

**NOT FOR CONSTRUCTION
ENTITLEMENT ONLY.**

REVISIONS					
NO.	DATE				ISSUE

REVISION CHANGE

ISSUE
03/10/25 DESIGN REVIEW/ TREE
REMOVAL/ LOT SUBDIVISION

OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

PROJECT NAME
1933 Pulgas Ave
Townhomes
East Palo Alto, CA 94303

APN
063-492-280

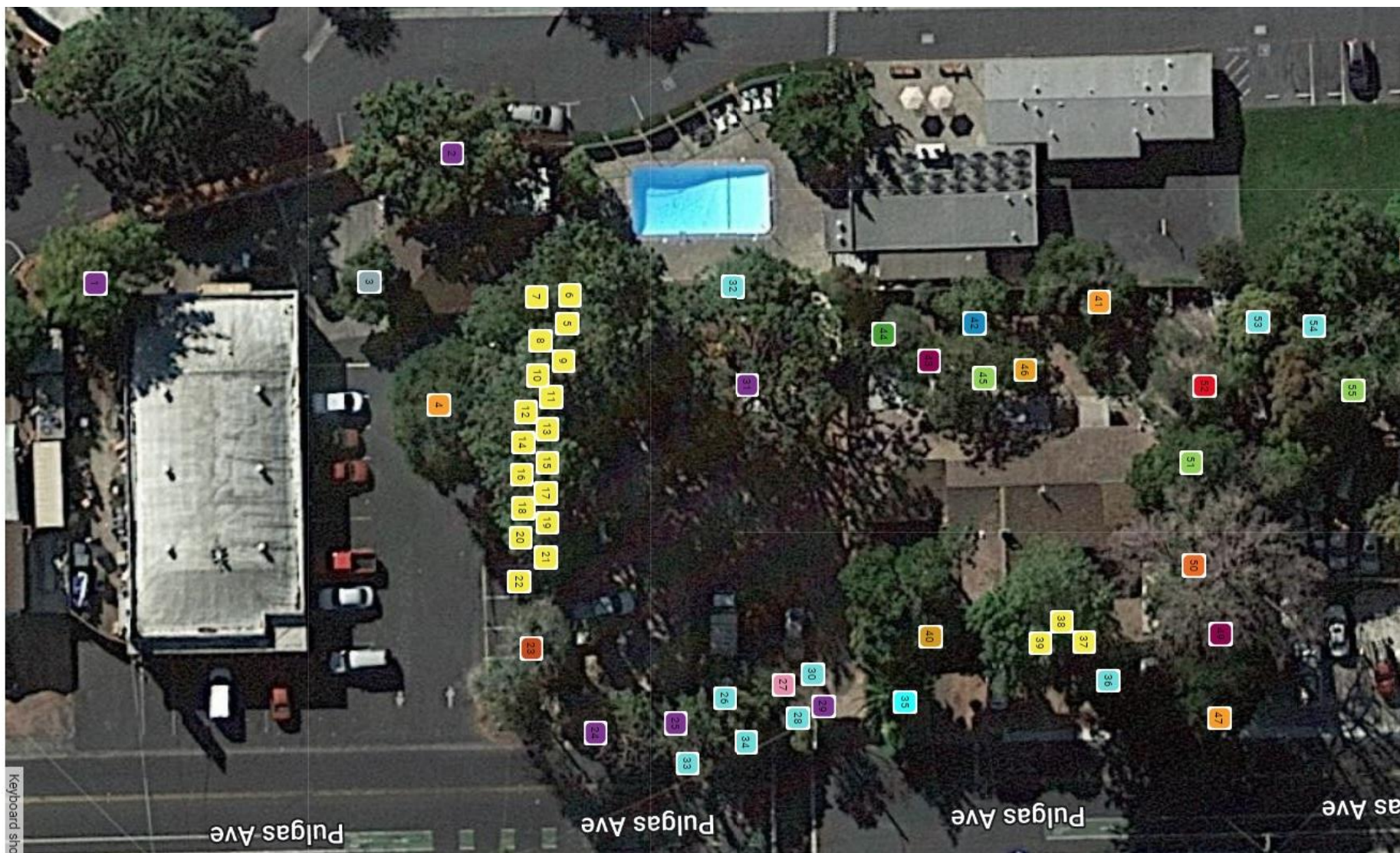
SCALE
AS NOTED
DRAWN BY
TG / MP
CHECKED BY
RG / SK
PROJECT NO.
202309
DATE OF PUBLIC
3/25/2025

RENDERINGS

DRAWING NO. 41 OF 68

A6.01

1933 Pulgas Avenue – Tree Location Map 1



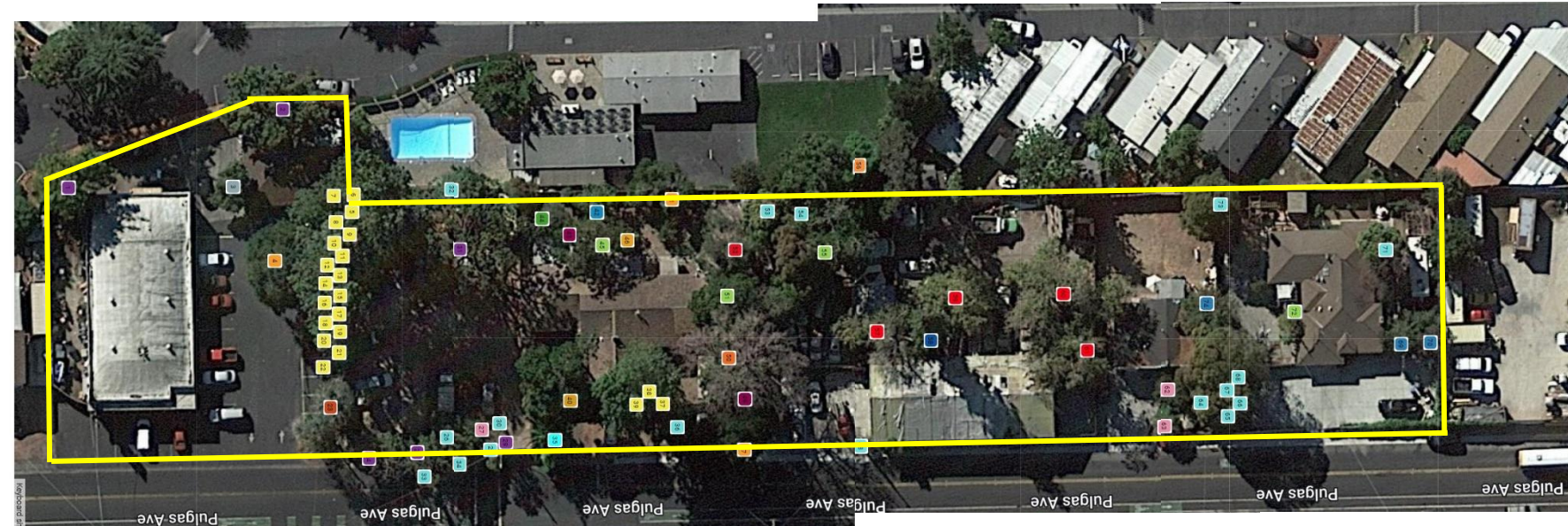
1933 Pulgas Avenue – Tree Location Map 2



