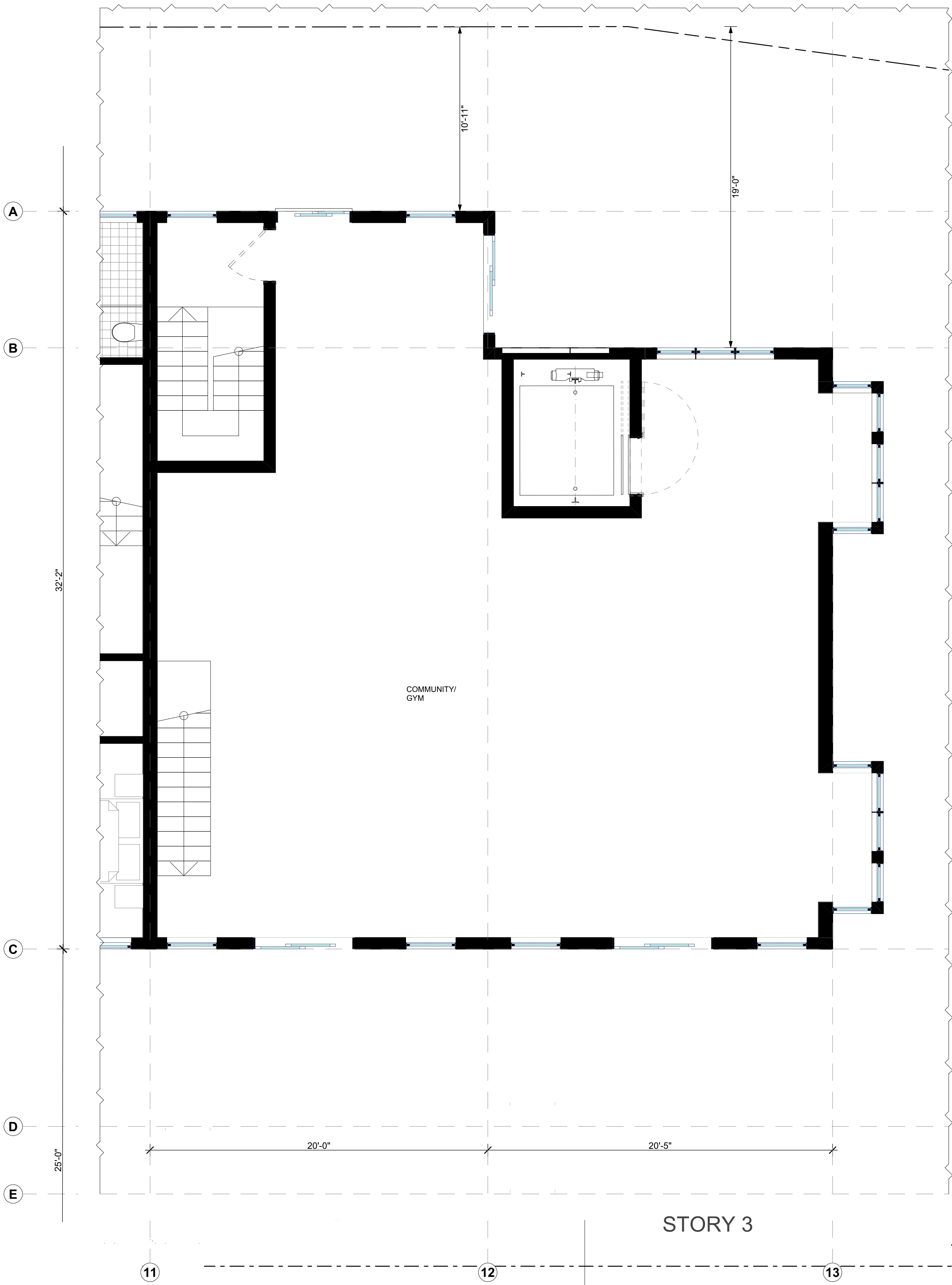
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ENLARGED
FLOOR PLANS -
COMMON SPACE

