1933 Pulgas Avenue, EAST PALO ALTO



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REVISIONS NO. DATE	ISSUE	
EVISION CHAN	NGE	

03/10/25 DESIGN REVIEW/ TREE REMOVAL/ LOT SUBDIVISION

OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

1933 Pulgas Ave Townhomes

PN

East Palo Alto, CA 94303

063-492-280

SCALE
AS NOTED
DRAWN BY
TG / MP
CHECKED BY

RG / SK
PROJECT NO.

202309

DATE OF PUBLICATION

3/25/2025

COVER PAGE

DRAWING NO. 1 OF 68

G0.01

1933 Pulgas Avenue, East Palo Alto

AREA DRAIN

ADJUSTABLE

APPROXIMATE

BUILDING BI OCKING

CEILING CEILING HEIGHT

CENTER

DRYER

DETAIL DOUGLAS FIR

DOUBLE

DISPOSEE DOWN

DOWN SPOUT

DOOR

DRAWER

EXISTING

EXTERIOR

FACE OF

FOOTING

GAUGE

HOSE BIB

HEADER

INTERIOR

MASTER

MAXIMUM MECHANICAL

MECHANICAL/

MANUFACTURER MISCELLANEOUS

ELECTRIC/PLUMBING

DEMO WALL (PLAN VIEW)

NEW WALL (PLAN VIEW)

DIMENSION TO STRUCTURE

HIDDEN EDGE, ABOVE OF

HIDDEN EDGE, BELOW OR

DOOR SYMBOL

= WINDOW TYPE

SKYLIGHT SYMBOL

WALL (FLOOR) TYPE

GRID OR REFERENCE LINE

DRAWING # O/ SHEET #

DRAWING # O/ SHEET #

ELEVATION MARKER

ROOM NO. O/

MATERIAL CODE

SPOT ELEVATION

PROPERTY LINE

LIGHT FIXTURE

LIGHT FIXTURE

LIGHT FIXTURE

RECESSED CEILING

MOTION DETECTOR &

RECESSED DIRECTIONAL

WALL MOUNTED LIGHT FIXTURE

PHOTOCONTROL LIGHT FIXTURE

RECESSED WALL LIGHT FIXTURE

CONCEALED STRIP LIGHT

TRACK AND STRIP

ELECTRICAL SWITCH

LIGHT FIXTURES

3-WAY SWITCH

4-WAY SWITCH

DIMMER SWITCH

SENSOR SWITCH

MANUAL-ON OCCUPANCY

PULL SWITCH

EXPOSED STRIP LIGHT FIXTURE

ELECTRICAL/ MECHANICAL SYMBOLS

FLUOR

DRAWING # O/ SHEET #

FLOOR | WALL | CEILING

NEW OR FINISHED CONTOURS

LEVEL LINE OR DATUM

EXISTING CONTOURS

DETAIL MARKER:

GUARD SYMBOL

LETTER = OITC RATING

DIMENSION TO FINISH (CLEAR)

OUTLINE = FINISH

EXISTING WALL (PLAN VIEW)

JOINT

HORIZONTAL

INSIDE DIAMETER

INSULATED GLASS

GALVANIZED

GYPSUM BOARD

F.O.S.

F.S.M.F

FTG.

HORIZ.

M.E.P.

REFERENCE SYMBOLS

W(F)##

FLOOR DRAIN

FOUNDATION

FINISHED FLOOR

FACE OF FINISH

FACE OF STUD

FLEXIBLE SHEET

MEMBRANE FLASHING

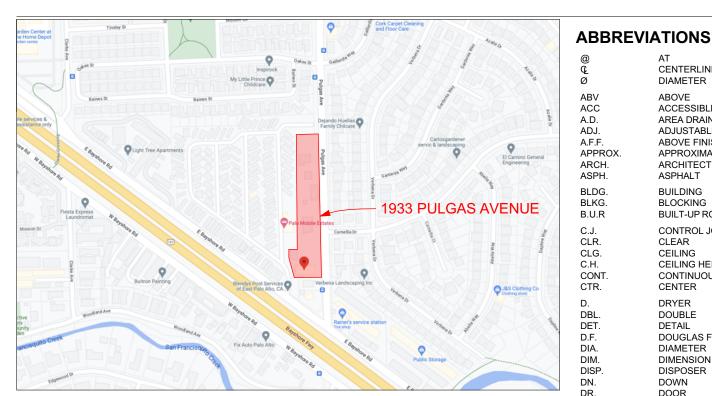
CONTINUOUS

ARCHITECTURAL

BUILT-UP ROOFING

CONTROL JOINT

ABOVE FINISH FLOOR



VICINITY MAP

riyad@rg-architecture.com

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AREA:	GROSS AREA (SQ FT)
GROSS BLDG 1	10,665
GROSS BLDG 10	13,230
GROSS BLDG 2	10,690
GROSS BLDG 3	12,752
GROSS BLDG 4	10,629
GROSS BLDG 5	10,755
GROSS BLDG 6	10,782
GROSS BLDG 7	10,703
GROSS BLDG 8	12,787
GROSS BLDG 9	12,692
GROSS GARAGE	37,400
	153,085 ft²

GENERAL NOTES

01 CODES: ALL WORK SHALL CONFORM WITH OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE CITY, COUNTY AND STATE CODES, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS INCLUDING BUT NOT LIMITED TO FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES. SEE CODE EDITIONS ON THIS SHEET.

02 PERMITS: BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDING INSPECTIONS, OBTAIN ALL REQUIRED PERMITS, AND PAYALL FEES REQUIRED BY GOVERNING AGENCIES.

03 EXISTING CONDITIONS AND DIMENSIONS: THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT. CALLED-OFF DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED-OFF DIMENSIONS. DIMENSIONS ARE TO FACE OF STRUCTURE (STUD. CONCRETE, STEEL), UNLESS OTHERWISE NOTED. DIMENSIONS IN SECTIONS AND ELEVATIONS ARE TO TOP OF PLATE OR TOP OF SUB-PLATE UNLESS OTHERWISE NOTED. ELEVATION MARKERS ARE TO TOP OF FINISHED FLOORS

04 PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER. CONTRACTOR TO IMMEDIATELY REPORT ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS IN THE PLANS AND SPECIFICATIONS TO THE ARCHITECT, AND UNTIL THEY ARE RESOLVED, SHALL NOT PROCEED WITH THE AFFECTED WORK.

05 DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED

06 COORDINATION: THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.

07 CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS. METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALLADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING

08 INSTALLATION: THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.). ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS, UNLESS AGREED TO OTHERWISE BY THE

09 SUBCONTRACTORS: PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN OFFS.

10 REPAIR: THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO

PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY

BE REQUIRED TO COMPLETE THE JOB. 11 ABANDONMENT: ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT

AND SHALL BE PROPERLY CAPPED OR PLUGGED. 12 CLOSE-OUT: THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR

DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED

SCOPE OF WORK

TREE REMOVAL, LOT SUBDIVISION, DEMOLISH EXISTING 1 AND 2 STORY RESIDENTIAL BUILDINGS ON THE EXISTING LOT. ERECT TEN 3-STORY BUILDINGS TO INCLUDE 58 RESIDENTIAL TOWNHOUSE UNITS TOTAL AND SHARED AMENITIES, OVER AN UNDERGROUND PARKING GARAGE.

THE DEVELOPMENT EMPLOYS THE CA STATE DENSITY BONUS LEGISLATION TO INCREASE THE DENSITY TO A TOTAL OF 58 UNITS. THE ALLOWED BASE DENSITY FOR R-MD-2 ZONING IS 22 DWELLING UNITS PER ACRE, WHICH IS A TOTAL OF 46 DWELLING UNITS. THE PROJECT PROPOSES AN INCREASE OF THE DENSITY BY A 26% BONUS OR 12 UNITS IN ORDER TO PROVIDE A TOTAL OF 58 UNITS THAT TOTAL 9 INCLUSIONARY UNITS.

WAIVERS:

NOT IN CONTRACT

NOT TO SCALE ON CENTER

OVERHANG

OPENING

OPPOSITE

PI YWOOD

PAINTED

RELOCATED

RISE. RISER

RETURN AIR

ROOF DRAIN REFRIGERATOR

REGISTER

ROOM

REDWOOD

SECTION

SHEATHING

STANDARD

STRUCTURAL

SUSPENDED

TOWEL BAR

TOP OF CURB

TOP OF PLATE

TOP OF WALL

TELEVISION

UNLESS OTHERWISE

TYPICAL

VFNT

VERTICAL

VERIFY IN FIELD

VERTICAL GRAIN

WATER HEATER

WATER RESISTANT

ELECTRICAL/MECHANICAL SYMBOLS

SINGLE ELECTRICAL

ELECTRICAL OUTLET

FLECTRICAL OUTLET

ELECTRICAL OUTLET FOR

240V ELECTRICAL OUTLET

FLUSH FLOOR MOUNTED

GROUND FAULT INTERRUPT

MULTI-FUNCTION SMOKE &

DUPLEX OUTLET

HALF-SWITCHED

FULLY SWITCHED

PICTURE LIGHT

JUNCTION BOX

CO DETECTOR

HEAD

DOOR CHIME

-DB

-DC

-__KP

-□SP

-∏SC

-_SU

-__TV

- HDMI

—+ HB

 \bigcirc FD

○DS

-□T

SMOKE DETECTOR

AUTOMATIC SPRINKLER

GARAGE DOOR OPENER

DOOR BELL BUTTON

INTERCOM STATION

MOTION DETECTOR

SPEAKER OUTLE

SCENE CONTROL

SCENE CONTROL REMOTE

STEAM UNIT CONTROL

MASTER UNIT

WALL STATION

PLUG MOLD

(1) RG6 QUAD

- MM1 (1) CAT-6 & (1) RG6 QUAD

- MM2 (2) CAT-6 & (2) RG6 QUAD

(1) 24/4 PAIR CAT-3

CENTRAL VACUUM

GAS OUTLET

FLOOR DRAIN

DOWNSPOUT

AT FLOOR

AT CEILING

CEILING

EXHAUST FAN

HOSE BIB

COLD WATER CONNECTION

HOT WATER CONNECTION

SUPPLY AIR REGISTER AT

WALL OR TOE SPACE

SUPPLY AIR REGISTER

SUPPLY AIR REGISTER

RETURN AIR GRILL AT

RETURN AIR GRILL AT

RETURN AIR GRILL AT WALI

EXHAUST FAN/ LIGHT UNIT

- CAT-6 (1) 24/4 PAIR CAT-6

ALARM KEYPAD

OUTLET, DIRECT WIRED

WATERPROOF, WORK

WESTERN RED CEDAR

WATER RESISTANT BARRIER

WITHOUT

WASHING MACHINE

WATER CLOSET (TOILET)

TONGUE AND GROOVE

TOILET PAPER HOLDER

SYMBOL

TREAD

SPECIFICATION

SEE STRUCTURAL

R.O.

RDWD.

S.A.B.F.

SECT.

S.S.D.

T.O.W.

U.O.N

SHEATH'G

REINFORCED

ROUGH OPENING

SELF-ADHERED

SMOKE DETECTOR

BITUMINOUS FLASHING

SEE MECHANICAL DRAWINGS

PROPERTY LINE

PLASTIC LAMINATE

PRESSURE TREATED

1. INCREASE MAXIMUM FLOOR AREA RATIO FROM A MAXIMUM 0.65 TO 1.25.

2 .DECREASE SIZE OF TYPICAL PARKING SPACE TO 8'-0" X 18'-0". 3. INCREASE BUILDING HEIGHT FROM A MAXIMUM 36'-0" TO 40'-4".

4. DECREASE FRONT SETBACK FROM 27'-6" TO 2'-6" AFTER 20-FOOT + 7'-6" SIDEWALK DEDICATION FOR PUBLIC RIGHT-OF-WAY. 5. DECREASE REAR SETBACK FROM 20' (FIRST STORY) AND 30' (SECOND STORY) TO 10' MINIMUM AND 19' MAXIMUM.

PLANNING CODE SUMMARY:

PROJECT SITE: 1933 PULGAS AVENUE, EAST PALO ALTO, CA 94303

APN #: 063-492-280 ZONING DISTRICT:

GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL

LOT AREA: 110.476 SF / 2.536 ACRES 92,532 SF / 2.124 ACRE RESIDENTIAL

HEIGHT LIMIT: 3 STORIES OR 36 FEET

UNIT COUNT - PROPOSED: 58 UNITS - 20% OF 46 BASE UNITS = 58 UNITS TOTAL)

17,944 SF / 0.412 ACRE COMMERCIAL

(46 BASE UNITS + 12 DENSITY BONUS UNITS, APPLYING 26% STATE DENSITY BONUS) 20% INCLUSIONARY REQUIREMENT APPLIES TO THE BASE 46 UNITS = 9.34 UNITS. OF THIS, 0.36≺

UNITS WILL BE COVERED BY AN IN-LIEU FEE.

INCLUSIONARY HOUSING: 5 UNITS (10% AT 80% AMI 4 UNITS (10% AT 120% AMI) 9 TOTAL INCLUSIONARY RATE

REQUIRED: 20' FOR 1ST FLOOR AND 30' FOR 2ND & 3RD FLOOR. REAR SETBACK: PROPOSED: 10' MINIMUM TO 19' MAXIMUM

FRONT SETBACK: PROPOSED: 30' INCLUDING 20' EASEMENT + 7'-6" SIDEWALK PUBLIC ACCESS EASEMENT

SIDE SETBACK: REQUIRED: 10' PROPOSED: 20'

SITE COVERAGE: PROPOSED: LOT COVERAGE RESIDENTIAL - 39% (36,060 SF/ 92,532 SF)

PROPOSED: LOT COVERAGE COMMERCIAL - 28%

FLOOR AREA RATIO:

PROPOSED: RESIDENTIAL LOT FAR - 1.25 = (115.685 SF /92.532 SF) (PER CA STATE DENSITY BONUS WAIVER) PROPOSED: COMMERCIAL LOT FAR - 0.28 = (5.084 SF /18.315 SF)

CAR PARKING REQUIRED: 2 SPACES PER UNIT + 0.2 GUEST PARKING PER UNIT.

CAR PARKING PROPOSED: 120 PARKING SPACES TOTAL FOR 58 UNITS (108 RESIDENTIAL SPACES, INCLUDING 3 ADA PARKING SPACES

+ 12 GUEST PARKING SPACES, INCLUDING 1 ADA PARKING SPACE)

REQUIRED: 1 CLASS 1 BICYCLE PARKING PER EACH UNIT BIKE PARKING:

1 CLASS 2 BICYCLE PARKING PER 20 UNITS - 3 REQUIRED

PROVIDED: 58 CLASS 1 BICYCLE PARKING PROVIDED 4 CLASS 2 BICYCLE PARKING PROVIDED

REQUIRED: 200 SF OPEN SPACE PER UNIT (GROUND FLOOR UNITS) & **OPEN SPACE:**

100' (UPPER FLOOR UNITS). MINIMUM DIMENSION SHALL BE 6 FEET. PROPOSED: ALMOST EACH GROUND FLOOR RESIDENTIAL DWELLING UNIT (49 UNITS) PROVIDED WITH PRIVATE OPEN SPACE IN COMPLIANCE WITH EAST PALO ALTO DEVELOPMENT CODE 2022, TITLE 18, ARTICLE 2, CHAPTER 18.10. COMMON OPEN SPACES PROVIDED FOR 8 UPPER FLOOR UNITS & 1 GROUND FLOOR UNIT.

PROVIDED: 900 SF COMMON OPEN SPACE PROVIDED FOR 8 UPPER FLOOR UNITS & 1 GROUND FLOOR UNIT.

PRIVATE OPEN SPACE PROVIDED FOR 49 RESIDENTIAL GROUND

FLOOR UNITS.

BUILDING CODE SUMMARY:

OFF STREET PARKING:

CONSTRUCTION TYPE: TYPE VA (RESIDENTIAL) OVER TYPE IA (SUBTERRANEAN GARAGE)

OCCUPANT GROUP: R-2: RESIDENTIAL THREE STORIES

S-2: SUBTERRANEAN GARAGE & MEP ROOMS ACCESSORY USE TO MAIN R-2 RESIDENTIAL OCCUPANCY: TRASH ENCLOSURES

BICYCLE PARKING

UNITS COUNT: PROPOSED - 58 RESIDENTIAL UNITS

BLDG. HT. & PERMITTED: TO 3 STORIES OR 36 FT (R-MD-2 ZONING). NUMBER OF STORY:

BLDG. HT. 40' 5" MEASURED TO TOP OF PITCHED ROOF FOR STREET FACING BUILDINGS.