NOTE:

TREE LOCATION MAPS AND TREE INVENTORY TABLES ARE
PREPARED BY DUSTIE RUSHING, ISA TRAQ CERTIFIED ARBORIST # WE-10084A

1933 Pulgas Avenue – Tree Location & Proposed Development
Map Comparison



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REVISIONS
NO. DATE ISSUE

1933 Pulgas Avenue, East Palo Alto
Tree Inventory Table

8/12/2022

Tag #	Common Name	Botanical Name	Approx. Height (ft)	Trunk Circumference @ 2' (inches)	Health Rating	Risk Rating	Remove OR Preserve?	Removal Method	Removal Reason	Proposed Replacement	Appraised Replacement "Market" Value/Bond Amount
1	California Black Walnut	Juglans hindsii	45-50	*115	60% - Fair	Low	Preserve	-	-	*List Provided in Arborist Report	\$ 4,440
2	California Black Walnut	Juglans hindsii	45-50	88	60% - Fair	Low	Remove	Development Demo	On Property Line - Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 4,330
3	Avocado Tree	Persea americana spp.	20-25	61	40% - Poor	Low	Remove	Development Demo	-	*List Provided in Arborist Report	\$ 2,540
4	Coast Live Oak	Quercus agrifolia	60-65	97	60% - Fair to 80% - Good	Low	Preserve	-	-	*List Provided in Arborist Report	\$ 7,850
5	Silk Oak	Grevillea robusta	65-70	49	60% Fair to 80% Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,670
6	Silk Oak	Grevillea robusta	4.5	52	20% - Critical	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 1,650
7	Silk Oak	Grevillea robusta	5.5	53	20% - Critical	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 1,650
8	Silk Oak	Grevillea robusta	65	61	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,710
9	Silk Oak	Grevillea robusta	60	58	60% Fair to 80% Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,730
10	Silk Oak	Grevillea robusta	65-70	41	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,720
11	Silk Oak	Grevillea robusta	65-70	66	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,750
12	Silk Oak	Grevillea robusta	65-70	42	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,690
13	Silk Oak	Grevillea robusta	65-70	60	60% Fair to 80% Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,740
14	Silk Oak	Grevillea robusta	65-70	63	40% - Poor to 60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,700

Prepared by: Dustie Rushing, ISA TRAQ Certified Arborist # WE-10084A

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1933 Pulgas Avenue, East Palo Alto
Tree Inventory Table

8/12/2022

Tag #	Common Name	Botanical Name	Approx. Height (ft)	Trunk Circumference @ 2' (inches)	Health Rating	Risk Rating	Remove OR Preserve?	Removal Method	Removal Reason	Proposed Replacement	Appraised Replacement "Market" Value/Bond Amount
15	Silk Oak	Grevillea robusta	65-70	66	60% Fair to 80% Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,750
16	Silk Oak	Grevillea robusta	55-60	19	40% - Poor to 60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,620
17	Silk Oak	Grevillea robusta	60-65	38	40% - Poor to 60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,650
18	Silk Oak	Grevillea robusta	65-70	41	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,690
19	Silk Oak	Grevillea robusta	65-70	50	40% - Poor to 60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,680
20	Silk Oak	Grevillea robusta	65-70	57	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,770
21	Silk Oak	Grevillea robusta	65-70	72	60% Fair to 80% Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,770
22	Silk Oak	Grevillea robusta	65-70	71	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,770
23	American Elm	Ulmus americana	55-60	79	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,660
24	California Black Walnut	Juglans hindsii	40	107	40% - Poor	Moderate	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,770
25	California Black Walnut	Juglans hindsii	40	57	20% - Critical	Moderate	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,620
26	Glossy Privet	Ligustrum lucidum	30	*19	40% - Poor	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,390
27	European Plum	Prunus domestica	20	*28	40% - Poor	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,410
28	Glossy Privet	Ligustrum lucidum	25	19	20% - Critical	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,370

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1933 Pulgas Avenue, East Palo Alto
Tree Inventory Table

8/12/2022

Tag #	Common Name	Botanical Name	Approx. Height (ft)	Trunk Circumference @ 2' (inches)	Health Rating	Risk Rating	Remove OR Preserve?	Removal Method	Removal Reason	Proposed Replacement	Appraised Replacement "Market" Value/Bond Amount
29	California Black Walnut	Juglans hindsii	12	*47	20% - Critical	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,490
30	Glossy Privet	Ligustrum lucidum	12	16	20% - Critical	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,470
31	California Black Walnut	Juglans hindsii	70-80	163	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 6,830
32	Glossy Privet	Ligustrum lucidum	35	*53	80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,100
33	Glossy Privet	Ligustrum lucidum	15	19	40% - Poor	Moderate	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,400
34	Glossy Privet	Ligustrum lucidum	20-25	22	80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,300
35	Canary Island Date Palm	Phoenix canariensis	40	126	90% - Very Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 6,360
36	Glossy Privet	Ligustrum lucidum	25	28	20% - Critical to 40% - Poor	Moderate	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,710
37	Silk Oak	Grevillea robusta	65	55	80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,700
38	Silk Oak	Grevillea robusta	65	79	80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,760
39	Silk Oak	Grevillea robusta	65	72	80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,740
40	Stone Pine	Pinus pinea	60	116	60% - Fair	Moderate	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 8,460
41	Coast Live Oak	Quercus agrifolia	40	41	60% - Fair	Low	Remove	Development Demo	On Property Line - Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 5,420
42	Common Fig	Ficus carica	30	97	20% - Critical to 40% - Poor	High	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,870

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43	Olive Tree	Olea europea	35	101	20% - Critical to 40% - Poor	Moderate	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,880
44	Common Persimmon	Diospyros virginiana	35	28	60% - Fair	Moderate	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,470
45	English Walnut	Juglans regia	40	47	20% - Critical	High	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,610
46	Lemon	Citrus limon	15	*31	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,650
47	Coast Live Oak	Quercus agrifolia	60	85	60% - Fair to 80% - Good	Low	Preserve	-	-	*List Provided in Arborist Report	\$ 7,550
48	Glossy Privet	Ligustrum lucidum	20	*16	40% - Poor	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,430
49	Olive Tree	Olea europea	25-30	-	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,150
50	Monterey Pine	Pinus radiata	70	-	0% - Dead	High	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 5,800
51	English Walnut	Juglans regia	45	-	60% - Fair	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,830
52	Dead Tree	Dead Tree	20	-	0% - Dead	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 1,980
53	Glossy Privet	Ligustrum lucidum	20	-	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,790
54	Glossy Privet	Ligustrum lucidum	20	-	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,790
55	English Walnut	Juglans regia	35	-	40% - Poor	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,690
57	Box Elder	Acer negundo	80	-	40% - Poor	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 5,140