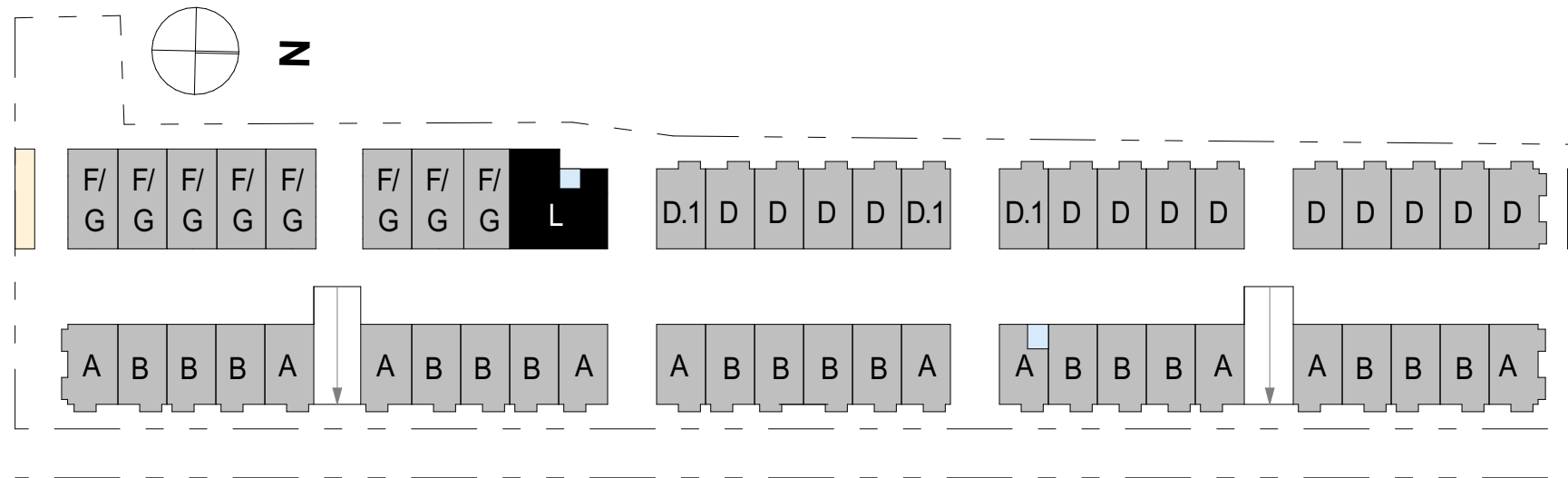
DRAWING NO. 30 OF 68

A2.16



FLOOR PLANS

ROOF



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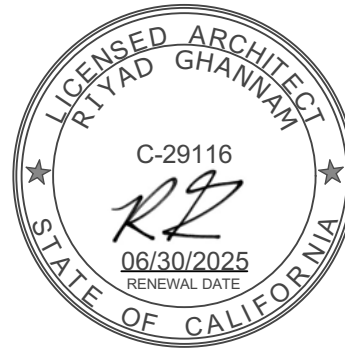
ENLARGED
FLOOR PLANS -
COMMON SPACE

DRAWING NO. 31 OF 68

A2.17

- MATERIALS SEE SHEET A4.04
- 01 THERMALLY MODIFIED WOOD
 - 02 WHITE ECO STUCCO
 - 03 CHARCOAL ECO STUCCO
 - 04 ALUMINUM CLAD WINDOWS
 - 05 BITUMINOUS ROOFING SHINGLE ROOF GRAY
 - 06 GALVANIZED STEEL GUARDRAIL PAINTED WHITE
 - 07 DOWNSPOUT, BLACK
 - 08 SOLAR ARRAYS
 - 09 EXTERIOR WALL SCONCE
 - 10 STEEL PLATE AWNING
 - 11 2"x2" HORIZONTAL REDWOOD PRIVACY FENCE

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**EAST
ELEVATION,
PULGAS AVE**