BLDG. HT. 30' 0" MEASURED TO TOP OF FLAT ROOF FOR REAR FACING BUILDINGS. STORIES: 3 STORY BLDG; 3 LEVELS OF TYPE VA (ABOVE GROUND BUILDINGS) OVER BASEMENT TYPE IA GARAGE (S-2)

SPRINKLER SYSTEM IS UNDER SEPARATE PERMIT **DEFERRED SUBMITTALS:**

SOLAR PANELS UNDER SEPARATE PERMIT

EMERGENCY EVACUATION SIGNS UNDER SEPARATE PERMIT

STAIRWELL IDENTIFICATION SIGNS & EVACUATION SIGNS UNDER SEPARATE PERMIT

FIRE ALARM UNDER SEPARATE PERMIT ERRC SYSTEM UNDER SEPARATE PERMIT

PREVAILING CODES:

2022 CALIFORNIA BUILDING CODE & EAST PALO ALTO AMENDMENTS 2022 CALIFORNIA RESIDENTIAL CODE & EAST PALO ALTO AMENDMENTS 2022 CALIFORNIA MECHANICAL CODE & EAST PALO ALTO AMENDMENTS 2022 CALIFORNIA PLUMBING CODE & EAST PALO ALTO AMENDMENTS 2022 CALIFORNIA ELECTRICAL CODE & EAST PALO ALTO AMENDMENTS 2022 CALIFORNIA ENERGY CODE & EAST PALO ALTO AMENDMENTS 2022 CALIFORNIA GREEN BUILDING STANDARD CODE

RESIDENTIAL AREA CALCULATIONS BY FLOOR									
.EVEL	CONSTR. TYPE	GROSS AREA (SQ FT)							
BASEMENT	1A	37,400							
FIRST FLOOR	5A	35,427							
SECOND FLOOR	5A	40,129							
THIRD FLOOR	5A	40,129							
TOTAL		153,085 ft²							

TYPE	QUANTITY	NET SQ FT	NET SQ FT TOTAL	UNIT MIX
Α	(10) 3 BD	1,895 SF	18,950 SF NET AREA	17.2 %
В	(16) 4 BD	1,984 SF	31,744 SF NET AREA	27.6 %
D	(13) 4 BD	1,968 SF	25,584 SF NET AREA	22.4 %
D.1	(3) 3 BD	1,912 SF	5,736 SF NET AREA	5.2 %
F	(8) 3 BD	1,707 SF	13,656 SF NET AREA	13.8 %
G	(8) 1 BD	747 SF	5,976 SF NET AREA	13.8 %
TOTAL	58		101,646 SF	100 %

FIRE RESISTANCE SUMMARY TABLE 601 COMPLIANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT			TYPE I TYPE II				TYPE IV				TYPE V	
BOILDING ELEMENT	Α	В	Α	В	Α	В	Α	В	С	нт	Α	В
Primary structural frame ^f (see Section 202)	3 ^{a, b}	2 ^{a, b, c}	1 ^{b, c}	0°	1 ^{b, c}	0	3ª	2ª	2ª	HT	1 ^{b, c}	0
Bearing walls												
Exterior e, f	3	2	1	0	2	2	3	2	2	2	1	0
Interior	3 ^a	2 ^a	1	0	1	0	3	2	2	1/HT ^g	1	0
Nonbearing walls and partitions Exterior							See Tal	ble 70	5.5			
Nonbearing walls and partitions Interior ^d	0	0	0	0	0	0	0	0	0	See Section 2304.11.2	0	0
Floor construction and associated secondary structural members (see Section 202)	2	2	1	0	1	0	2	2	2	HT	1	0
Roof construction and associated secondary structural members (see Section 202)	1 ¹ / ₂ ^b	1 ^{b,c}	1 ^{b,c}	0c	1 ^{b,c}	0	1 ¹ / ₂	1	1	HT	1 ^{b,c}	0

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only

b. 1. Except in Group A, E, F-1, H, I, L, M, R-1, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members in roof construction shall not be required, including protection of primary structural frame members, roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such

2. For Group A, E, I, L, R-1, R-2 and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the primary structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members. 3. One-story portions of Group A and E assembly area and does not contain concealed space

c. In all occupancies, heavy timber complying with Section 2304.11 shall be allowed for roof construction, including primary structural frame members, where a 1-hour or less fire-resistance rating is required. d. Not less than the fire-resistance rating required by other sections of this code.

f. Not less than the fire-resistance rating as referenced in Section 704.10.

g. Heavy timber bearing walls supporting more than two floors or more than a floor and a roof shall have a fire resistance rating of not less than 1 hour.

TABLE 705.5 COMPLIANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE. a, d, g.

FIRE SEPARATION DISTANCE = X (feet)			OCCUPANCY GROUP F-1, M, S-1 ^f	OCCUPANCY GROUP A, B, E, F-2, I, R ⁱ , S-2, U ^h		
$X < 5^b$	All	3	2	1		
E - V - 10	IA, IVA	3	2	1		
5 ≤ X < 10	Others	2	1	1		
	IA, IB, IVA, IVB	2	1	1°		
$10 \le X < 30$	IIB, VB	1	0	0		
	Others	1	1	1°		
X ≥ 30	All	0	0	0		

a. Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601

 See Section 706.1.1 for party walls c. Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.

d. The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located e. For special requirements for Group H occupancies, see Section 415.6.

g. Where Table 705.8 permits nonbearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.

h. For a building containing only a Group U occupancy private garage or carport, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in accordance with Section 903,3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.

i. For a Group R-3 building of Type II-B or Type V-B construction, the exterior wall shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet (1523 mm) or greater or where equipped throughout with an automatic sprinkler system in

accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or greater.

ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE TYPE IV CLASSIFICATION **SEE FOOTNOTES** 65 55 55 85 | 75 | 85 | 75 | UL | 180 | S (without area increase) S (with area increase) UL 160 65 55 65 55

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

	OCCUPANCY CLASSIFICATION		TYPE OF CONSTRUCTION												
		SEE FOOTNOTES	TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V					
		SEE FOOTNOTES	Α	В	Α	В	Α	В	HT	Α	В				
ĺ		NS ^d	UL	11	4	4	1	1	1	3	2				
	$R-2^h$	S13R	4	4	4			4		3	2				
	K-2"	S (without area increase)	UL	12	5	5	5	5	5	4	3				
		S (with area increase)	UL	11	4	4	4	4	4	<i>4</i> °	2				

ALLOWABLE AREA FACTOR ($A_t = NS, S1, S13R, or SM, as applicable) IN SQUARE FEET$

	SEE FOOTNOTES				TYPE C	OF CONSTR	UCTION			
CLASSIFICATION			ΈI	TYF	PE II	TYF	PE III	TYPE IV TYP		PE V
		Α	В	Α	В	Α	В	нт	Α	В
	NS ^d	III.	TIT.	24 000	16,000	24 000	16,000	20.500	12 000	7,000
	S13R			24,000	10,000	24,000	10,000	20,300	12,000	7,000
$R-2^h$	S 1	UL	UL	96,000	64,000	96,000	64,000	82,000	48,000	28,000
	SM (without height increase)	UL	UL	72,000	48,000	72,000	48,000	61,500	36,000	21,000
	SM (with height increase)	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000
		$ \begin{array}{c c} \textbf{CLASSIFICATION} & \textbf{SEE FOOTNOTES} \\ \hline & \textbf{NS}^{d} \\ \hline & \textbf{S13R} \\ \textbf{R-2}^{h} & \textbf{S1} \\ \hline & \textbf{SM (without height increase)} \end{array} $	NSd	NSd	SEE FOOTNOTES TYPET TYPE	SEE FOOTNOTES TYPE TYPE	SEE FOOTNOTES TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE	SEE FOOTNOTES TYPE TYPE TYPE TYPE	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	SEE FOOTNOTES TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE TYPE

UL = Unlimited; NP = Not Permitted; NS = Buildings not equipped throughout with an <u>automatic sprinkler system;</u> S = Buildings equipped throughout with an <u>automatic sprinkler system</u> installed in accordance with Section 903.3.1.1; S13R = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.2; S13D = Buildings equipped throughout with an automatic

a. See Chapters $\underline{4}$ and $\underline{5}$ for specific exceptions to the allowable height in this chapter.

See Section 903.2 for the minimum thresholds for protection by an automatic sprinkler system for specific occupancies.

New Group H occupancies are required to be protected by an automatic sprinkler system in accordance with Section 903.2.5 The NS value is only for use in evaluation of existing building height in accordance with the California Existing Building Code.

Group 1-3 occupancies are required to be protected by an automatic sprinkler system in accordance with Section 903.2.6 f. New and existing Group [-2] occupancies are required to be protected by an <u>automatic sprinkler system</u> in accordance with <u>Section 903.2.6</u>

For new Group <u>I-4</u> occupancies, see Exceptions 2 and 3 of <u>Section 903.2.6</u>

New Group R occupancies are required to be protected by an <u>automatic sprinkler system</u> in accordance with <u>Section 903.2.8</u>. See Sections 407.1.1 and 408.1.2 for specific exceptions to construction type, allowable building areas and allowable heights. Restraint shall not be permitted in any building except in Group [-3] occupancies constructed for such use (see Section 408.1.2)

Nonambulatory elderly clients are not permitted in buildings of these types of construction. See Sections 435.3.3 and 435.3.4. n. In other than Group A, E, H, I, L and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, the S increases for height and stories in Tables 504.3 and 504.4 are permitted in addition to the S area increase in accordance with Table 506.2.

For Group R-2 buildings of Type VA construction equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, S area increase is permitted in addition to the height and <u>story</u> increase provided the height shall not exceed 60 feet and 4 <u>stories</u>.

See <u>Section 436.1</u> for additional regulations for <u>child-care centers</u> and adult day care.

Nonambulatory persons shall be limited to the first 2 stories.

Nonambulatory persons shall be limited to the first 5 stories

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NOT							
VISIONS DATE ISSUE							

R1 - 01 - Inclusionary units and distribution have been revised and added to sheet

REVISION CHANGE

03/10/25 DESIGN REVIEW/ TREE

REMOVAL/LOT SUBDIVISION

WAWALAND LLC 6044 STEVENSON BLVD.

PROJECT NAME 1933 Pulgas Ave **Townhomes**

East Palo Alto, CA 94303

FREMONT CA 94538

063-492-280

SCALE AS NOTED **DRAWN BY CHECKED BY**

PROJECT NO. DATE OF PUBLICATION

PROJECT DATA

DRAWING NO. 2 OF 68

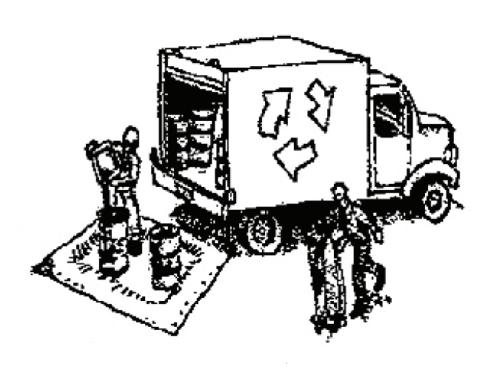


Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



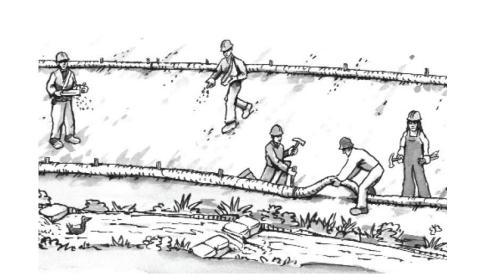
Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



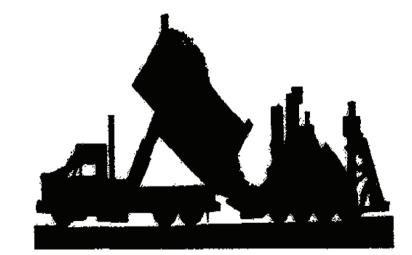
- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Buried barrels, debris, or trash.

- Abandoned wells

Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

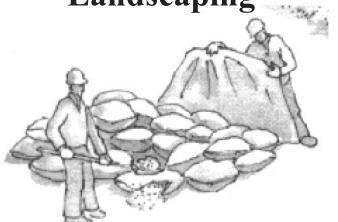
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar **Application**

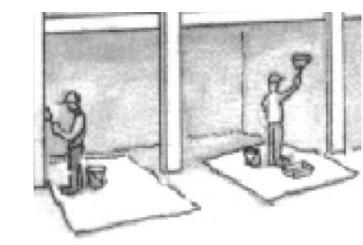
☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.

- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



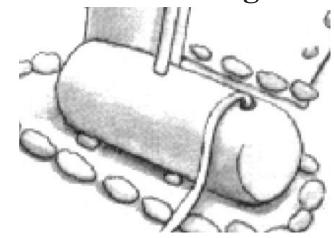
- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



Painting Cleanup and Removal

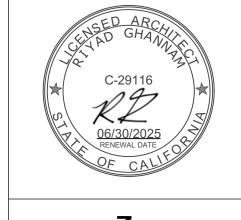
- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Painting & Paint Removal



428 SOUTH VAN NESS AVENUE

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REV	ISIONS		
NO.	DATE	ISSUE	
REVIS	ION CHAN	GE	

03/10/25 DESIGN REVIEW/ TREE

REMOVAL/LOT SUBDIVISION

WAWALAND LLC 6044 STEVENSON BLVD. FREMONT CA 94538

PROJECT NAME 1933 Pulgas Ave **Townhomes**

East Palo Alto, CA 94303

063-492-280

SCALE AS NOTED **DRAWN BY** TG / MP **CHECKED BY**

RG/SK PROJECT NO.

202309 DATE OF PUBLICATION 3/25/2025

BEST MANAGEMENT PRACTICE

DRAWING NO. 3 OF 68

G0.03

Storm drain polluters may be liable for fines of up to \$10,000 per day!



16

Baines St

SUBJECT LOT

428 SOUTH VAN NESS AVENUE SAN FRANCISCO, CA 94103 415.649.6202 mail@rg-architecture.com



ISSUE 03/10/25 DESIGN REVIEW/ TREE REMOVAL/LOT SUBDIVISION

WAWALAND LLC 6044 STEVENSON BLVD. FREMONT CA 94538

PROJECT NAME 1933 Pulgas Ave Townhomes

063-492-280

SCALE AS NOTED DRAWN BY

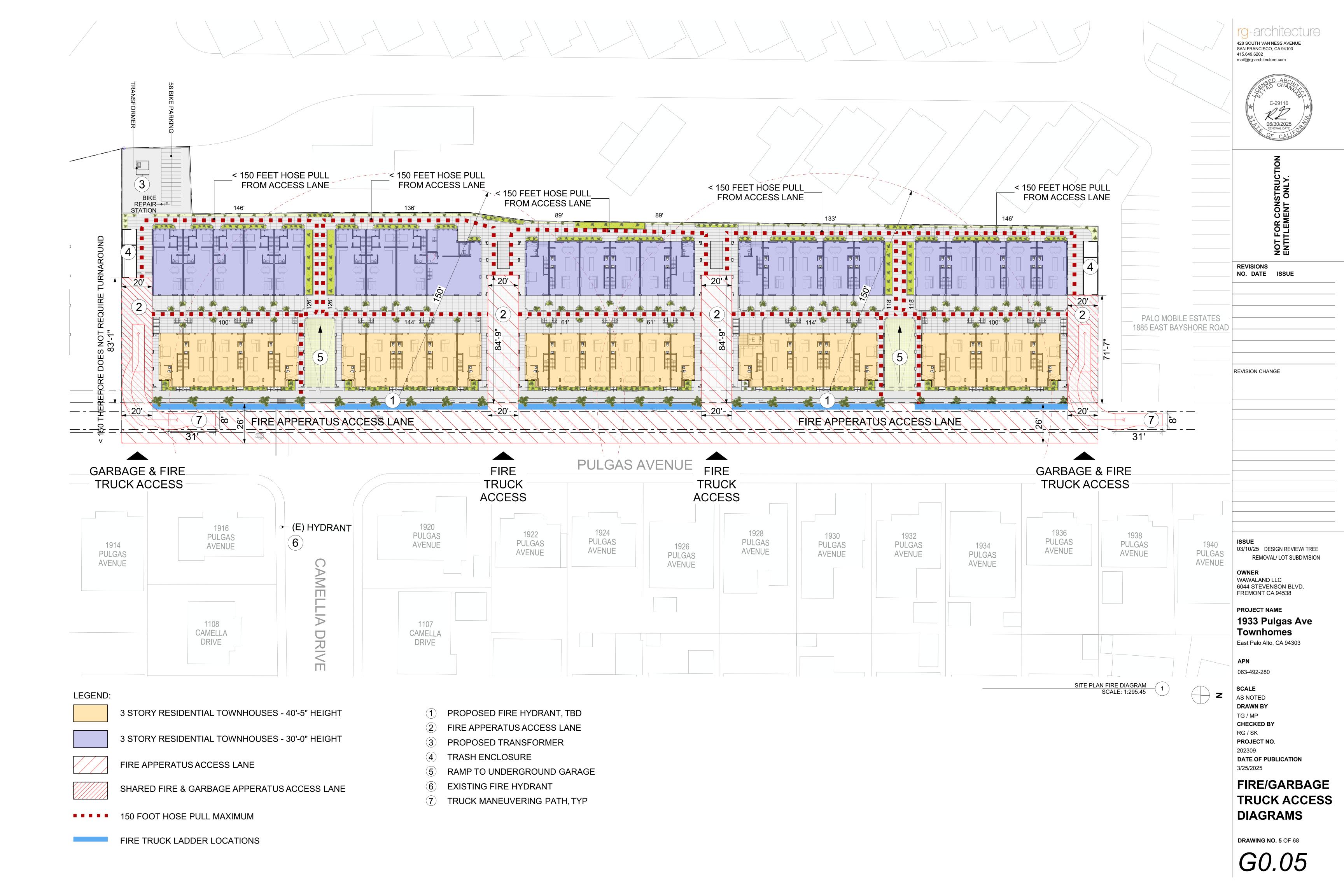
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CHECKED BY RG/SK PROJECT NO. 202309