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Tree Inventory Table

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58	Coast Redwood	Sequoia sempervirens	25-30	94	60% - Fair	Low	Preserve if Possible	-	-	*List Provided in Arborist Report	\$ 7,730
59	Box Elder	Acer negundo	25-30	75	40% - Poor	Moderate	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 5,100
60	Box Elder	Acer negundo	40	*173	20% - Critical	High	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 5,150
61	Box Elder	Acer negundo	12	-	40% - Poor	Moderate	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 5,370
62	European Plum	Prunus domestica	12	*41	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,800
63	European Plum	Prunus domestica	8	-	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,590
64	Glossy Privet	Ligustrum lucidum	40	25	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,190
65	Glossy Privet	Ligustrum lucidum	40	104	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,460
66	Glossy Privet	Ligustrum lucidum	40	41	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,250
67	Glossy Privet	Ligustrum lucidum	40	25	20% - Critical	Moderate	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 3,130
68	Glossy Privet	Ligustrum lucidum	40	94	40% - Poor	Moderate	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 3,260
69	European Plum	Prunus domestica	35	38	60% - Fair	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 2,760
70	European Plum	Prunus domestica	35	60	40% - Poor	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,770
71	Glossy Privet	Ligustrum lucidum	35	-	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,230

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1933 Pulgas Avenue, East Palo Alto
Tree Inventory Table

8/12/2022

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72	English Walnut	Juglans regia	15	-	20% - Critical	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,660
73	Glossy Privet	Ligustrum lucidum	60	-	60% - Fair to 80% - Good	Low	Remove	Development Demo	Development - In Building Footprint	*List Provided in Arborist Report	\$ 3,700
74	European Plum	Prunus domestica	15	-	40% - Poor	Low	Remove	Development Demo	Development - Not Suitable for Preservation	*List Provided in Arborist Report	\$ 2,850
Total Appraised "Market" Value: \$ 249,460											

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Page 6 of 6

OWNER
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6044 STEVENSON BLVD.
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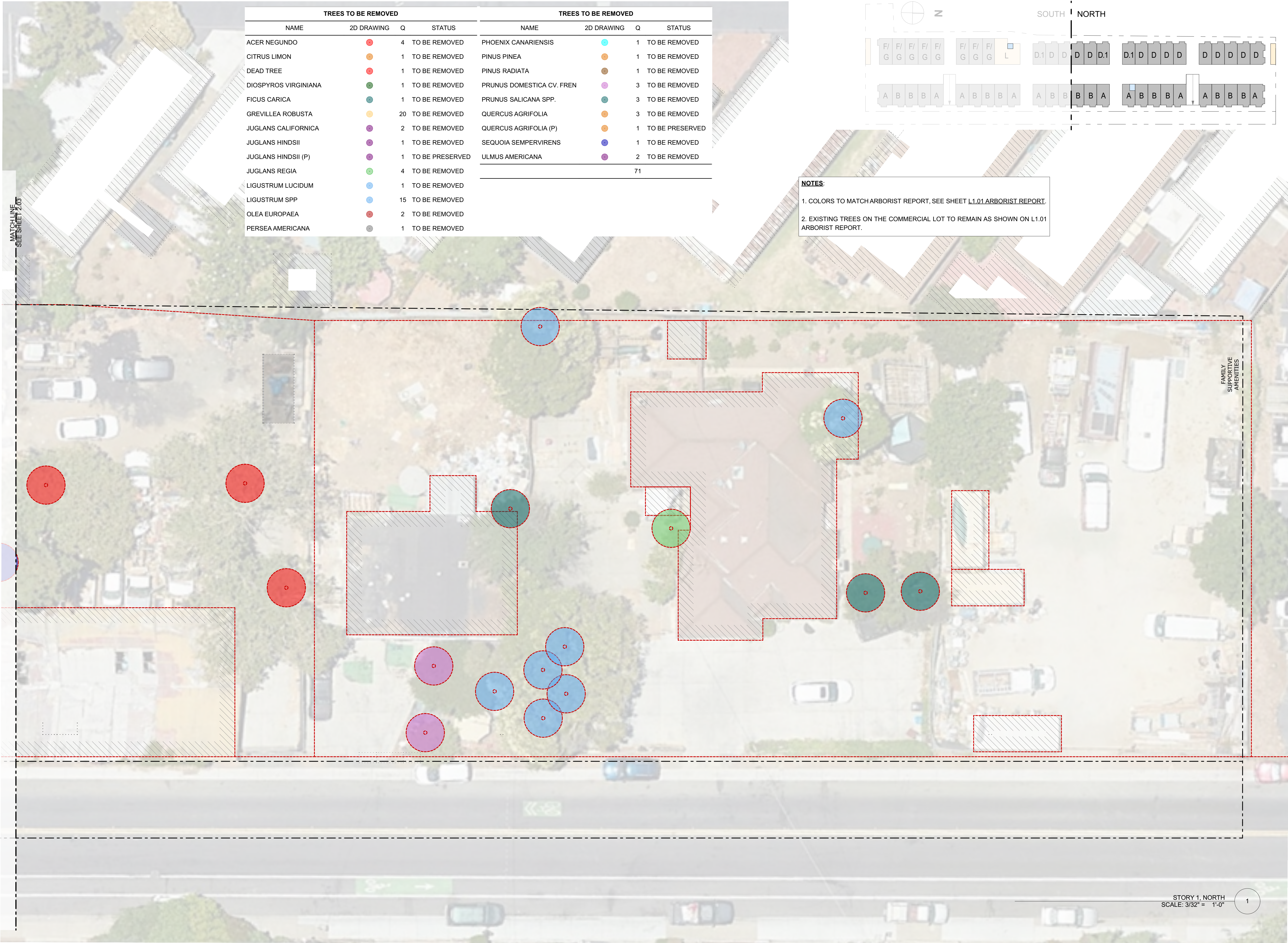
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ARBORIST
REPORTS