DRAWING NO. 32 OF 68

A4.01





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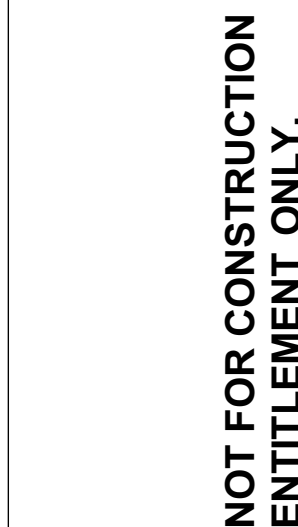
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ELEVATION NORTH & SOUTH

DRAWING NO. 33 OF 68

A4.02

- 01 THERMALLY MODIFIED WOOD
02 WHITE ECO STUCCO
03 CHARCOAL ECO STUCCO
04 ALUMINUM CLAD WINDOWS
05 BITUMINOUS ROOFING SHINGLE ROOF GRAY
06 GALVANIZED STEEL GUARDRAIL PAINTED WHITE
07 DOWNSPOUT, BLACK
08 SOLAR ARRAYS
09 EXTERIOR WALL SCONE
10 STEEL PLATE AWNING
11 2"x2" HORIZONTAL REDWOOD PRIVACY FENCE



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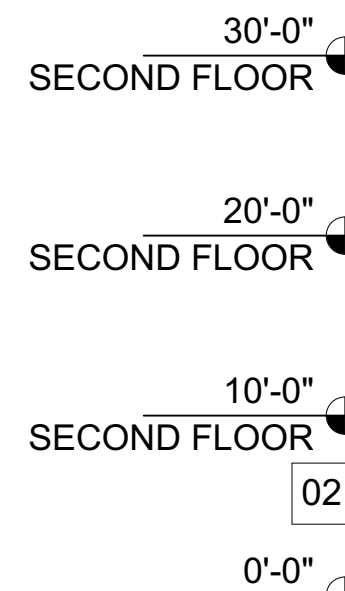
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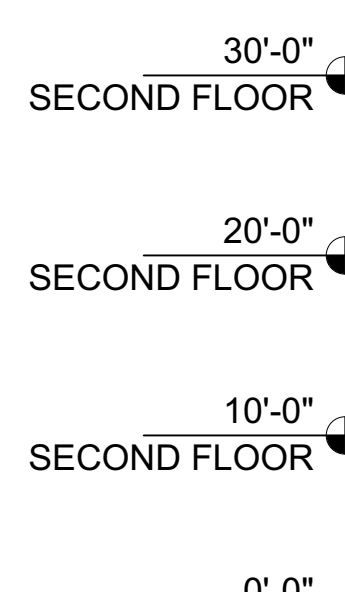
**WEST
ELEVATION,
REAR YARD**

DRAWING NO. 34 OF 68

A4.03



WEST ELEVATION, NORTH PORTION
SCALE: 3/32" = 1'-0"



WEST ELEVATION, SOUTH PORTION
SCALE: 3/32" = 1'-0"