DATE OF PUBLICATION 3/25/2025

NEIGHBORHOOD PHOTOS

DRAWING NO. 4 OF 68

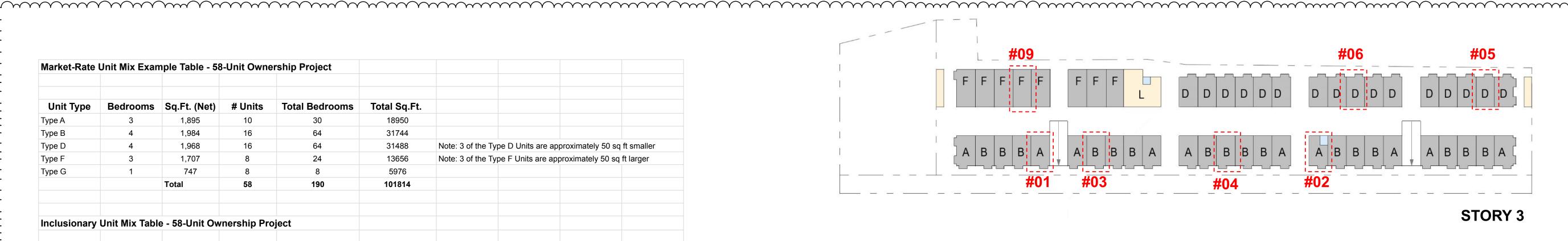


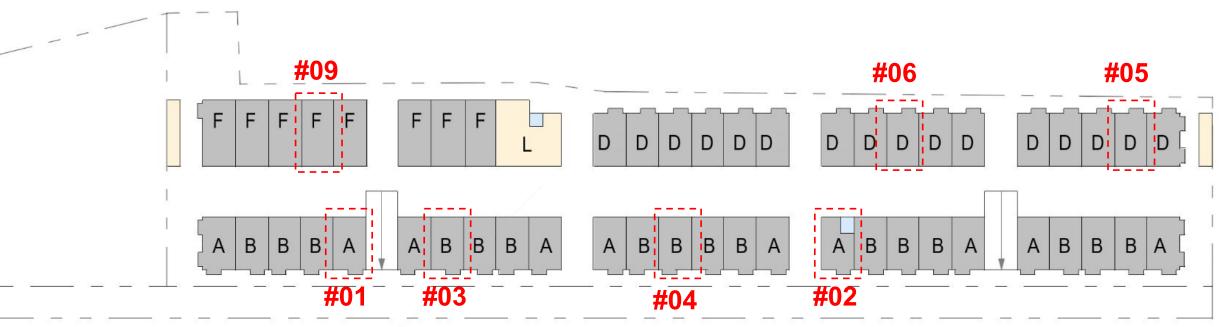
Unit Type	Bedrooms	Sq.Ft. (Net)	# Units	Total Bedrooms	Total Sq.Ft.				
		1,895	10	30	18950				
ype A	3		16	64	31744				
ype B	4	1,984	16	64	31488	Note: 2 of the Typ	o D Unito are ann	roximately 50 sq ft sm	ماام
ype D	3	1,968 1,707	8	24	13656			roximately 50 sq ft larg	
ype F ype G	1	747	8	8	5976	Note. 3 of the Typ	e i Onits are appi	Oximately 50 sq it larg)CI
уре О	<u> </u>	Total	58	190	101814				
		Total	30	130	101014				
nclusionary	Unit Mix Table	e - 58-Unit Ov	vnership Proj	ject					
Unit Type	% AMI	Redrooms	Sq.Ft. (Net)	# Units	Total Bedrooms	Total Sg Ft			
ype A	120	3	1,895	1	3	1895			
уре А	80	3	1,895	1	3	1895			
уре К Туре В	120	4	1,984	1	4	1984			
уре В	80	4	1,984	1	4	1984			
ype D	120	4	1,968	1	4	1968			
ype D	80	4	1,968	1	4	1968			
ype G	80	1	747	1	1	747			
ype G	80	1	747	1	1	747			
ype F	120	3	1,707	1	3	1707			
, p			Total	9	27	14895			
Note: Affordabili	ty levels of the In	clusionary Units:	For-Sale require	ement: 10% of units affo	ordable to households	at or below			
60% AMI and 10	% of units afforda	able to household	ls at or below 12	0% AMI.					
R-MD-2 Multiple	-family medium	density resider	itial (12 - 22 du/a	ac) - Based on City pr	ovided table				
BASE UNITS		46							
ENSITY BONU	S UNITS	12							
DENSITY BONU	JS 26% FOR INC	CLUSIONARY)							
OTAL UNITS		58							
NCLUSIONARY		-		, 4 UNITS AT 120% AM	•				
0% INCLUSION	NARY REQUIREN	MENT APPLIES	TO THE BASE 4	6 UNITS = 9.34 UNITS.	OF THIS, 0.36 UNITS	S WILL BE COVER	ED BY AN IN-LIE	U FEE.	
UNITS (10% A	T 80% AMI								
· UNITS (10% A									
•	SIONARY RATE								

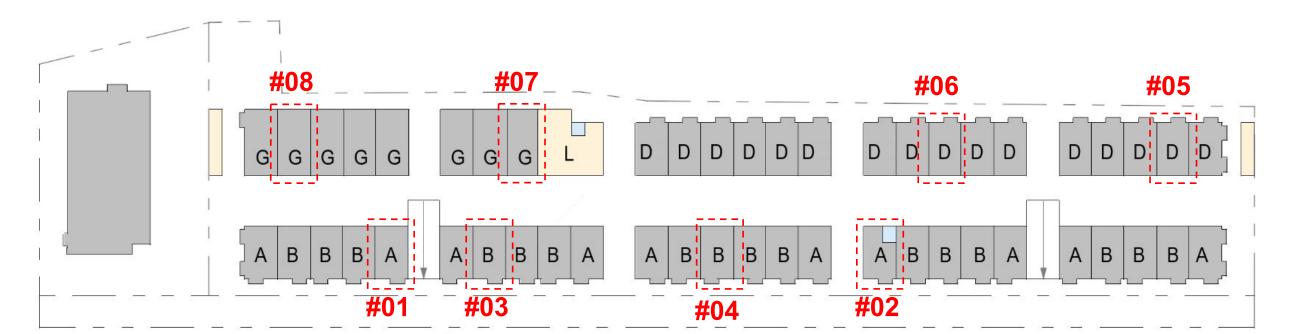
UNIT MIX TABLES

IZ/Density 1933 Pulgas ave.		
IZ applies to base units - 10%		
@ 80% of AMI, 10% @ 120% of		
AMI, remaining density		
applies to base		
	Raw	
	Number	Actual Units
Base Units	46	46
Proposed Units	58	58
Density Bonus Requested	26%	12
10% of Base @ 80% of AMI	4.6	5
10% of Base @ 120% of AMI	4.6	4
Resulting IZ Units	92	9

ALL INCLUSIONARY UNITS WILL BE CONSTRUCTED TO BE COMPARABLE IN EXTERIOR APPEARANCE AND OVERALL QUALITY TO THE MARKET-RATE UNITS IN THE SAME DEVELOPMENT. WHILE INTERIOR FINISHES, FEATURES, AND AMENITIES MAY VARY FROM THOSE PROVIDED IN THE MARKET-RATE UNITS, THEY WILL BE DURABLE, OF GOOD QUALITY, COMPATIBLE WITH THE MARKET-RATE UNITS, AND CONSISTENT WITH CONTEMPORARY STANDARDS FOR NEW HOUSING.







Unit Type	% AMI	Bedrooms	Sq. Ft.	Unit Number
Office Type	/U /~IVII	Dearooms	Oq . 1 t.	Offic Harrison
Type A	120	3	1,895	#01
Туре А	80	3	1,895	#02
Туре В	120	4	1,984	#03
Туре В	80	4	1,984	#04
Type D	120	4	1,968	#05
Type D	80	4	1,968	#06
Type G	80	1	718	#07
Type G	80	1	718	#08
Type F	120	3	1,707	#09

INCLUSIONARY UNITS DISTRIBUTION CHART

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NOT FOR CONSTRUCTION

REVISIONS

STORY 2

STORY 1

NO. DATE ISSUE

REVISI	ON CHAN	IGE	
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ISSUE
03/10/25 DESIGN REVIEW/ TREE

REMOVAL/LOT SUBDIVISION

OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

1933 Pulgas Ave Townhomes

East Palo Alto, CA 94303

APN 063-492-280

AS NOTED

DRAWN BY

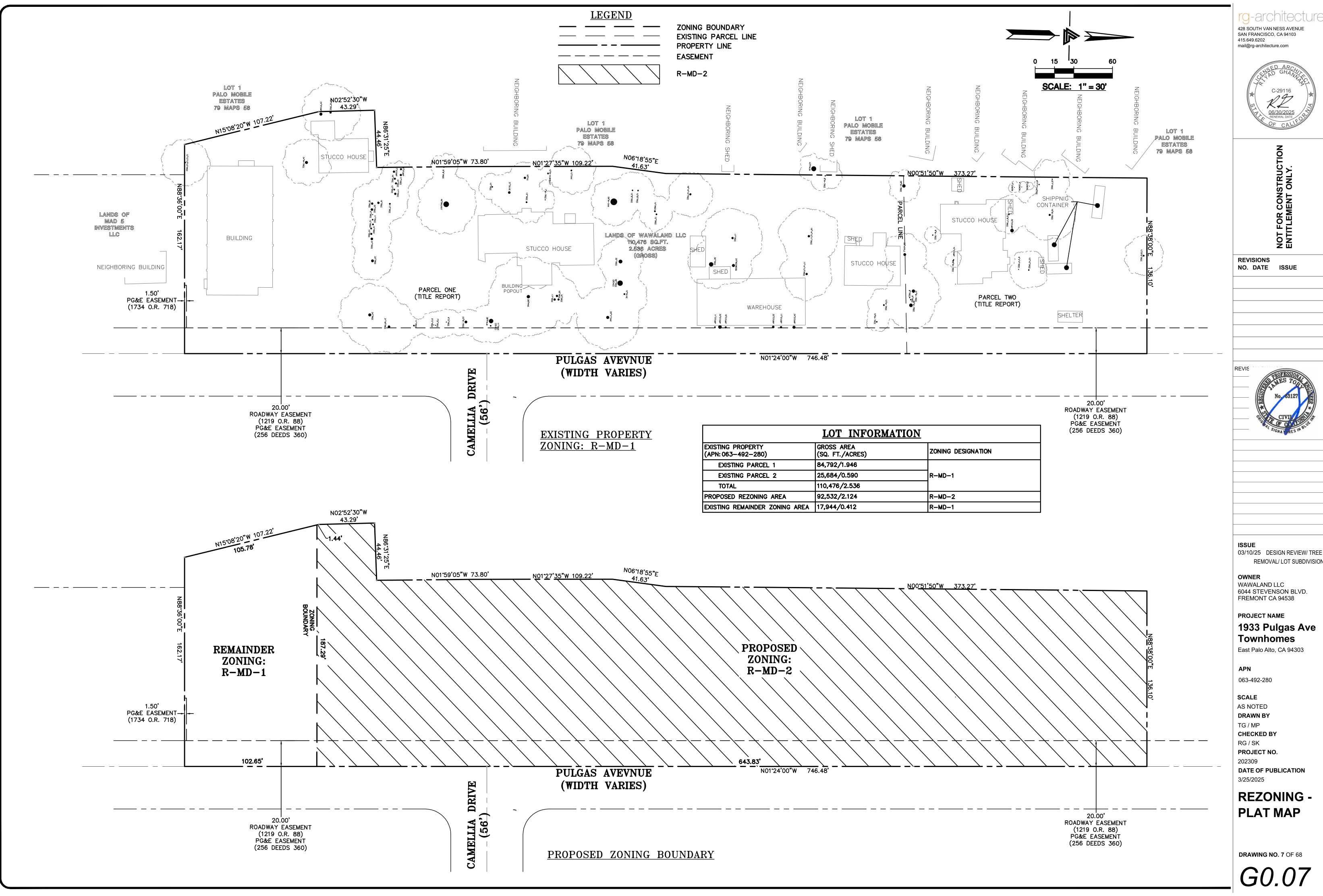
TG / MP

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RG / SK
PROJECT NO.
202309

202309 **DATE OF PUBLICATION**3/25/2025

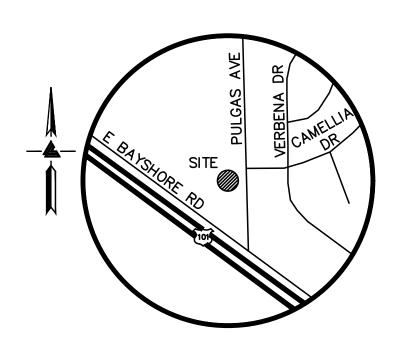
INCLUSIONARY
UNITS PRELIMINARY
DIAGRAMS
DRAWING NO. 6 OF 68

G0.06



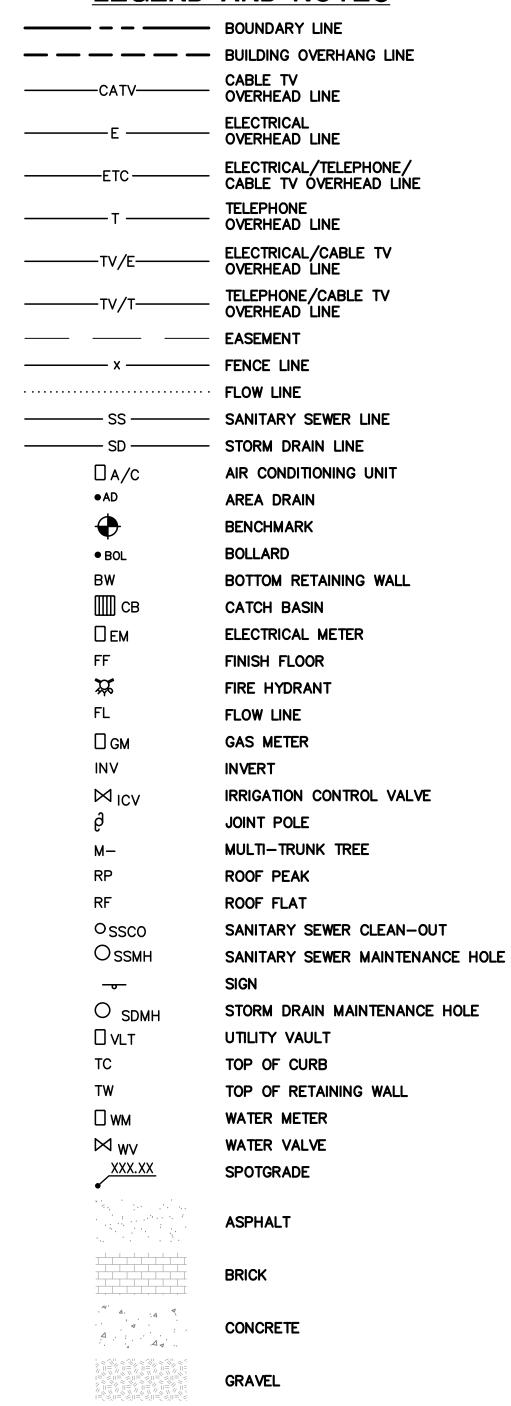
REMOVAL/LOT SUBDIVISION

1933 Pulgas Ave

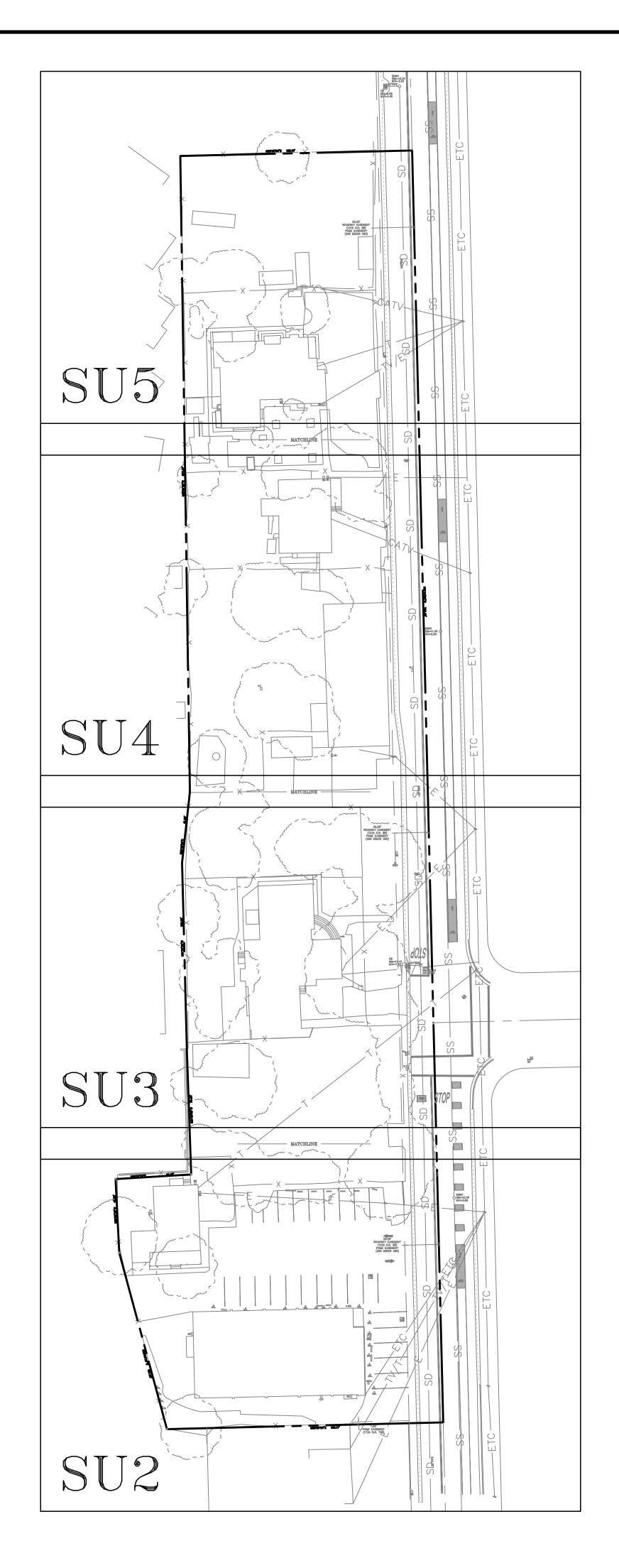


VICINITY MAP

LEGEND AND NOTES



WOOD



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE GROSS AREA OF THE SURVEYED LOT IS 110,476± SQUARE FEET / 2.536± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, TITLE NO. FWTO-3762200717-JJ, DATED OCTOBER 11, 2022. PG&E EASEMENT PER DOCUMENT (252 DEEDS 486) — THE EXACT LOCATION OF THIS EASEMENT IS NOT DISCLOSED OF RECORD.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST

BENCHMARK

CITY OF EAST PALO ALTO BENCHMARK CITY BM 1 DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN THE LAWN IN UNIVERSITY SQUARE PARK AT TATE AND OAKES STREETS IN THE CITY OF EAST PALO ALTO LOCATED AT THE EAST SIDE OF THE CONCRETE PATH

ELEVATION = 13.17(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 12.35(NAVD 88 DATUM)