DRAWING NO. 42 OF 55

L1.01

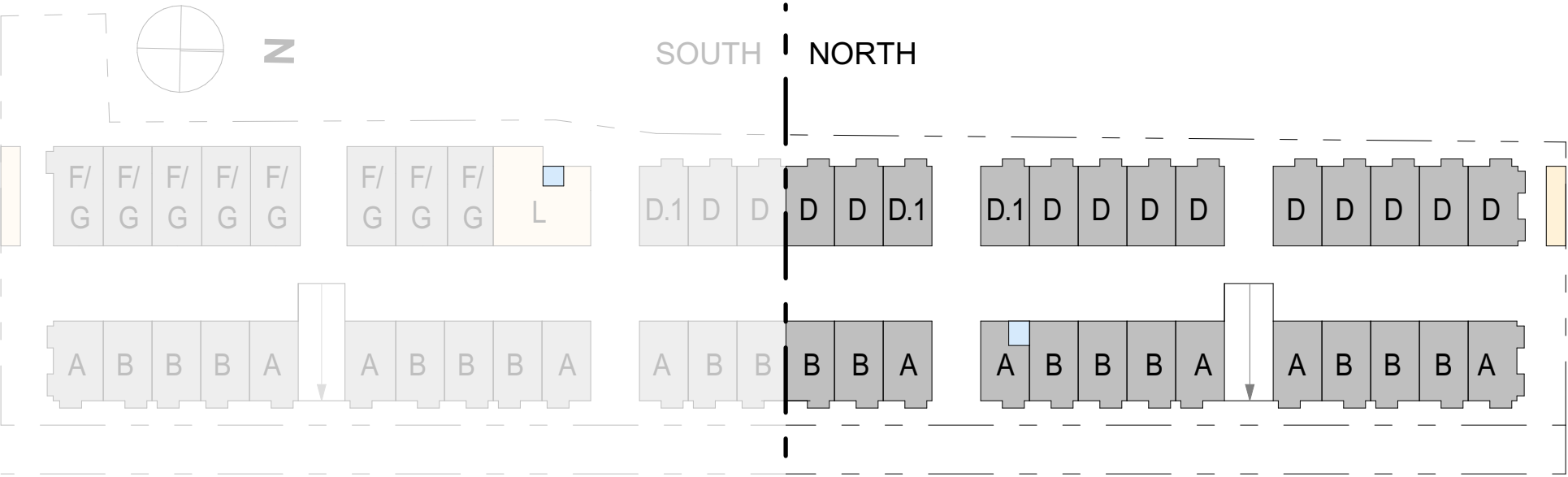


TREES TO BE REMOVED				TREES TO BE REMOVED			
NAME	2D DRAWING	Q	STATUS	NAME	2D DRAWING	Q	STATUS
ACER NEGUNDO	●	4	TO BE REMOVED	PHOENIX CANARIENSIS	●	1	TO BE REMOVED
CITRUS LIMON	●	1	TO BE REMOVED	PINUS PINEA	●	1	TO BE REMOVED
DEAD TREE	●	1	TO BE REMOVED	PINUS RADIATA	●	1	TO BE REMOVED
DIOSPYROS VIRGINIANA	●	1	TO BE REMOVED	PRUNUS DOMESTICA CV. FREN	●	3	TO BE REMOVED
FICUS CARICA	●	1	TO BE REMOVED	PRUNUS SALICANA SPP.	●	3	TO BE REMOVED
GREVILLEA ROBUSTA	●	20	TO BE REMOVED	QUERCUS AGRIFOLIA	●	3	TO BE REMOVED
JUGLANS CALIFORNICA	●	2	TO BE REMOVED	QUERCUS AGRIFOLIA (P)	●	1	TO BE PRESERVED
JUGLANS HINDSII	●	1	TO BE REMOVED	SEQUOIA SEMPERVIRENS	●	1	TO BE REMOVED
JUGLANS HINDSII (P)	●	1	TO BE PRESERVED	ULMUS AMERICANA	●	2	TO BE REMOVED
JUGLANS REGIA	●	4	TO BE REMOVED			71	
LIGUSTRUM LUCIDUM	●	1	TO BE REMOVED				
LIGUSTRUM SPP	●	15	TO BE REMOVED				
OLEA EUROPAEA	●	2	TO BE REMOVED				
PERSEA AMERICANA	●	1	TO BE REMOVED				

NOTES:

1. COLORS TO MATCH ARBORIST REPORT, SEE SHEET L1.01 ARBORIST REPORT.

2. EXISTING TREES ON THE COMMERCIAL LOT TO REMAIN AS SHOWN ON L1.01 ARBORIST REPORT.



rg-architecture
428 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 94103
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**TREE REMOVAL
PLAN NORTH**

DRAWING NO. 44 OF 55

L1.03

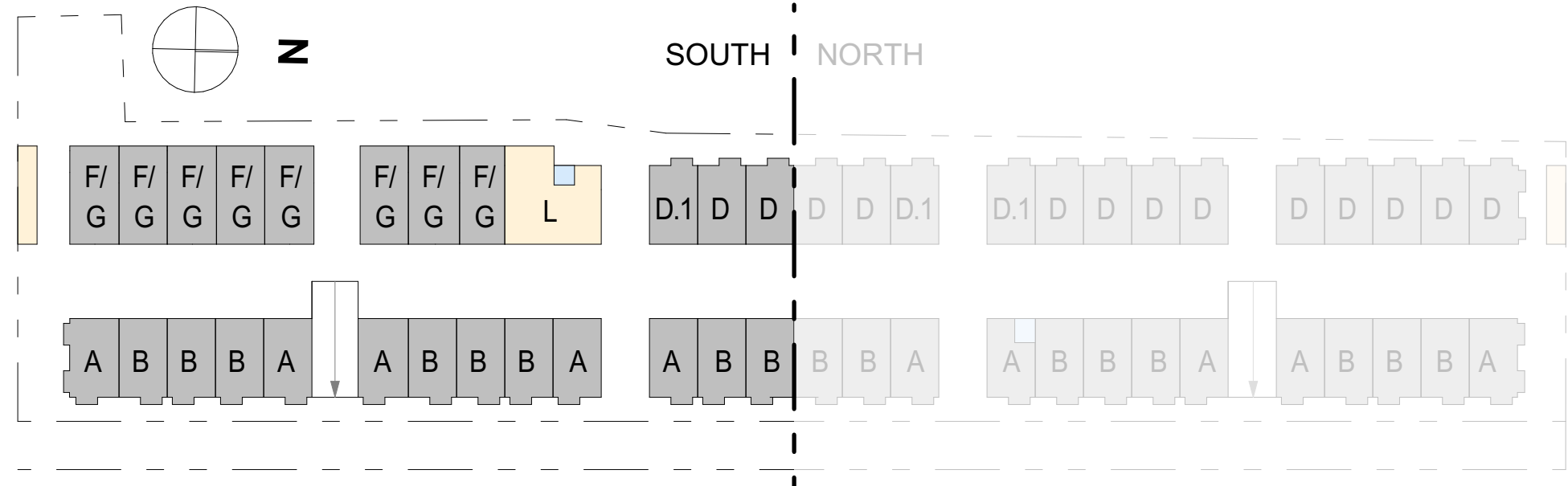
STORY 1, NORTH
SCALE: 3/32" = 1'-0"

1



TREES (PROPOSED)			
NAME	2D DRAWING	Q	NOTES
SMALL TREE 1	SM1	40	
QUERCUS AGRIFOLIA (E)	QA	1	EXISTING (PRESERVE)
PISTACIA CHINENSIS (N)	MT	23	24" BOX
		64	

PLANTING (PROPOSED)			PLANTING (PROPOSED)		
NAME	2D DRAWING	Q	NAME	2D DRAWING	Q
ACHILLEA MILLEFOLIUM	AM	1	MISCANTHUS SINENSIS	MS	1
AGAVE ATTENUATA	AGA	89	NASSELA TENUISSIMA	NT	300
ANIGOZANTHOS	AG	181	NEPETA MISSONI	NM	73
ARTEMISIA POWISCASLE	APW	40	PERSICARIA	PS	1
CAREX BLUE	CB	215	PHORMIUM TENAX	PT	76
CAREX PRAIRIE FIRE	CPF	125	SALVIA NEMOROSA	SN	30
ECHINACEA PURPUREA	EP	1	SALVIA SONOMENES	SS	1
FESTUCA GLAUCA	FG	152	SANTOLINA	ST	86
KNIPHOFIA UVARIA	KU	16	SEDUM SPECTABILE	SB	109
LAVANDA ANGUSTIFOLIA	LA	49	SENECIO SERPENS	SE	102
LEUCADENDRON	LD	23	WESTRINGIA FRUTICOSA	WF	171
LOMANDRA BREEZE	LB	88			1930



rg-architecture

428 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 94103
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LICENCED ARCHITECT
RAYMOND GHANIMIAN
C-29116
06/30/2025
RENEWAL DATE

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LANDSCAPE
PLAN SOUTH

DRAWING NO. 45 OF 55

L1.04
























NOTE:
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE
ORDINANCE (WELO) AND SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE.