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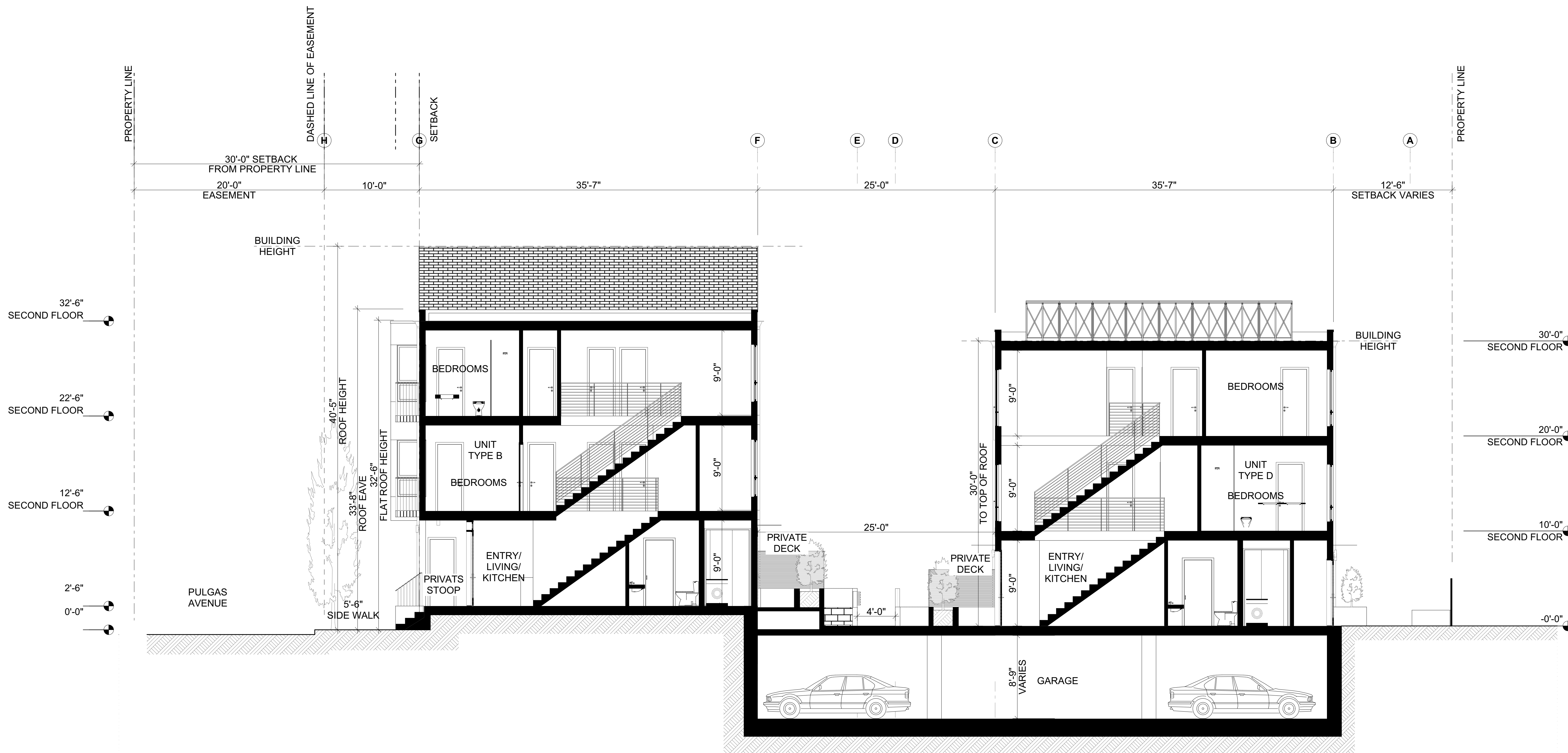
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SECTION

A5.01





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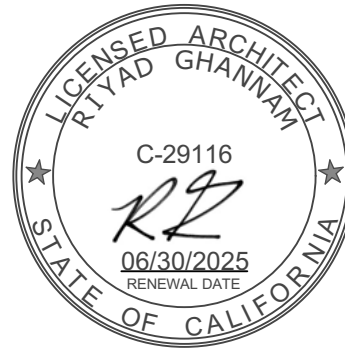
DRAWING NO. 37 OF 68

A5.02



SITE SECTION @ NORTH FIRE ACCESS
SCALE: 3/16" = 1'-0"

1



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DRAWING NO. 38 OF 68

A5.03



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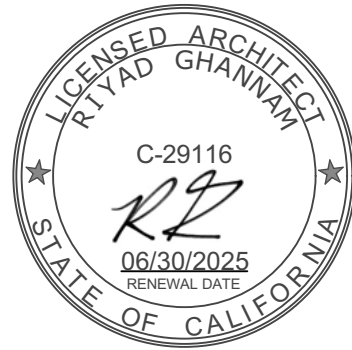
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DRAWING NO. 39 OF 68

SITE SECTION @ SOUTH FIRE ACCESS
SCALE: 3/16" = 1'-0"





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SECTION

DRAWING NO. 40 OF 68

A5.05



SITE SECTION @ RAMP
SCALE: 3/16" = 1'-0"

1