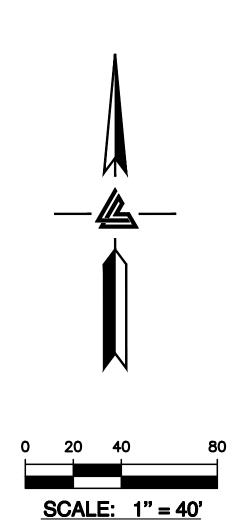
FEMA FLOOD NOTE

PORTION OF SURVEYED PROPERTY LIE WITHIN FLOOD ZONE: AE

100-YEAR BASE FLOOD ELEVATION (BFE): 10.3' (NAVD88 DATUM) PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS

FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0309F EFFECTIVE DATE: MARCH 5, 2019

FEMA FLOOD INSURANCE STUDY FOR SAN MATEO COUNTY, CA NO.: 06081CV001D REVISED: APRIL 5, 2019





ENGINEERING,

& BRAZE ENGINEERS LEA CIVIL

VEN

PULGAS ST PALO CALIFORI

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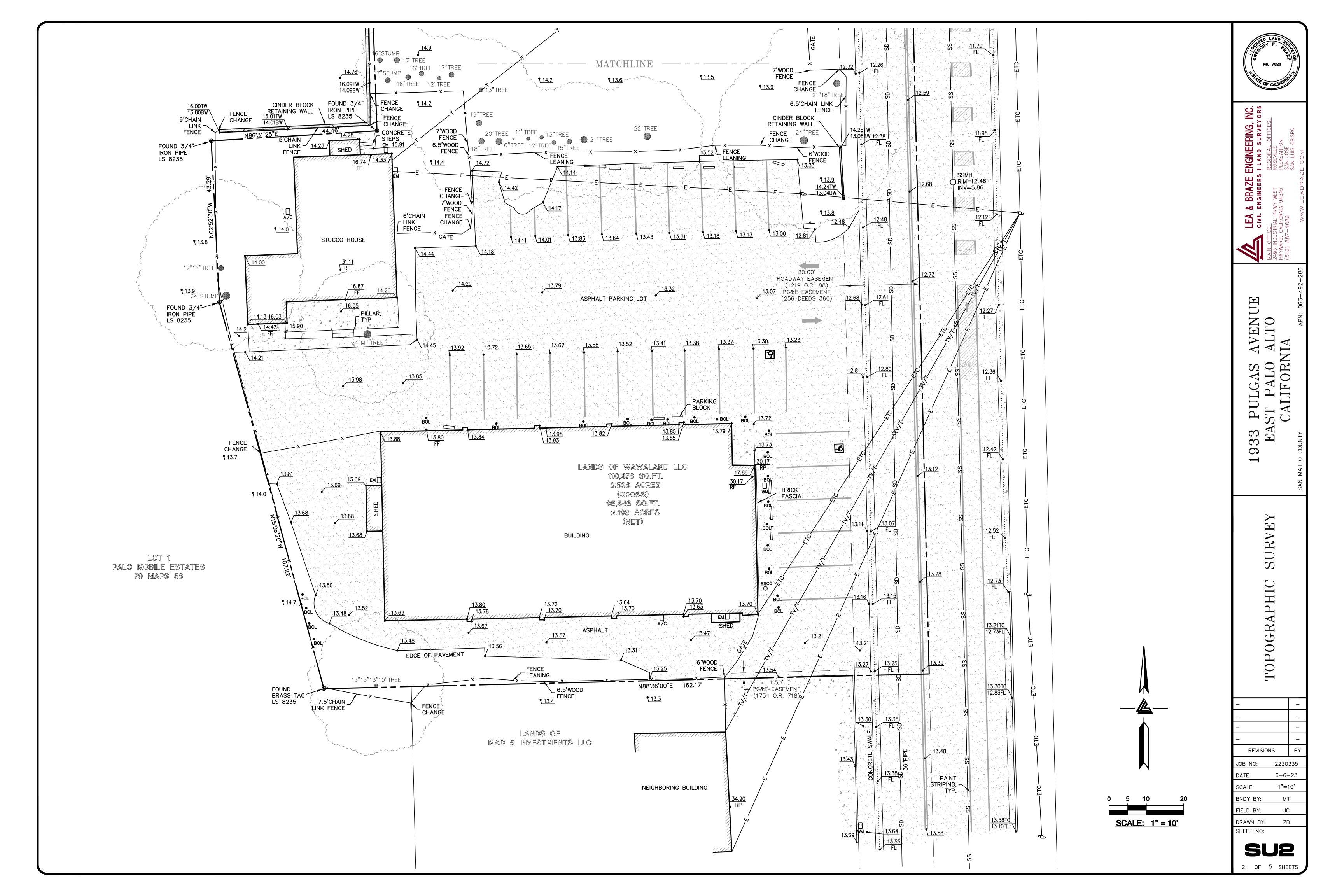
100REVISIONS 2230335 6-6-23 1"=40' SCALE: BNDY BY:

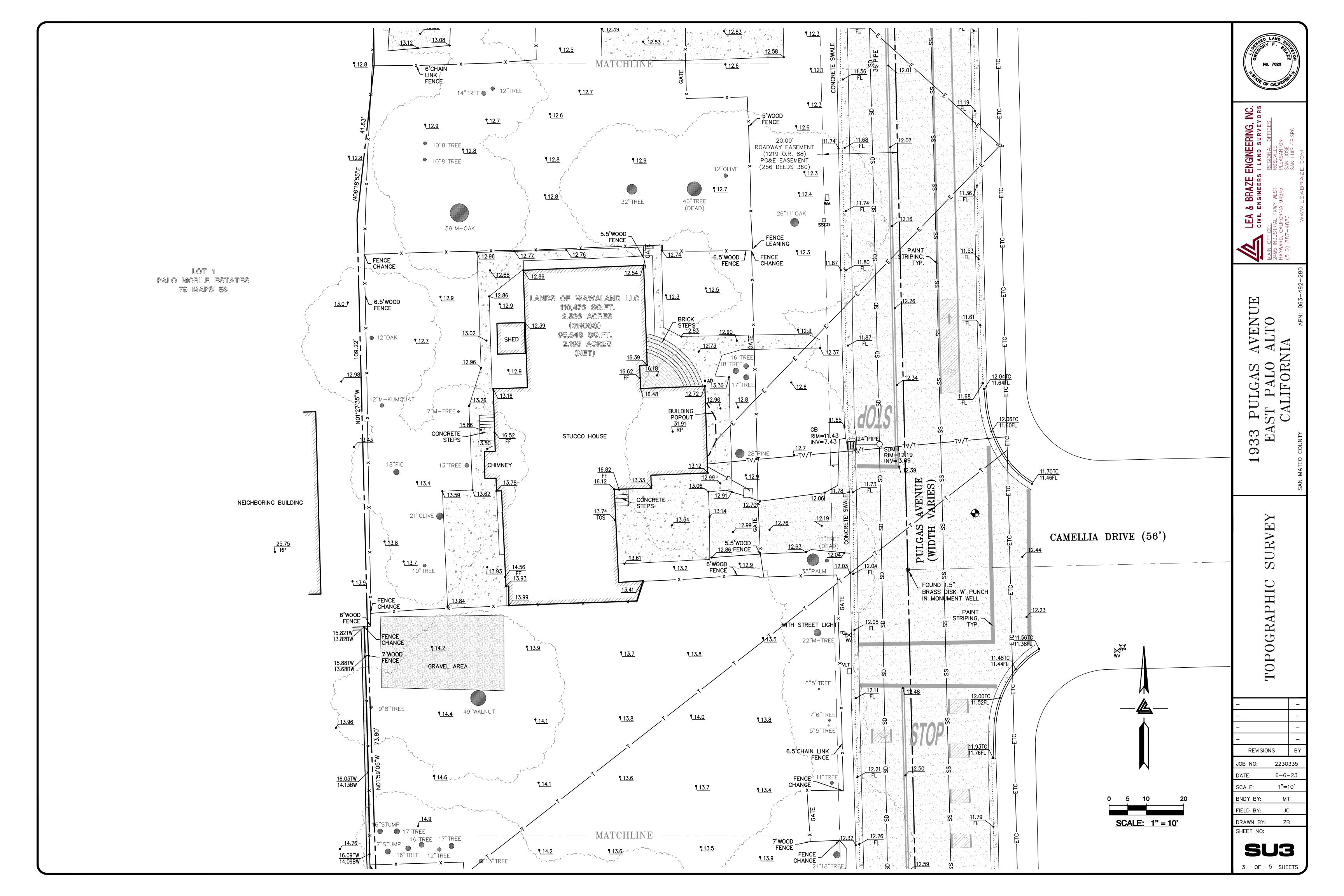
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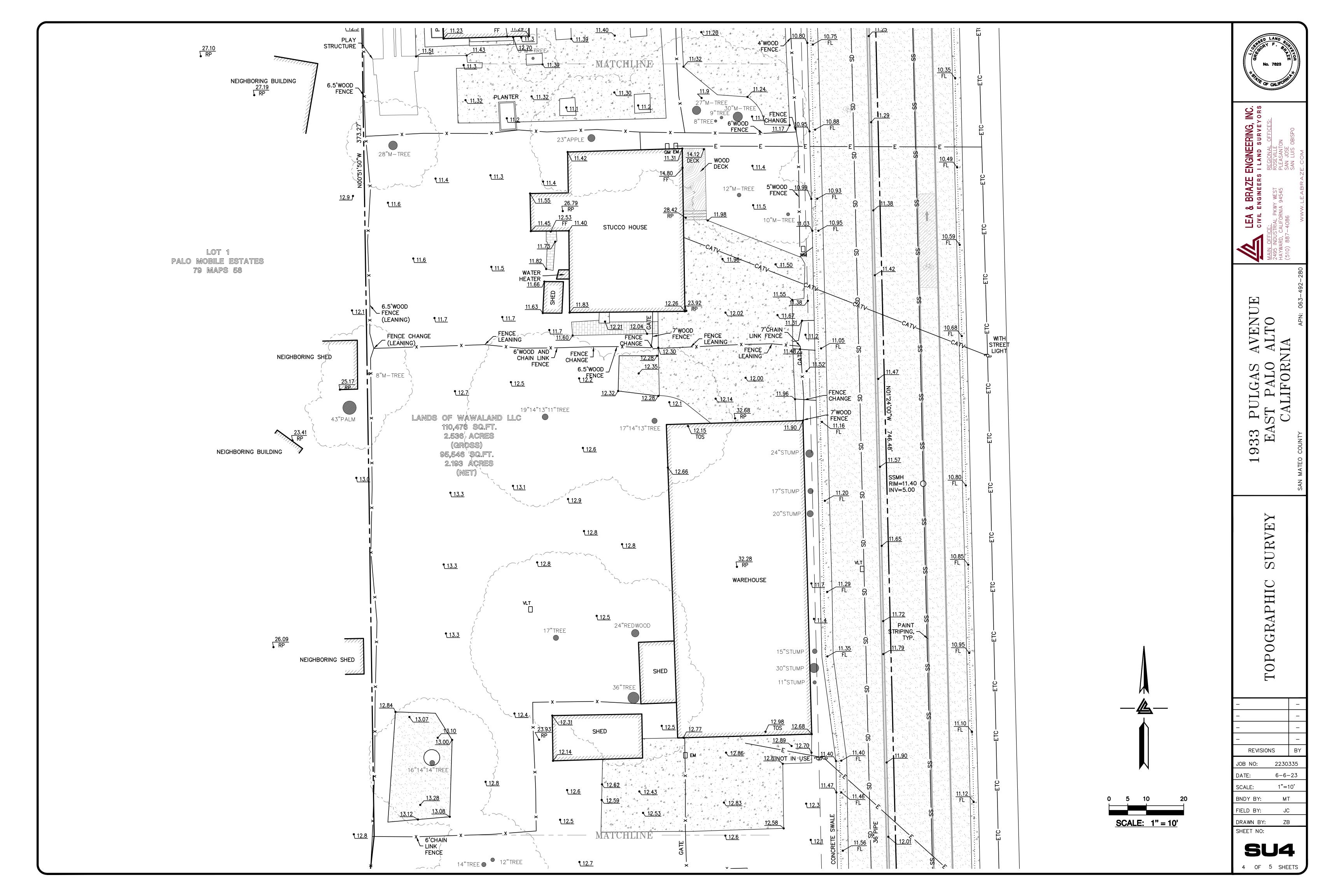
1 OF 5 SHEETS

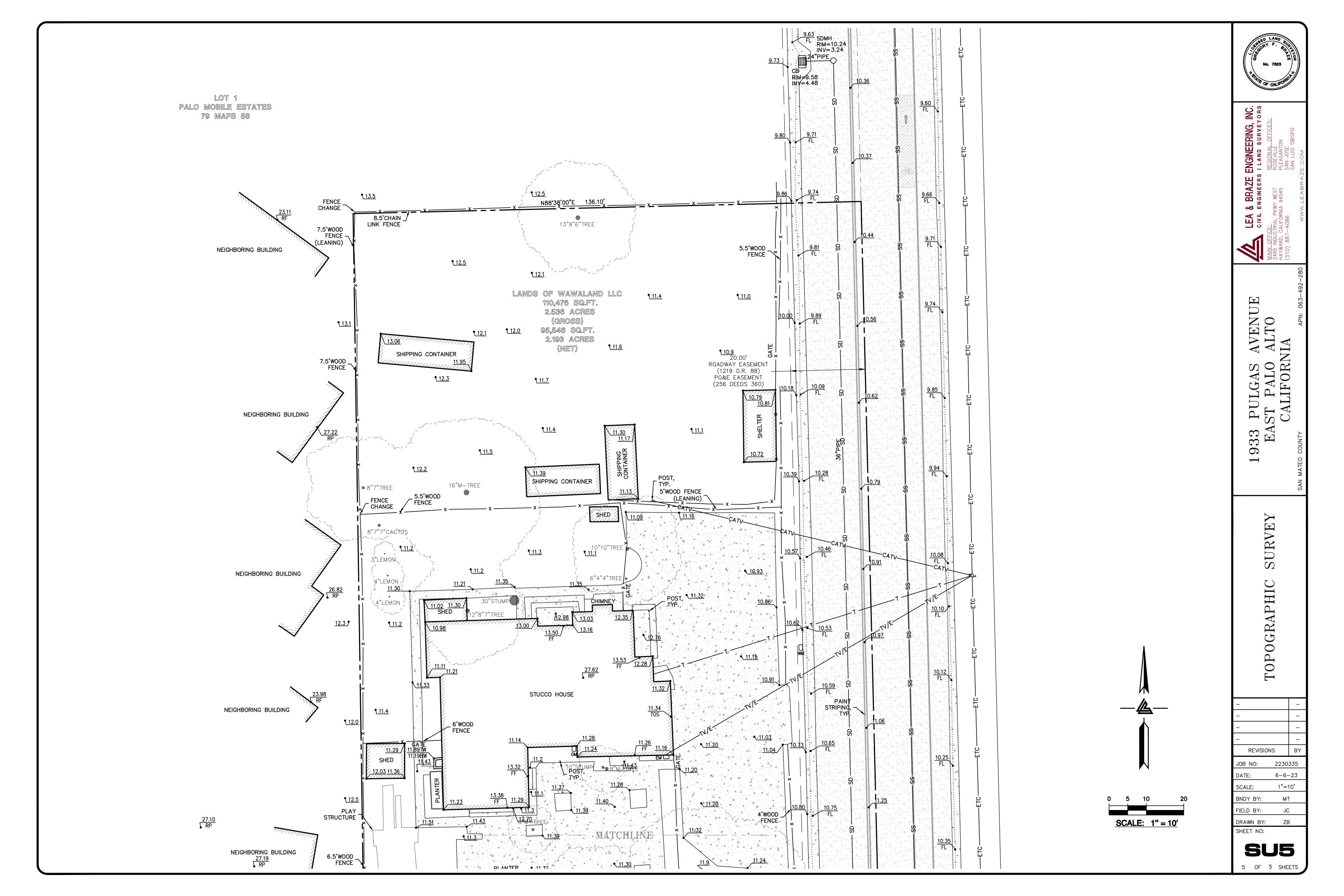
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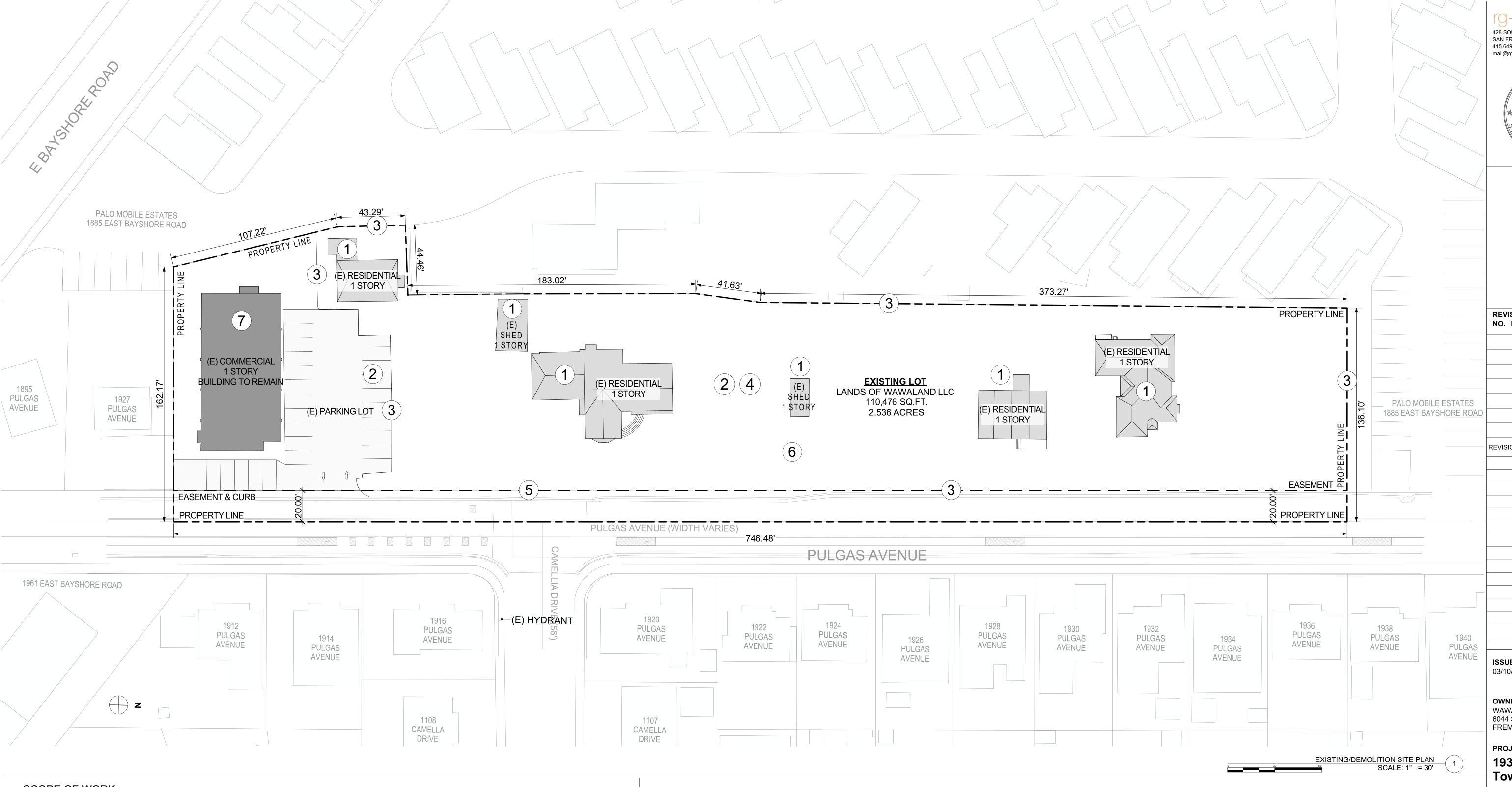
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SCOPE OF WORK

DEMOLITION OF (6) EXISTING ONE-STORY BUILDINGS. REMOVE SHED, TREES, FENCE, ELECTRICAL POST, FOUNDATION, CONCRETE CURBS & ASPHALT PAVING. EXISTING LIGHT POLE NEED TO BE RELOCATED. CUT AND CAP ALL EXISTING PLUMBING AND ELECTRICAL.