SIGNATURE: *Royal Ghannian* DATE: 03.26.2025

NOTE:
SEE CIVIL PLANS (PRELIMINARY SITE GRADING, DRAINAGE, & UTILITY PLANS) FOR
NEW FLOW THROUGH PLANTERS AND SILVACELLS SYSTEM DETAILS.

CODE REQUIREMENTS FOR TREE PLANTING IN PUBLIC RIGHT OF WAY:
RULE* 1 PER 25' = FRONTAGE/ 25' = 643'-10"/ 25' = 26 TREES (24" BOX)
RULE* 15-GALLON TREE = WITH 15' SPACING = FRONTAGE/ 15' = 43 TREES/3 = 15 TREES (24" BOX)
NOTE: DUE TO SITE CONSTRAINTS, A TOTAL OF 24 TREES ARE PROPOSED ALONG THE FRONTAGE.
MEETING THE MAXIMUM FEASIBLE PLANTING DENSITY. ADDITIONAL TREES WILL BE PLANTED ELSEWHERE ON-SITE

STORY 1, SOUTH
SCALE: 3/32" = 1'-0"

PLANTING (PROPOSED)			PLANTING (PROPOSED)		
NAME	2D DRAWING	Q	NAME	2D DRAWING	Q
ACHILLEA MILLEFOLIUM		1	MISCANTHUS SINENSIS		1
AGAVE ATTENUATA		89	NASSELLA TENUISSIMA		300
ANIGOZANTHOS		181	NEPETA MISSONI		73
ARTEMISIA POWISCASTLE		40	PERSICARIA		1
CAREX BLUE		215	PHORMIUM TENAX		76
CAREX PRAIRIE FIRE		125	SALVIA NEMOROSA		30
ECHINACEA PURPUREA		1	SALVIA SONOMENES		1
FESTUCA GLAUCA		152	SANTOLINA		86
KNIPHOFIA UVARIA		16	SEDUM SPECTABILE		109
LAVANDA ANGUSTIFOLIA		49	SENECIO SERPENS		102
LEUCADENDRON		23	WESTRINGIA FRUTICOSA		171
LOMANDRA BREEZE		88			1930



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PROJECT NO.
202309
DATE OF PUBLICATION
3/26/2025

LANDSCAPE PLAN NORTH

DRAWING NO. 46 OF 55

L1.05

NOTE:
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) AND SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE.

SIGNATURE: Kunal Thammam DATE: 03.26.2025

NOTE:
SEE CIVIL PLANS (PRELIMINARY SITE GRADING, DRAINAGE, & UTILITY PLANS) FOR
NEW FLOW THROUGH PLANTERS AND SILVACELLS SYSTEM DETAILS.

CODE REQUIREMENTS FOR TREE PLANTING IN PUBLIC RIGHT OF WAY:

RULE* 1 PER 25'	= FRONTAGE/ 25'	= 643'-10"/ 25'	= 26 TREES (24" BOX)
RULE* 15-GALLON TREE	= WITH 15' SPACING	= FRONTAGE/ 15' = 43 TREES/3	= 15 TREES (24" BOX)

NOTE: DUE TO SITE CONSTRAINTS, A TOTAL OF **24 TREES** ARE PROPOSED ALONG THE FRONTAGE, MEETING THE MAXIMUM FEASIBLE PLANTING DENSITY. ADDITIONAL TREES WILL BE PLANTED ELSEWHERE ON-SITE

STORY 1, NORTH
SCALE: 3/32" = 1'-0"

HEDGING



NEPETA MUSSINII
Catmint



WESTRINGIA FRUTICOSA
Coastal rosemary



CAREX FLACCA
Blue Zinger



LAVANDULAANGUSTIFOLIA
English lavender



NASSELLA TENUISSIMA
Mexican feathergrass



SANTOLINA
Lavender cotton

HOMES ACCENT PLANTING



AGAVE ATTENUATA
Fox tail agave



ANIGOSZANTHOS FLAVIDUS
Kangaroo paws



LEUCADENDRON
Conebush



SENECIO SERPENS
Blue chalksticks



PHORMIUM TENAX
New Zealand Flax



FESTUCA GLAUCA
Blue fescue



ARTEMISIA POWIS CASTLE
Wormwood

YARDS - FLOW THROUGH PLANTERS



CAREX PRAIRIE FIRE
New Zealand Hair Sedge



LOMANDRA BREEZE
Dwarf Mat Rush



SEDUM SPECTABILE
Showy stonecrop



SANTOLINA
Lavender cotton



SALVIA NEMOROSA
Woodland sage



ACER CIRCINATUM
Vine maple

COMMON YARD PLANTING



AGAVE ATTENUATA
Fox tail agave



SEDUM SPECTABILE
Showy stonecrop



NASSELLA TENUISSIMA
Mexican feathergrass

PARKWAY - STREET PLANTING



WESTRINGIA FRUTICOSA
Coastal rosemary



LOMANDRA BREEZE
Dwarf Mat Rush



NASSELLA TENUISSIMA
Mexican feathergrass



CAREX FLACCA
Blue Zinger



CAREX PRAIRIE FIRE
New Zealand Hair Sedge



PISTACIA CHINENSIS
Chinese pistache

PLANT LIST

Botanical Name	Common Name	Water Usage	CA Native
HEDGING - GENERAL PLANTING			
Nepeta Mussinii	Catmint	Medium	N
Westringia Fruticosa	Coastal rosemary	Medium	N
Carex flacca	Blue Zinger	Medium	N
Lavandula angustifolia	English lavender	Low	N
Nassella tenuissima	Mexican feathergrass	Low	N
Santolina chamaecyparissus	Lavender cotton	Medium	N

HOMES ACCENT PLANTING

Agave attenuata	Fox Tail Agave	Low	N
Anigozanthus flavidus	Kangaroo paws	Low	N
Leucadendron Safari sunset	Conebush	Low	N
Senecio serpens	Blue chalksticks	Low	N
Phormium tenax	New Zealand flax	Medium	N
Festuca glauca	Blue fescue	Medium	N
Artemisia Powis Castle	Wormwood	Low	N

YARD - FLOW TRROUGH PLANTERS

Carex testacea Prairie Fire	New Zealand Hair Sedge	Medium	N
Lomandra longifolia Breeze	Dwarf Mat Rush	Medium	N
Sedum spectabile	Showy stonecrop	Low	N
Santolina chamaecyparissus	Lavender cotton	Medium	N
Salvia nemorosa	Woodland sage	Low	N
Acer circinatum	Vine maple	Medium	Y

INTERIOR YARD PLANTING

Agave attenuata	Fox Tail Agave	Low	N
Sedum spectabile	Showy stonecrop	Low	N
Nassella tenuissima	Mexican feathergrass	Low	N

PARKWAY - STREET PLANTING

Westringia Fruticosa	Coastal rosemary	Medium	N
Lomandra longifolia Breeze	Dwarf Mat Rush	Medium	N
Nassella tenuissima	Mexican feathergrass	Low	N
Carex flacca	Blue Zinger	Medium	N
Carex testacea Prairie Fire	New Zealand Hair Sedge	Medium	N
Pistacia chinensis	Chinese pistache	Low	N



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REMOVAL/ LOT SUBDIVISION

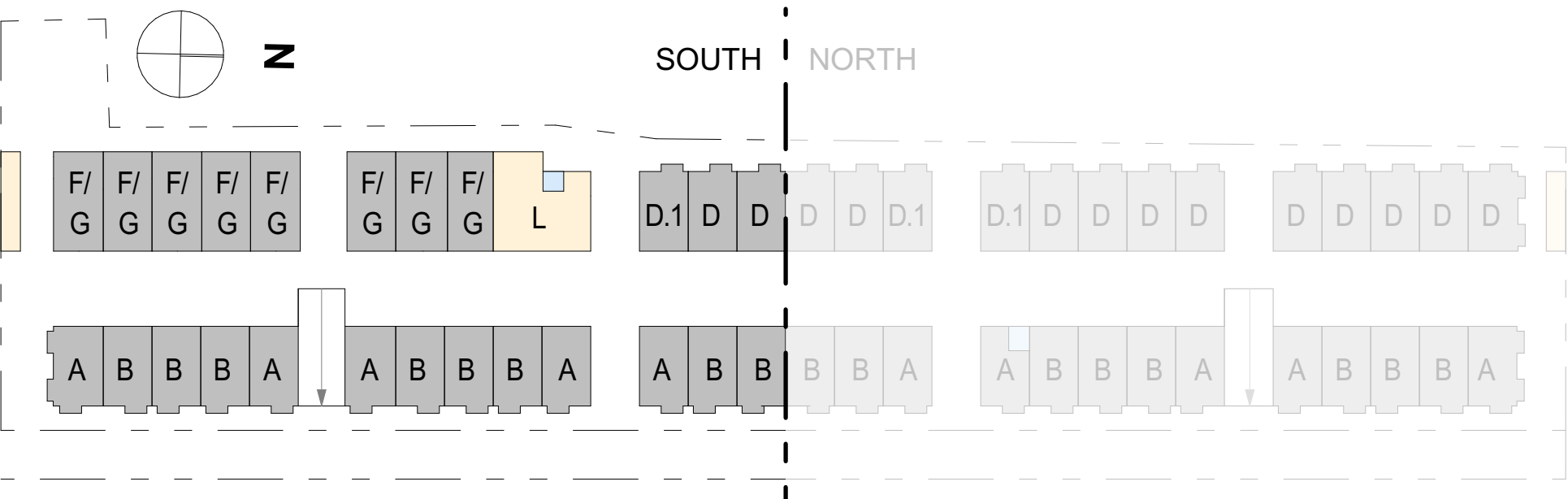
OWNER
WAWALAND LLC
6044 STEVENSON BLVD.
FREMONT CA 94538

PROJECT NAME
1933 Pulgas Ave
Townhomes
East Palo Alto, CA 94303

APN
063-492-280

SCALE
AS NOTED
DRAWN BY
TG / MP
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PLANTING
PALLETTE



IRRIGATION LEGEND:

- 2" WATER METER, IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SYSTEM REQUIREMENTS AT SITE BEFORE
- MANUAL DRAIN VALVE
- SOLENOID REMOTE CONTROL VALVE
- QUICK COUPLING VALVE
- LAWN SIDE STRIP SPRAY SPRINKLER
- HI-POP SHRUB SIDE STRIP SPRAY SPRINKLER
- POP-UP TREE BUBBLER
- MAINLINE PIPE, 3" SIZE IF NOT NOTED
- LATERAL LINE PIPE



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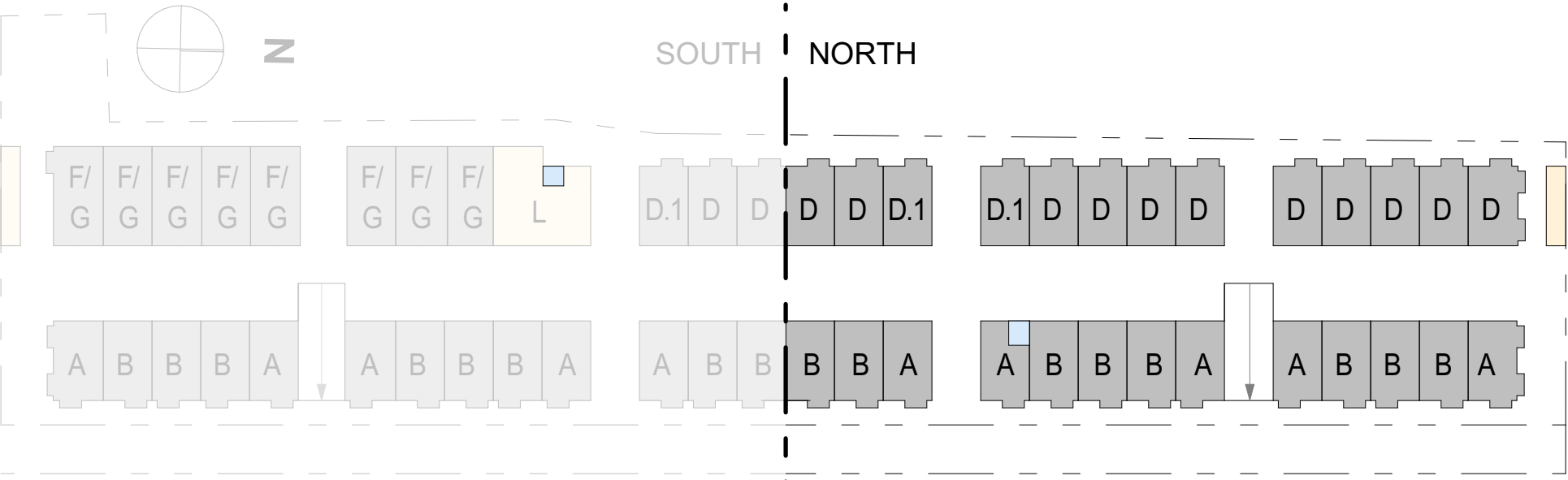
**IRRIGATION
PLAN SOUTH**

DRAWING NO. 48 OF 55

L1.07

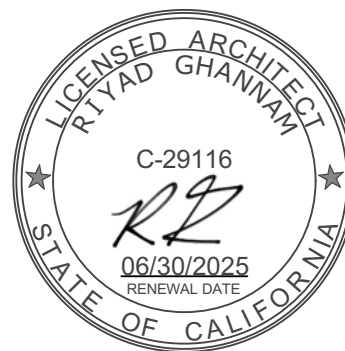
STORY 1, SOUTH
SCALE: 3/32" = 1'-0"