LEGEND:

EXISTING STRUCTURE TO BE DEMOLISHED

EXISTING STRUCTURE TO REMAIN

- (1) EXISTING STRUCTURE TO BE DEMOLISHED
- 2 EXISTING CONCRETE WORK TO BE REMOVED
- (3) EXISTING FENCE TO BE REMOVED
- 4) EXISTING TREES TO BE REMOVED SEE TREE REMOVAL PLAN SHEET L1.02 & L1.03
- 5 EXISTING LIGHT POLE TO BE RELOCATED
- (6) ELECTRICAL POST TO BE REMOVED
- 7 EXISTING COMMERCIAL TO REMAIN

GENERAL NOTES

01 CODES: ALL WORK SHALL CONFORM WITH OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE CITY, COUNTY AND STATE CODES, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS INCLUDING BUT NOT LIMITED TO FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES. SEE CODE EDITIONS ON THIS SHEET.

02 PERMITS: BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDING INSPECTIONS, OBTAIN ALL REQUIRED PERMITS, AND PAYALL FEES REQUIRED BY GOVERNING AGENCIES.

03 EXISTING CONDITIONS AND DIMENSIONS: THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT. CALLED-OFF DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED-OFF DIMENSIONS. DIMENSIONS ARE TO FACE OF STRUCTURE (STUD, CONCRETE, STEEL), UNLESS OTHERWISE NOTED. DIMENSIONS IN SECTIONS AND ELEVATIONS ARE TO TOP OF PLATE OR TOP OF SUB-PLATE UNLESS OTHERWISE NOTED. ELEVATION MARKERS ARE TO TOP OF FINISHED FLOORS

04 PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER. CONTRACTOR TO IMMEDIATELY REPORT ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS IN THE PLANS AND SPECIFICATIONS TO THE ARCHITECT, AND UNTIL THEY ARE RESOLVED, SHALL NOT PROCEED WITH THE AFFECTED WORK.

05 DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.

06 COORDINATION: THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.

07 CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

08 INSTALLATION: THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.). ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS, UNLESS AGREED TO OTHERWISE BY THE ARCHITECTS.

09 SUBCONTRACTORS: PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN_OFFS.

10 REPAIR: THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

11 ABANDONMENT: ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

12 CLOSE-OUT: THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

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03/10/25 DESIGN REVIEW/ TREE
REMOVAL/ LOT SUBDIVISION

OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

1933 Pulgas Ave Townhomes

East Palo Alto, CA 94303

APN 063-492-280

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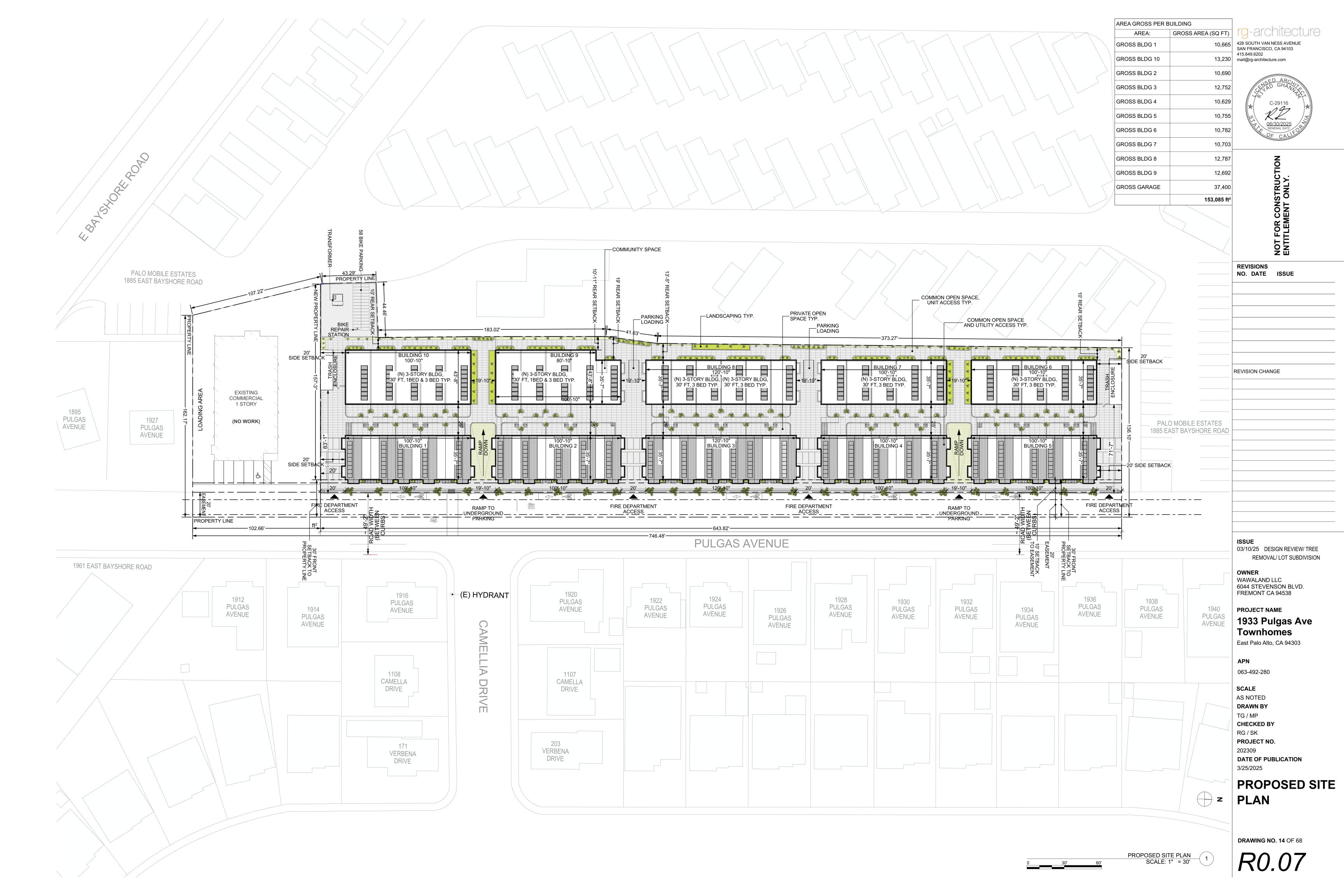
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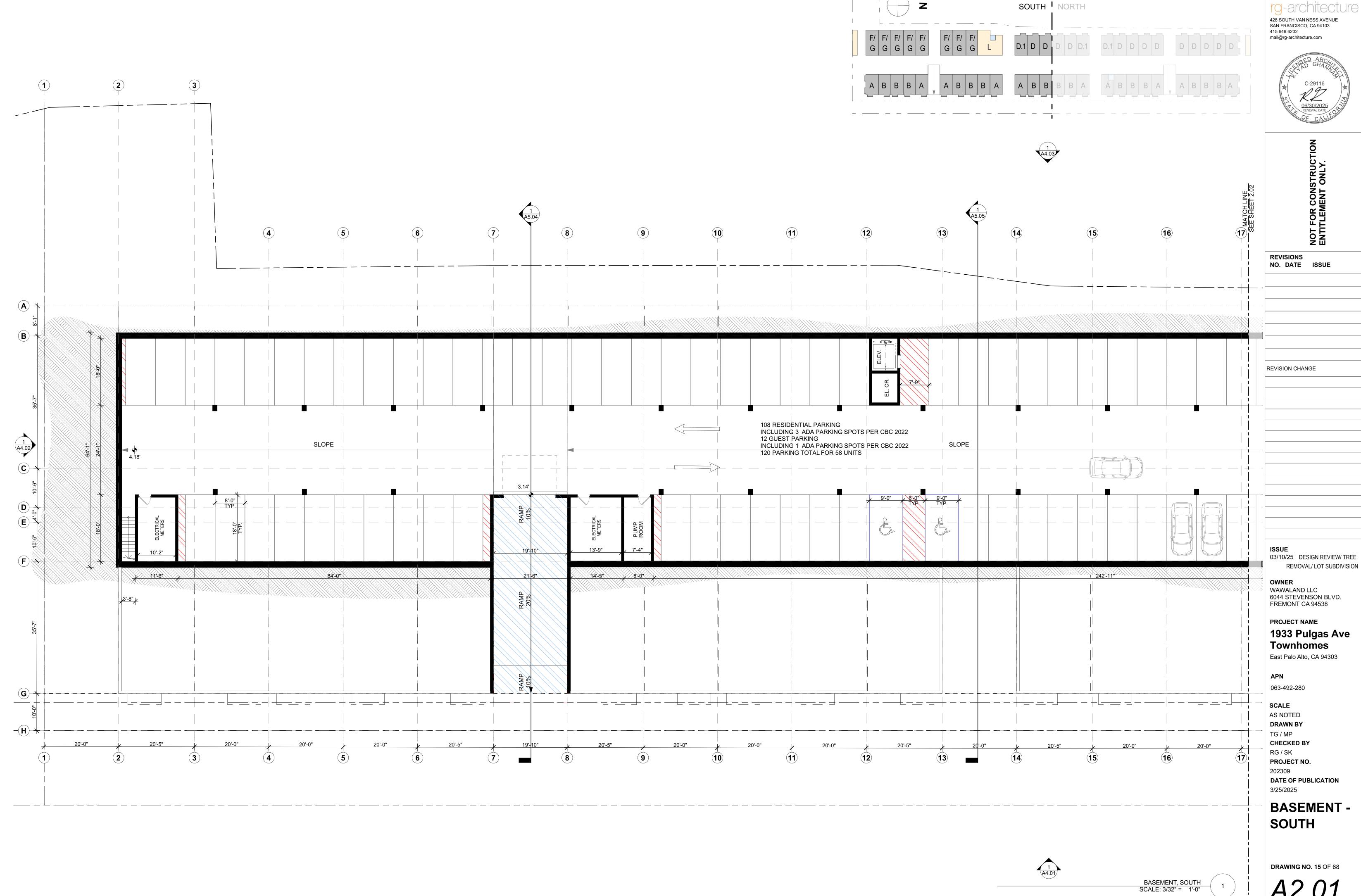
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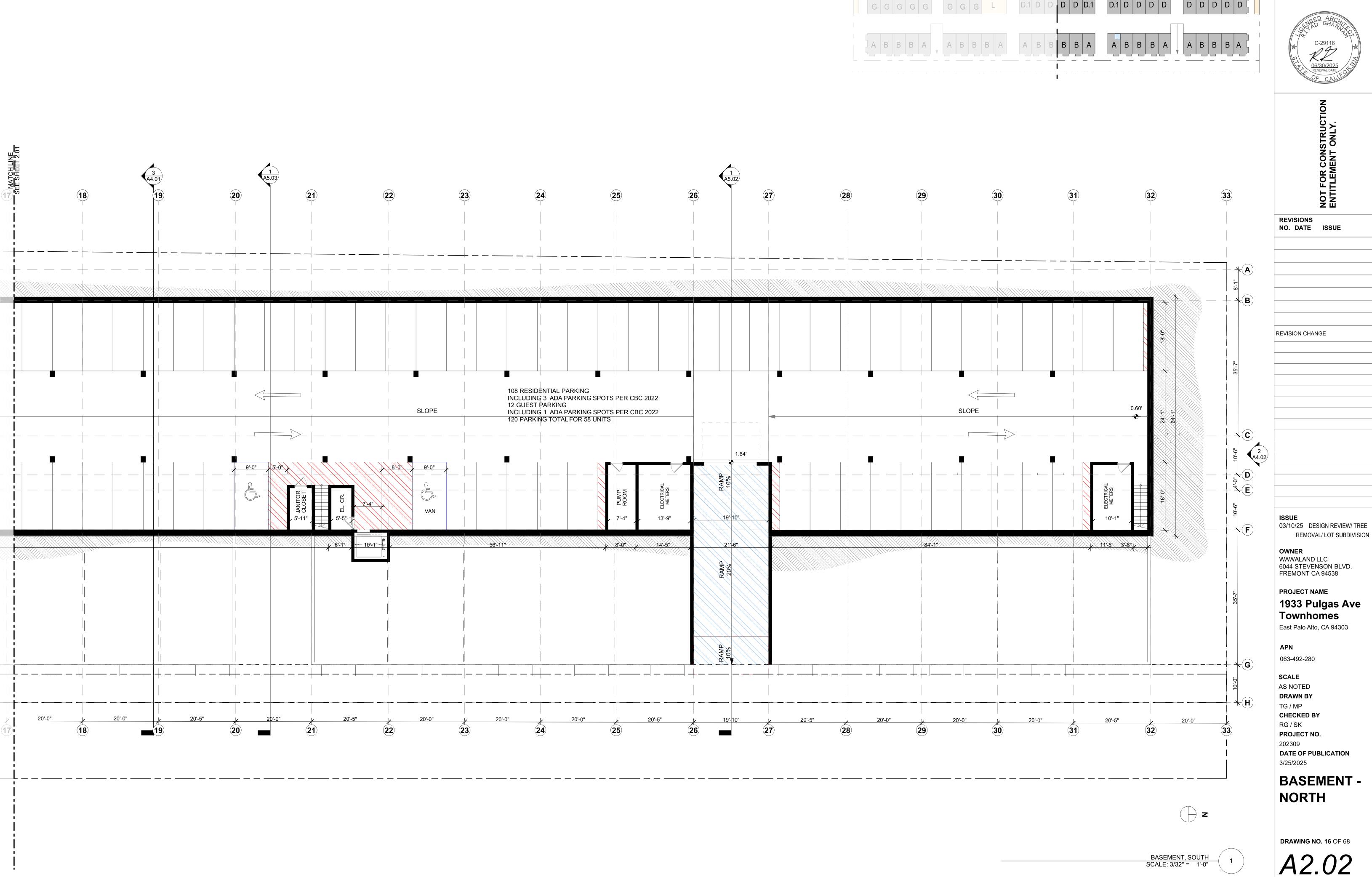
EXISTING/
DEMOLITION
SITE PLAN