1



- IRRIGATION LEGEND:**
- 2" WATER METER. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SYSTEM REQUIREMENTS AT SITE BEFORE
 - MANUAL DRAIN VALVE
 - SOLENOID REMOTE CONTROL VALVE
 - QUICK COUPLING VALVE
 - LAWN SIDE STRIP SPRAY SPRINKLER
 - HI-POP SHRUB SIDE STRIP SPRAY SPRINKLER
 - POP-UP TREE BUBBLER
 - MAINLINE PIPE, 3" SIZE IF NOT NOTED
 - LATERAL LINE PIPE

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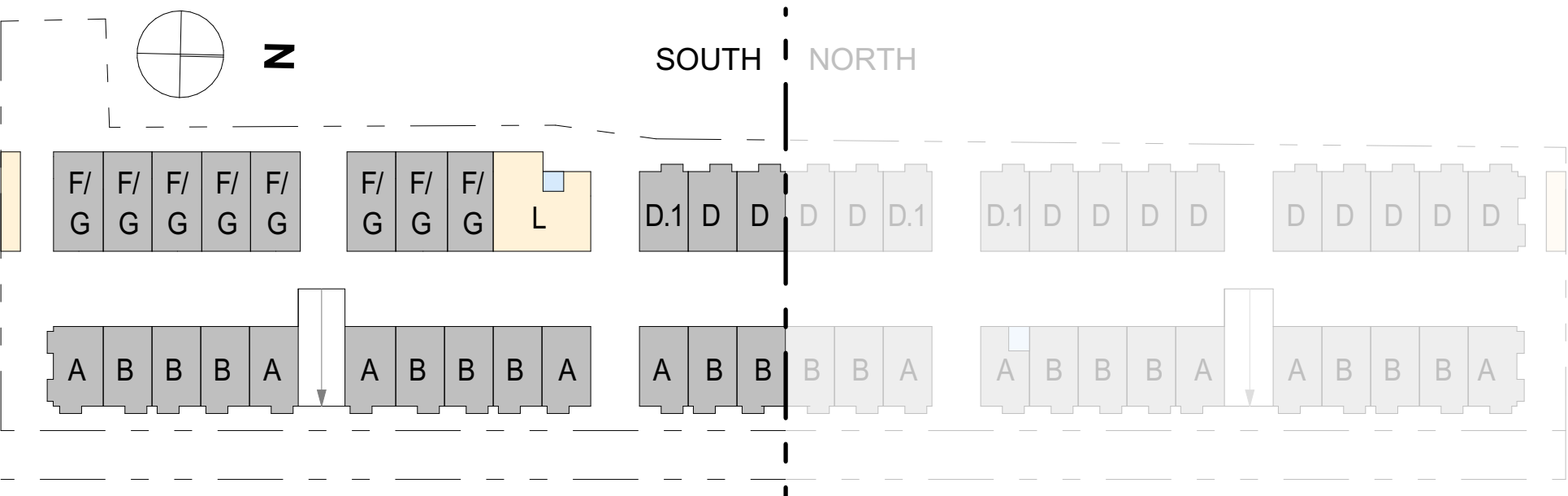
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**IRRIGATION
PLAN NORTH**

DRAWING NO. 49 OF 55

L1.08

STORY 1, NORTH
SCALE: 3/32" = 1'-0"

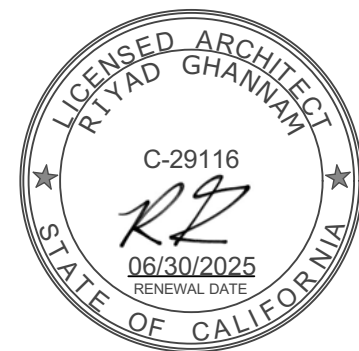


SLEEVING LEGEND

A 8" CLASS 200 PVC SLEEVE

B 6" CLASS 200 PVC SLEEVE

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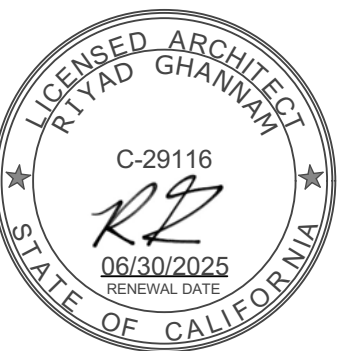
**IRRIGATION
SLEEVING PLAN
SOUTH**

DRAWING NO. 50 OF 55

L1.09

STORY 1, SOUTH
SCALE: 3/32" = 1'-0"