DRAWING NO. 13 OF 68

R0.06





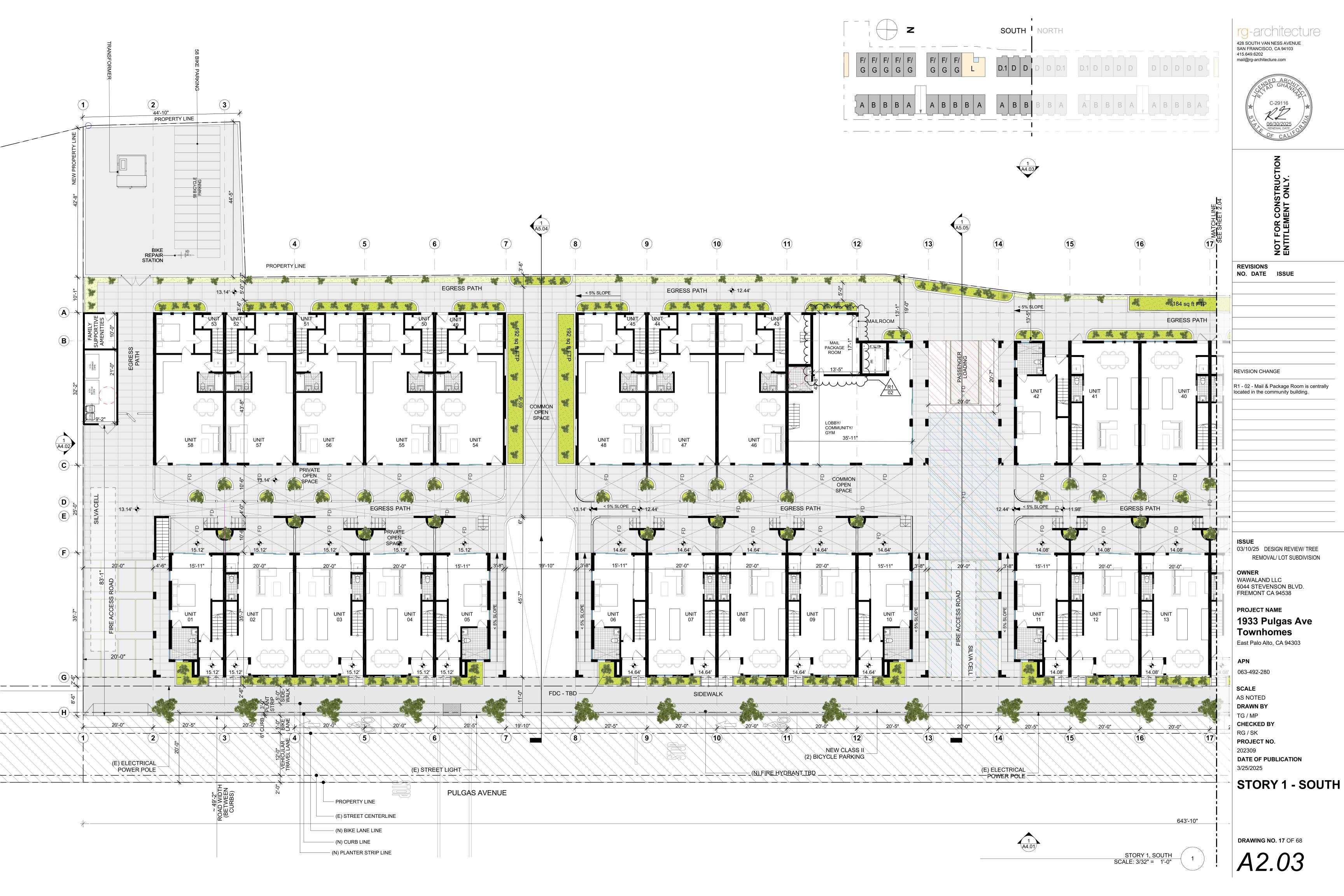


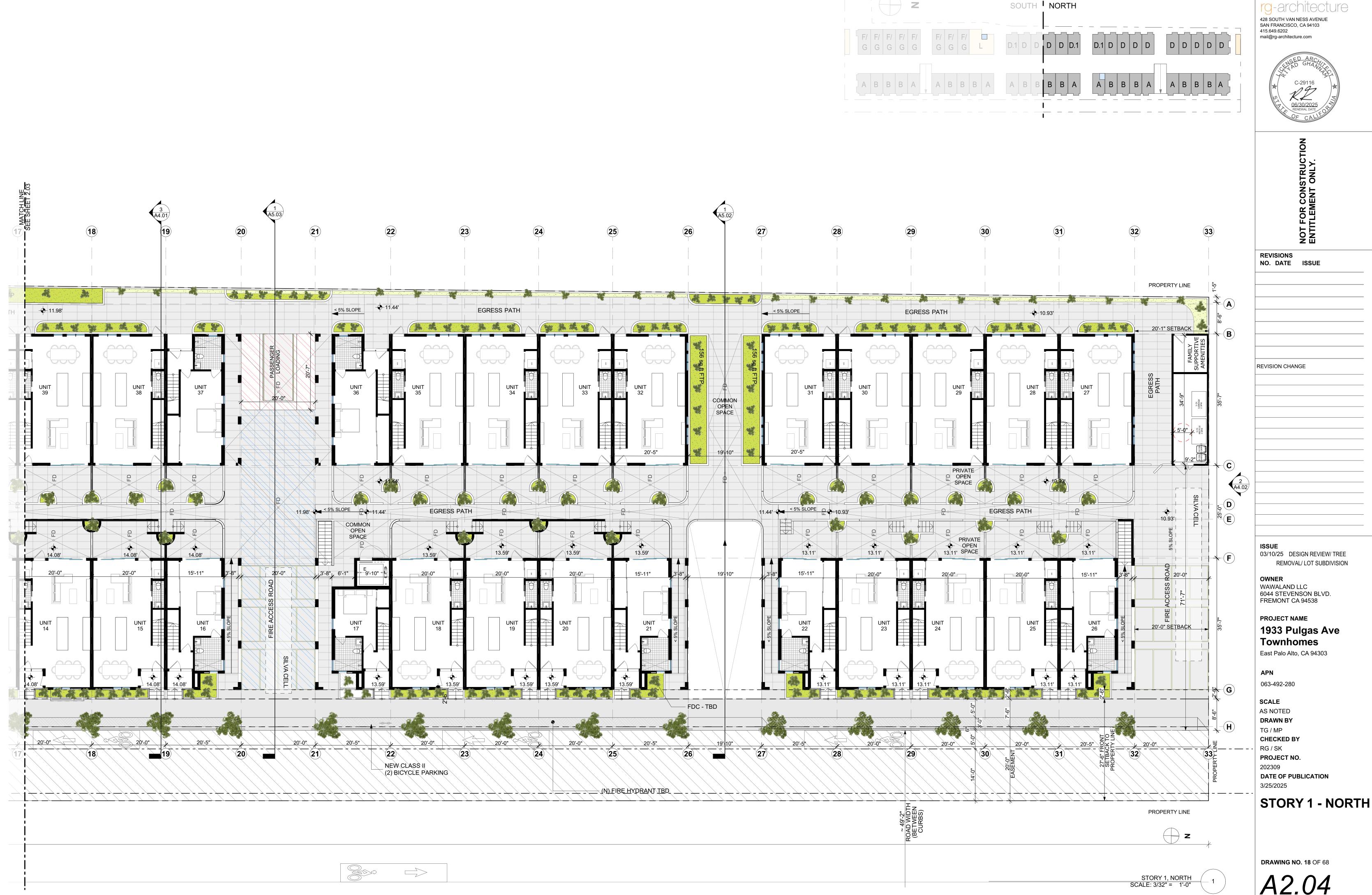
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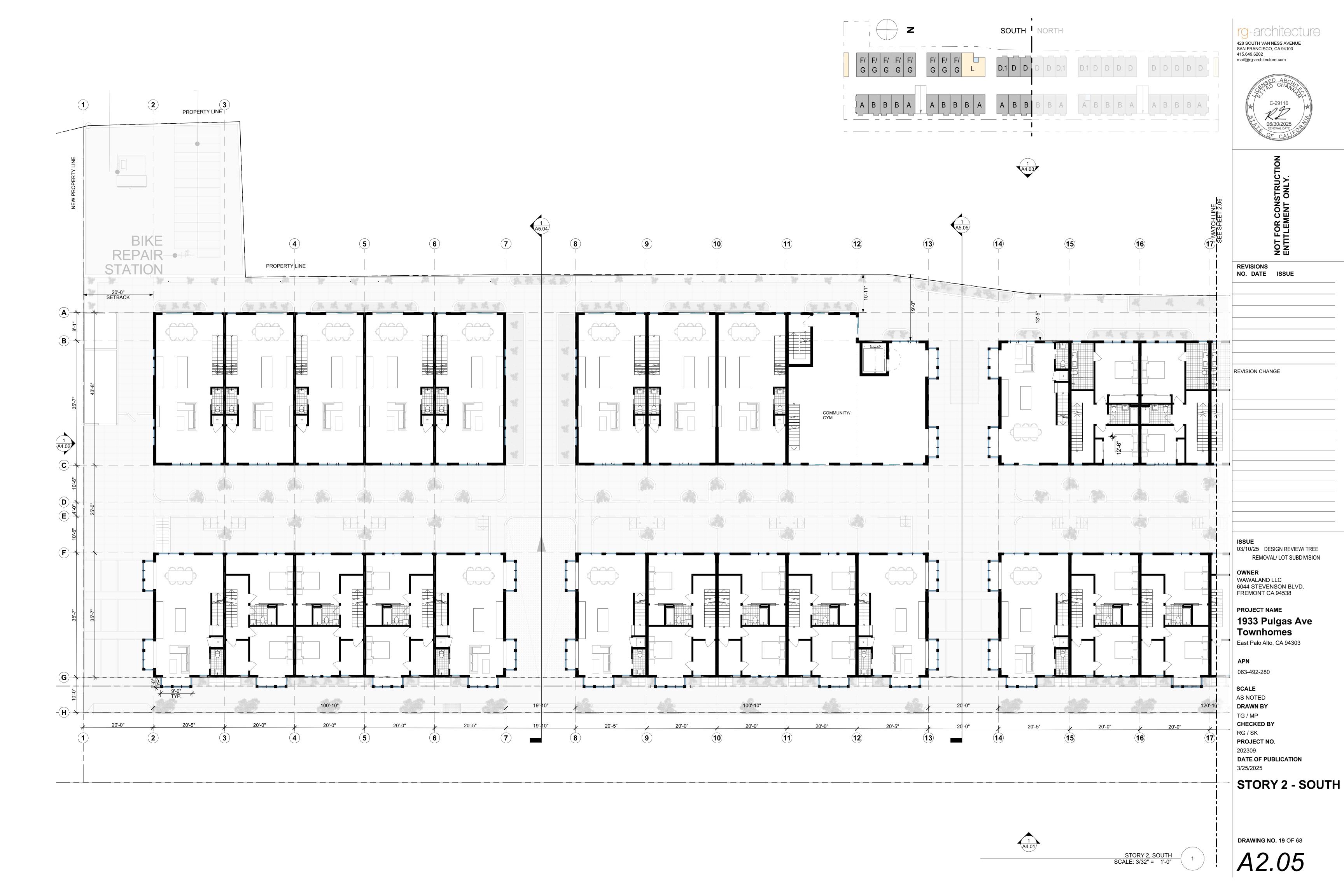
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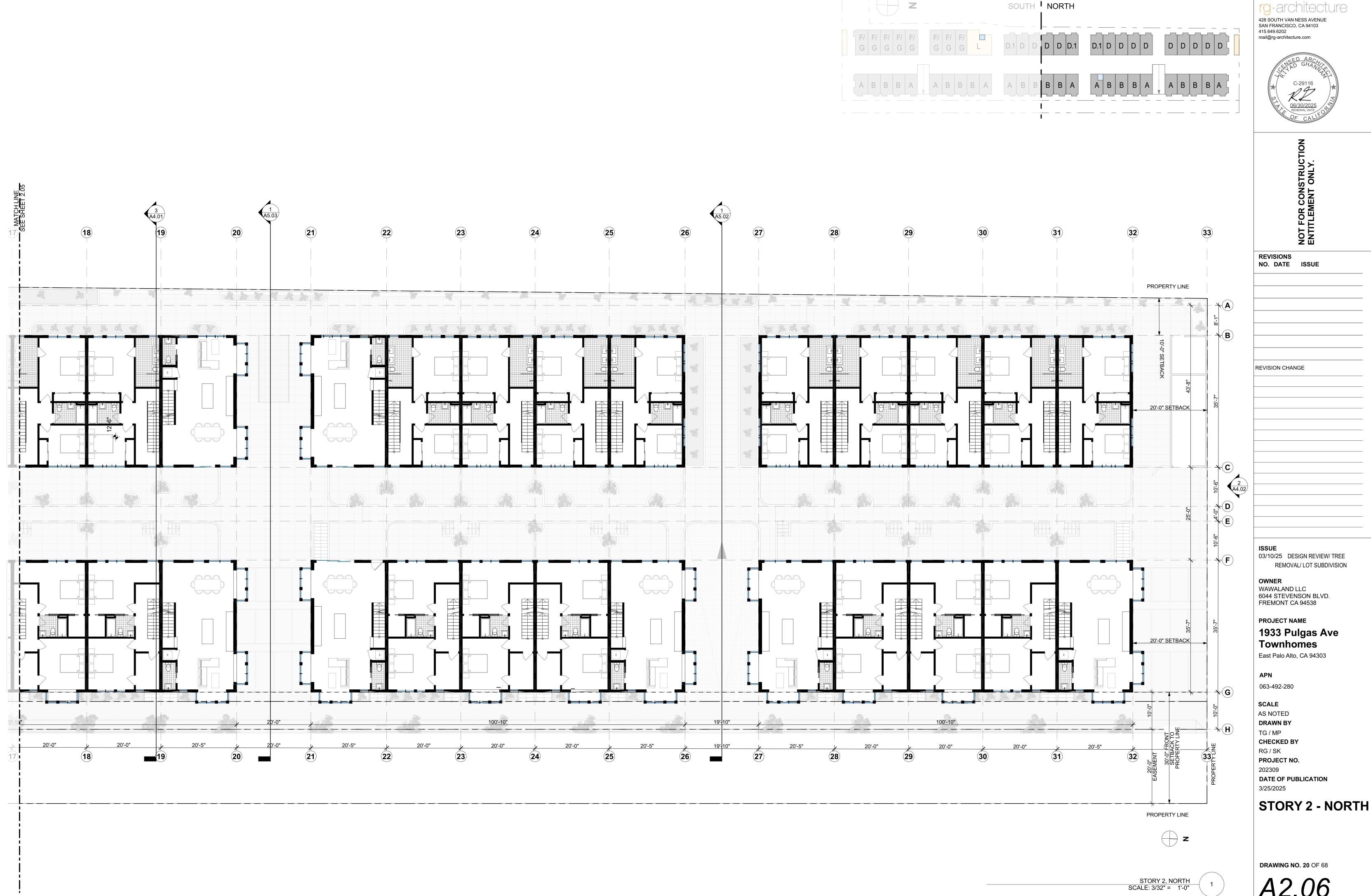
415.649.6202

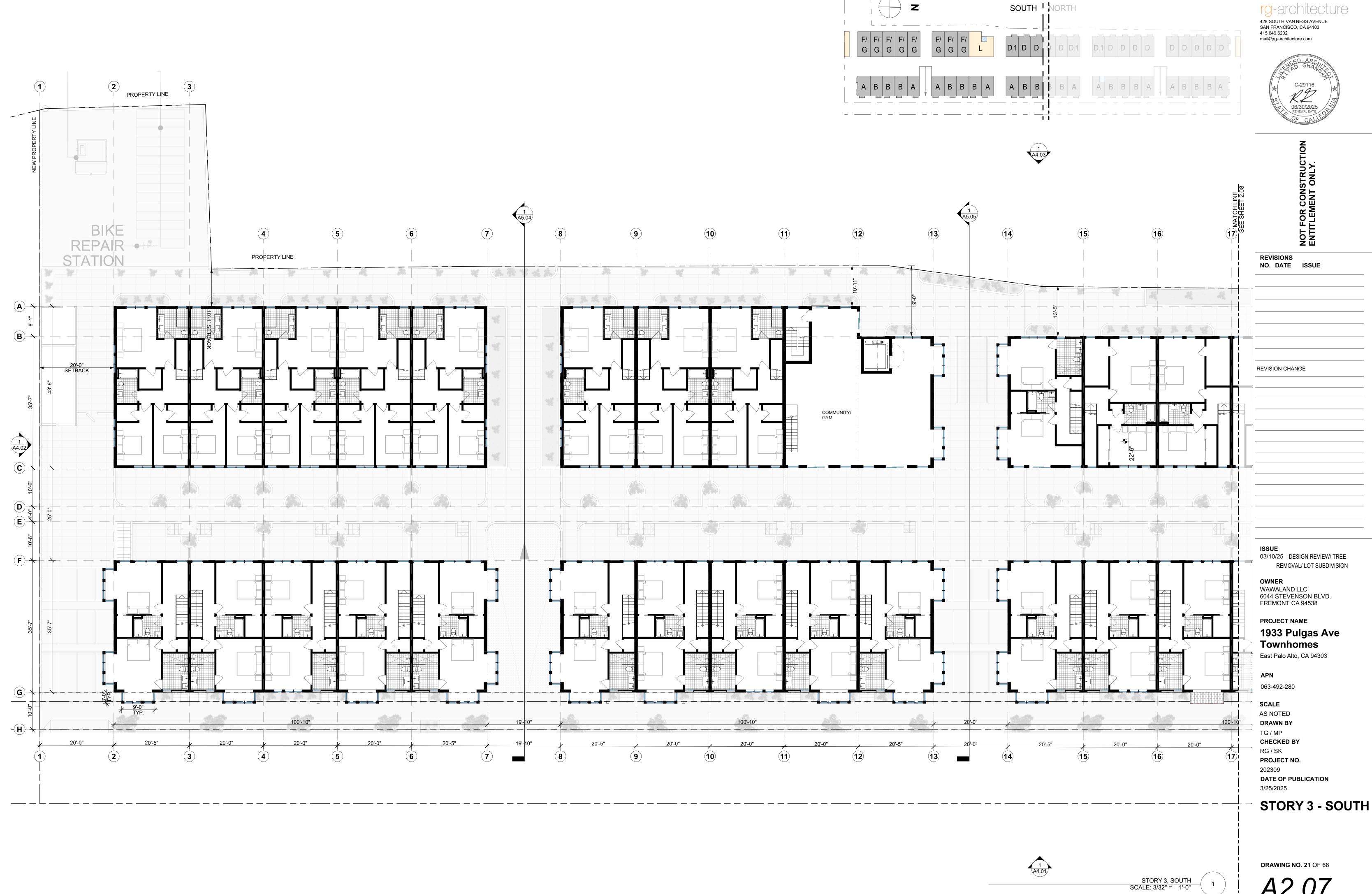
SOUTH | NORTH

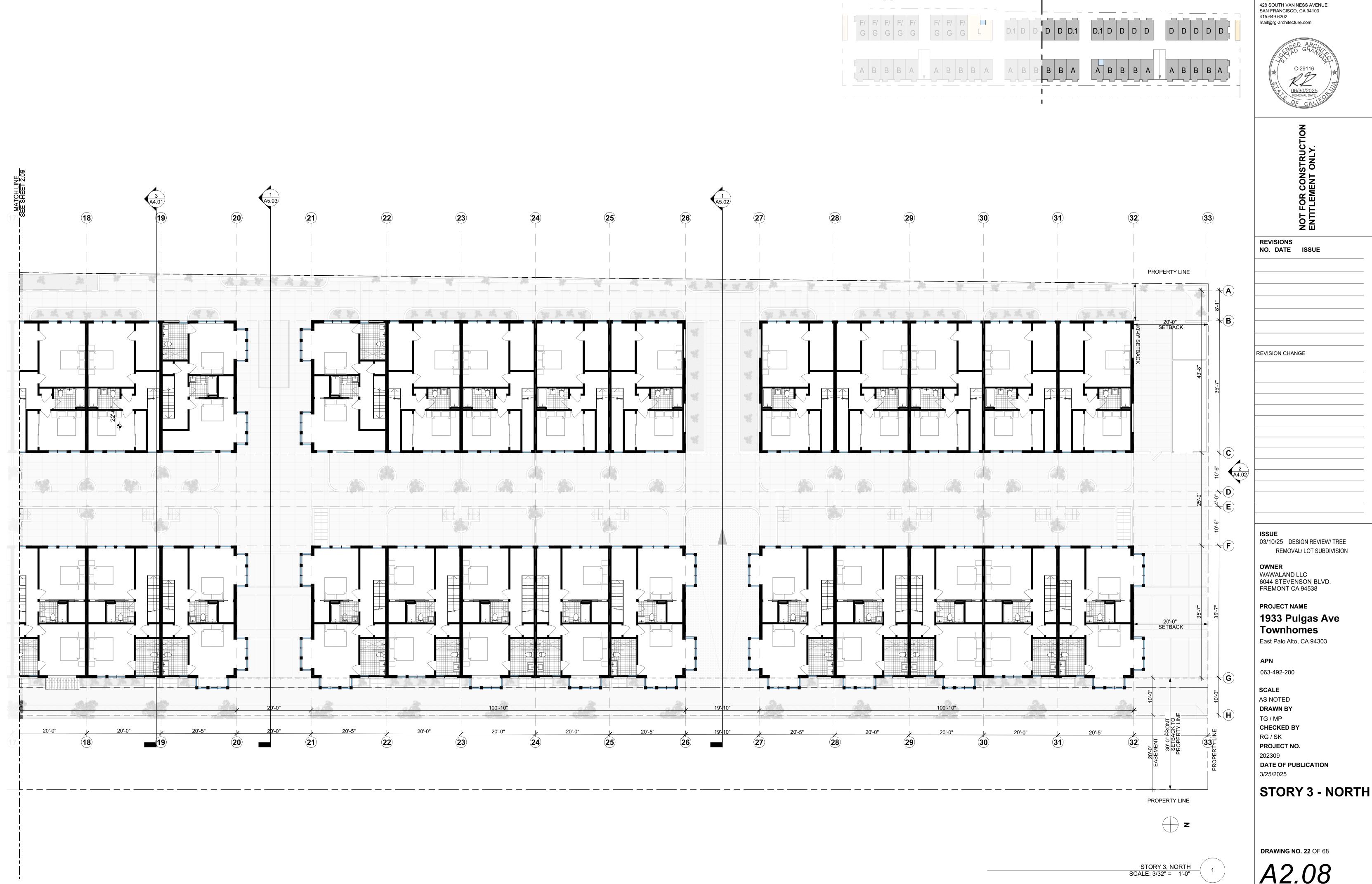




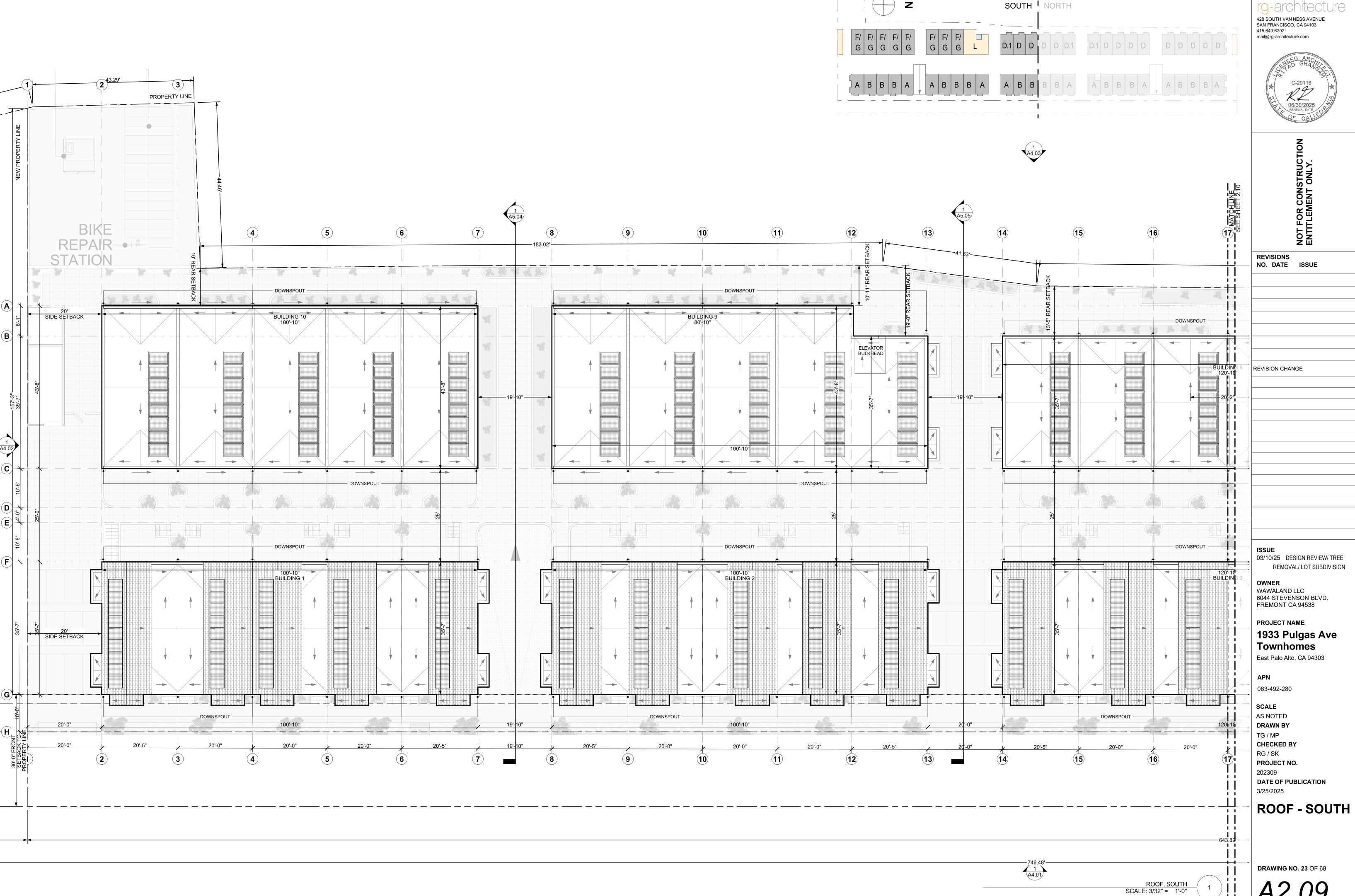


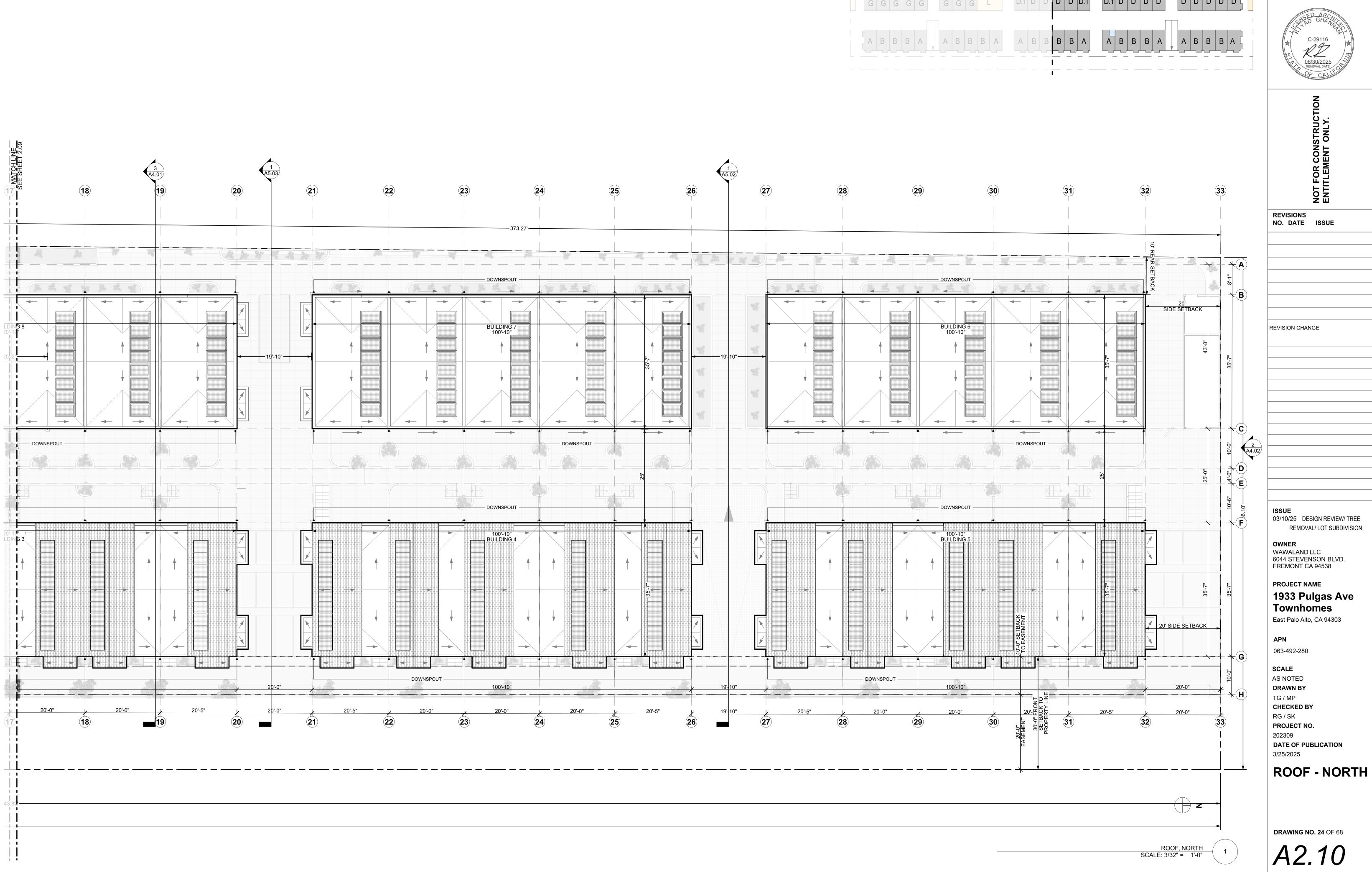






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SOUTH NORTH

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COMMON PARKING

2 PARKING

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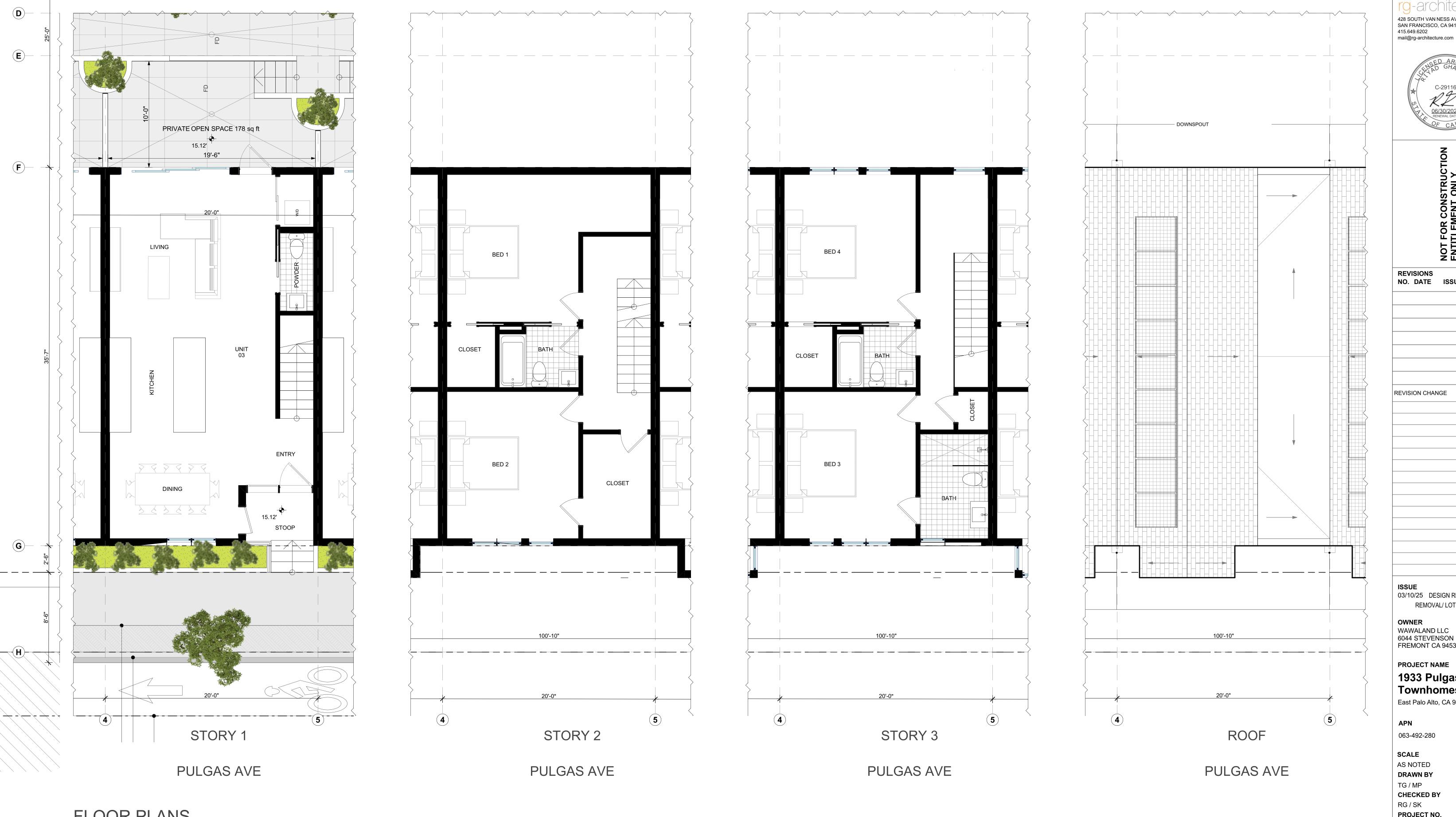
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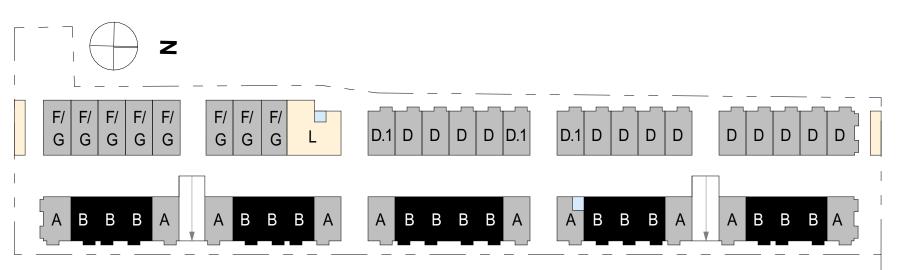
ENLARGED FLOOR PLANS -

DRAWING NO. 25 OF 68



FLOOR PLANS

TYPE B - 4 BR UNITS 16 UNITS TOTAL 1,984 SF RESIDENTIAL NET 2,160 SF RESIDENTIAL GROSS COMMON PARKING 2 PARKING



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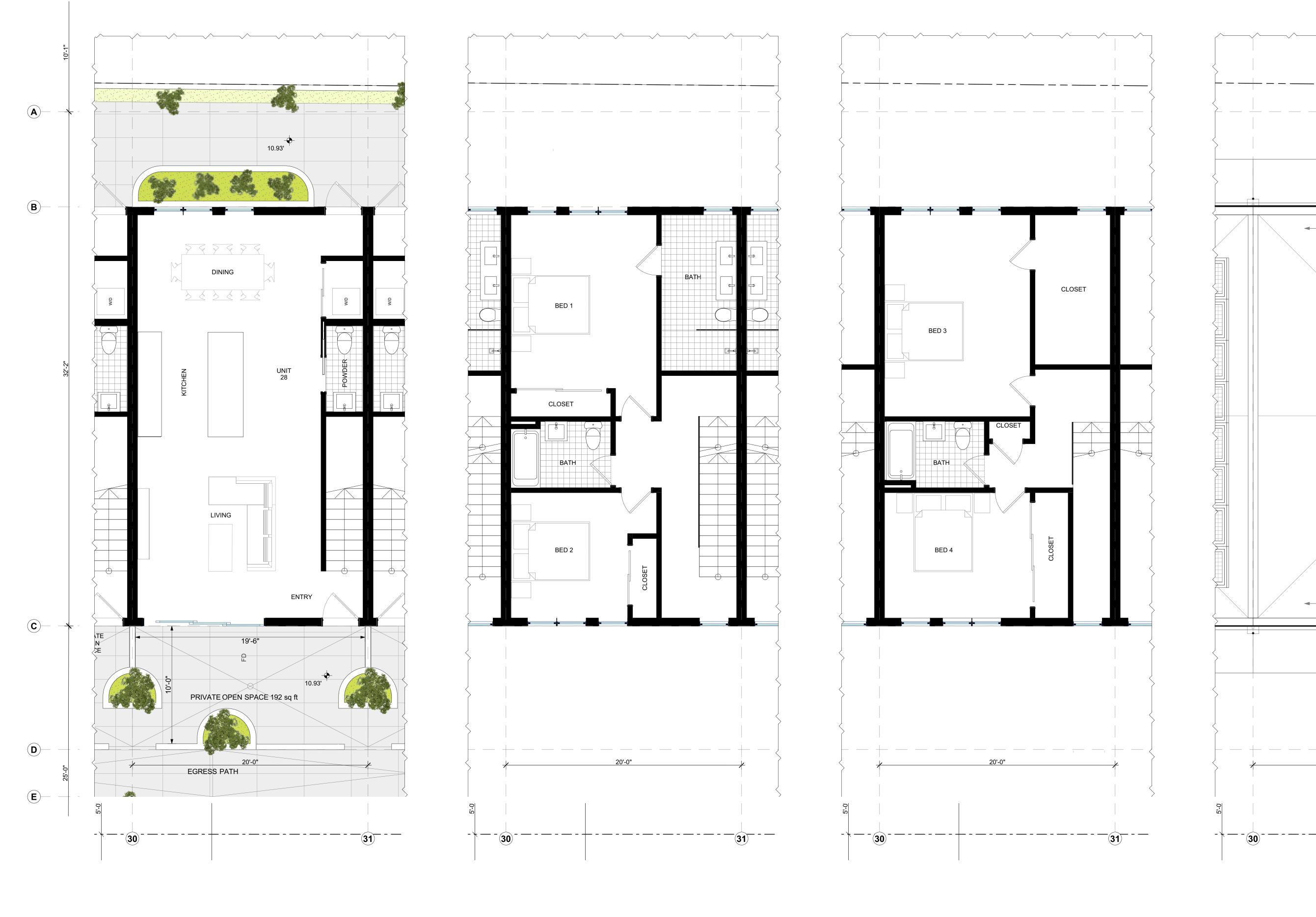
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FLOOR PLANS -TYPE B

DRAWING NO. 26 OF 68





TYPE D - 4 BR UNITS

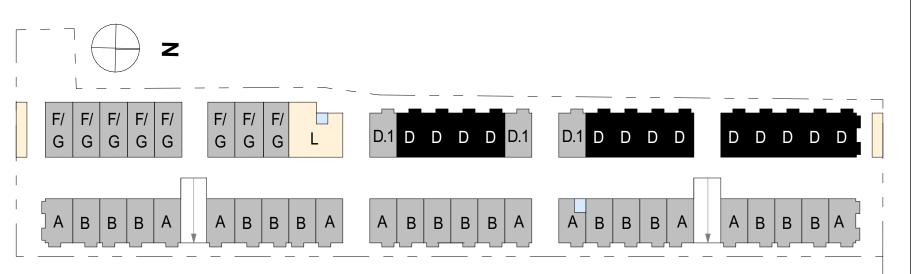
13 UNITS TOTAL

1,968 SF RESIDENTIAL NET

2,136 SF RESIDENTIAL GROSS

COMMON PARKING

2 PARKING



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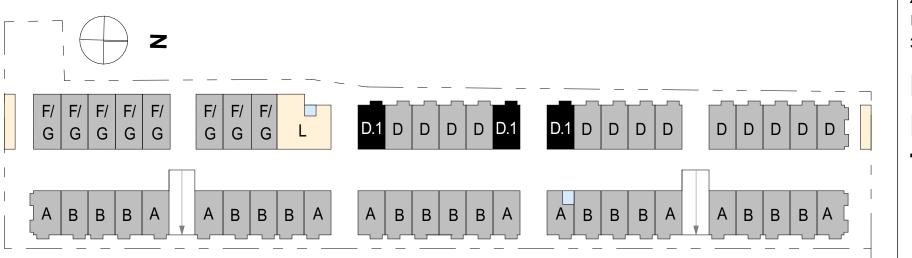
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ENLARGED FLOOR PLANS -TYPE D

DRAWING NO. 27 OF 68



3 UNITS TOTAL 1,912 SF RESIDENTIAL NET 2,128 SF RESIDENTIAL GROSS COMMON PARKING 2 PARKING



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ENLARGED FLOOR PLANS -TYPE D.1

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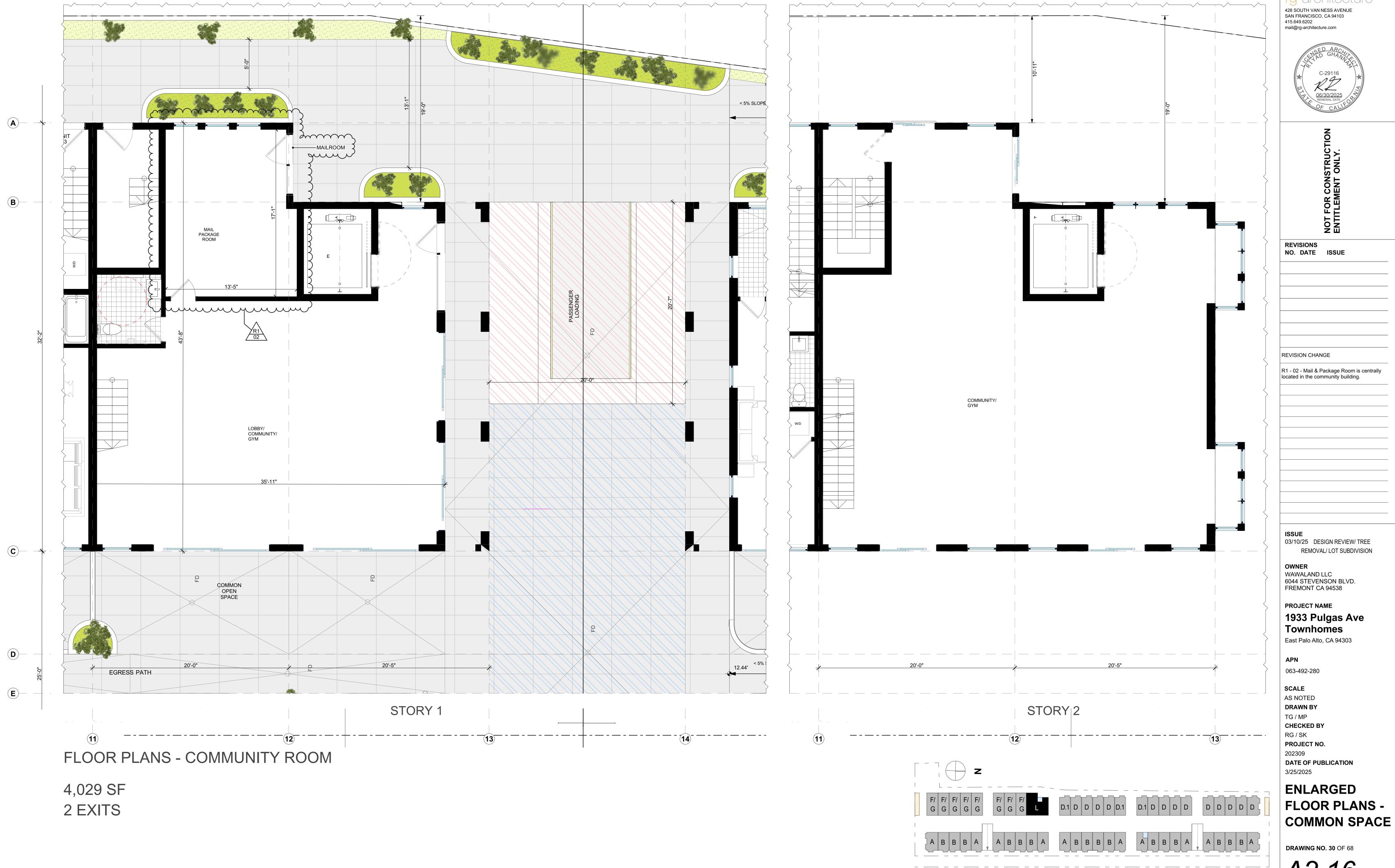
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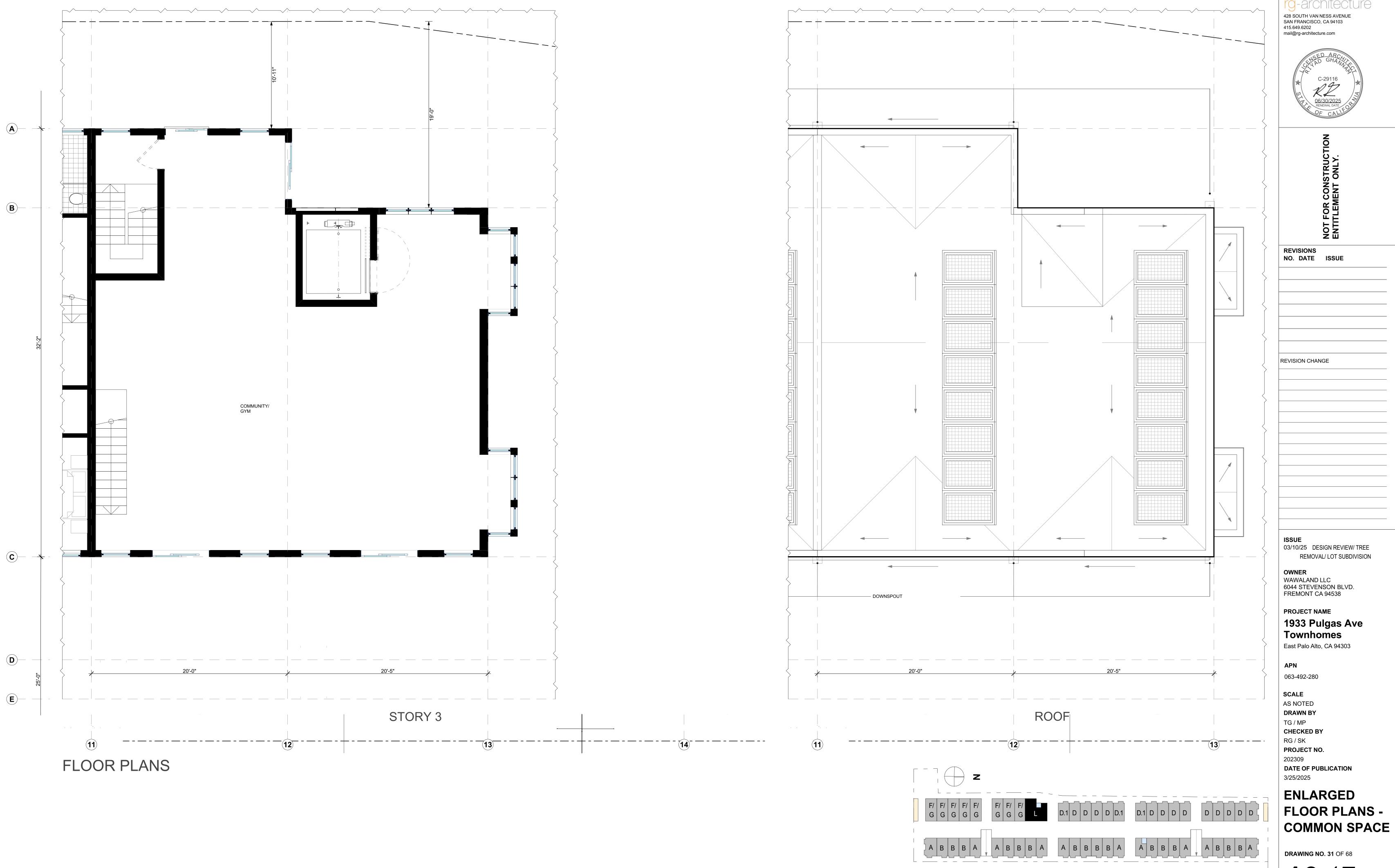
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ENLARGED FLOOR PLANS -TYPE F & G

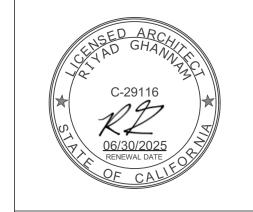
DRAWING NO. 29 OF 68





MATERIALS SEE SHEET A4.04 THERMALLY MODIFIED WOOD

- WHITE ECO STUCCO
- CHARCOAL ECO STUCCO
- ALUMINUM CLAD WINDOWS BITUMINOUS ROOFING SHINGLE ROOF GRAY
- GALVANIZED STEEL GUARDRAIL PAINTED WHITE
- DOWNSPOUT, BLACK
- SOLAR ARRAYS
- EXTERIOR WALL SCONCE
- STEEL PLATE AWNING 11 2"x2" HORIZONTAL REDWOOD PRIVACY FENCE



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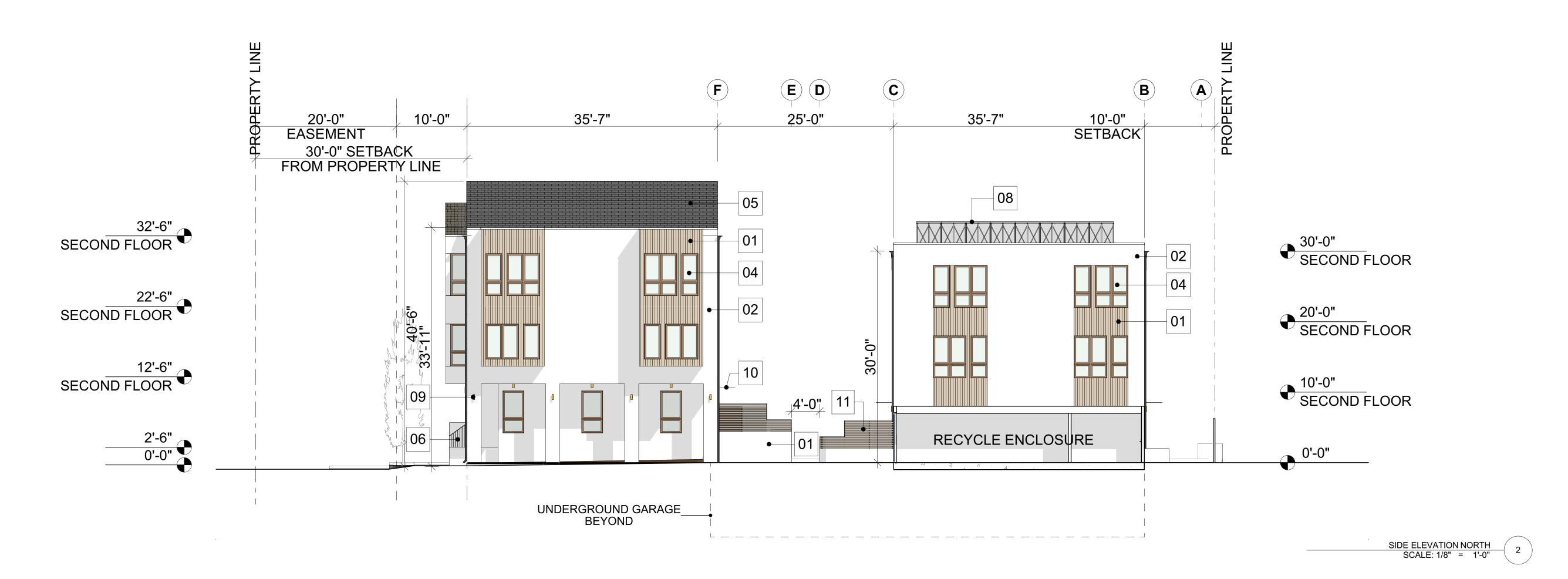
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EAST ELEVATION, **PULGAS AVE**

DRAWING NO. 32 OF 68





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ELEVATION NORTH & SOUTH

DRAWING NO. 33 OF 68

A4.02



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MATERIALS SEE SHEET A4.04

CHARCOAL ECO STUCCO

ALUMINUM CLAD WINDOWS

BITUMINOUS ROOFING SHINGLE ROOF GRAY

WHITE ECO STUCCO

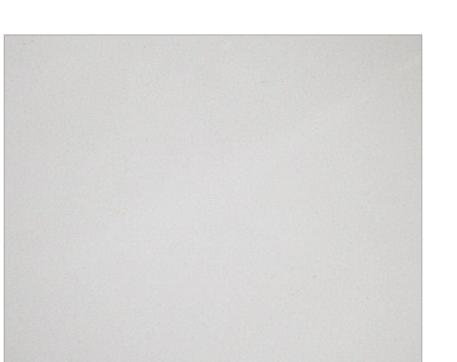
THERMALLY MODIFIED WOOD

A4.03

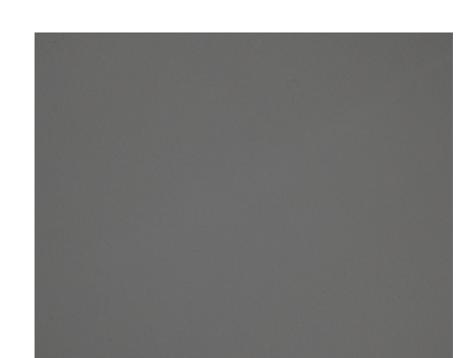




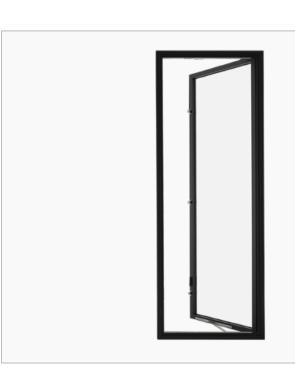
THERMALLY MODIFIED WOOD



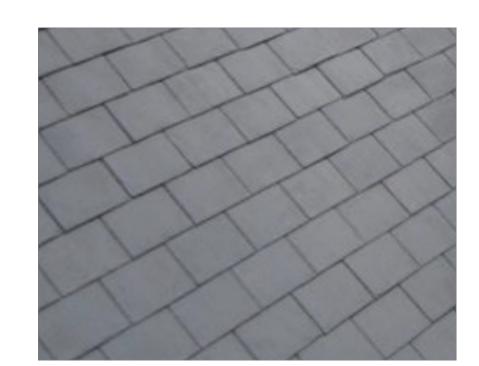
WHITE ECO STUCCO



CHARCOAL ECO STUCCO



ALUMINUM-CLAD WINDOWS



BITUMINOUS ROOFING SHINGLES COOL ROOF GRAY



GALVANIZED STEEL GUARDRAIL PRIMED AND PAINTED WHITE

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MATERIAL BOARD

DRAWING NO. 35 OF 68

A4.04

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SECTION

DRAWING NO. 36 OF 68

SITE SECTION @ BUILDINGS
SCALE: 3/16" = 1'-0"

A5.01

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REVISION CHANGE ISSUE 03/10/25 DESIGN REVIEW/ TREE REMOVAL/LOT SUBDIVISION

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SECTION

DRAWING NO. 37 OF 68

SITE SECTION @ NORTH FIRE ACCESS
SCALE: 3/16" = 1'-0"

A5.02





DRAWING NO. 38 OF 68

SITE SECTION @ RAMP SCALE: 3/16" = 1'-0"



DRAWING NO. 39 OF 68

A5.04

SITE SECTION @ SOUTH FIRE ACCESS
SCALE: 3/16" = 1'-0"



DRAWING NO. 40 OF 68

SITE SECTION @ RAMP SCALE: 3/16" = 1'-0"