01



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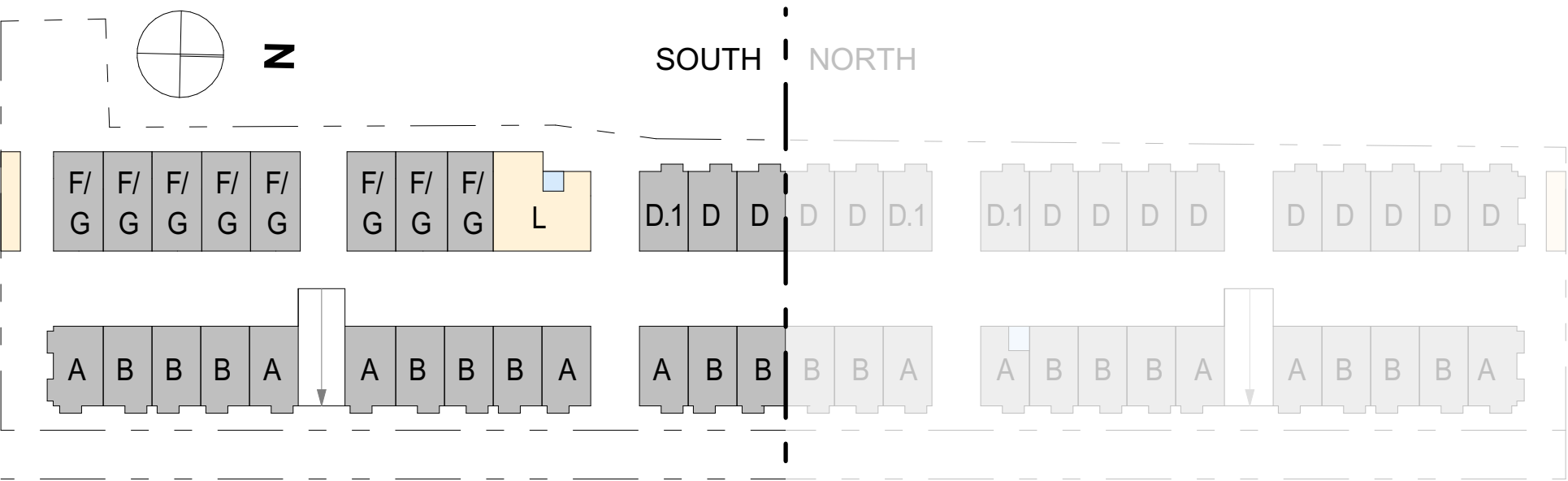
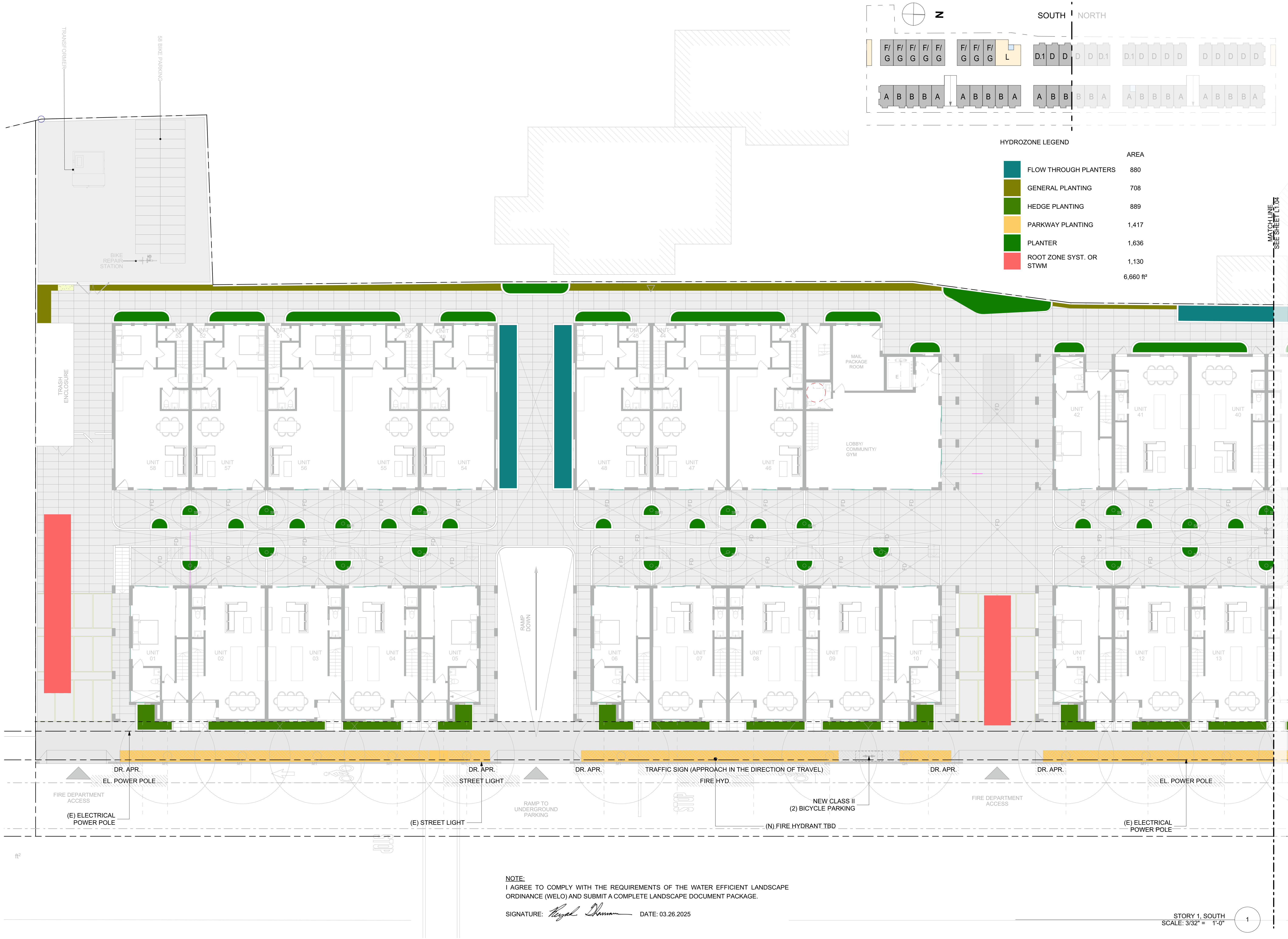
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IRRIGATION SLEEVING PLAN NORTH

DRAWING NO. 51 OF 55

L1.10





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**HYDROZONE
PLAN SOUTH**

DRAWING NO. 52 OF 55

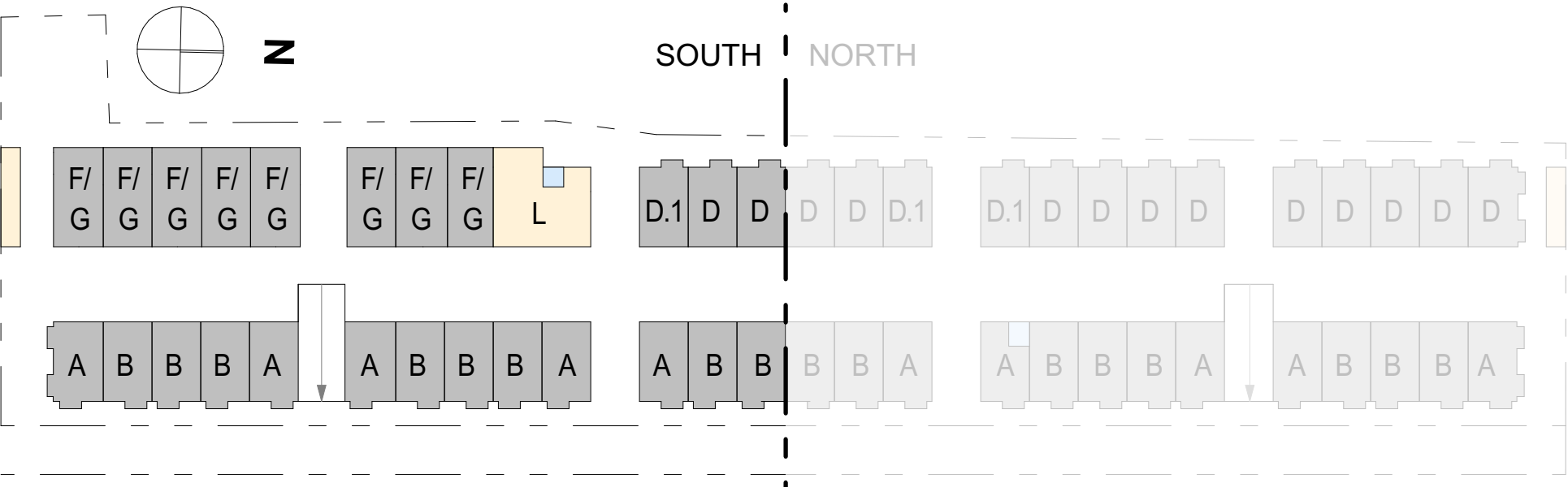
L1.11






NOTE:
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE
ORDINANCE (WELO) AND SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE.

SIGNATURE: *Ryan Ghanman* DATE: 03.26.2025

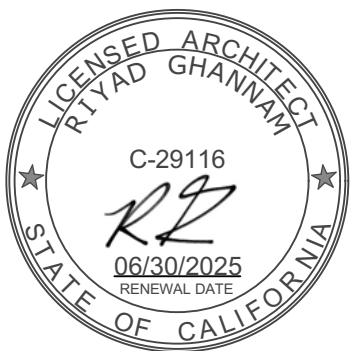
STORY 1, SOUTH
SCALE: 3/32" = 1'-0"

1



LIGHTING LEGEND						
SYMBOL	Q	ID	DESCRIPTION	TYPE	USE	
	48	LT1	LIGHTING TYPE 1	OVER ENTRY DOORS	ENTRY LIGHTING	
	19	LT2	LIGHTING TYPE 2	4 FT LAMP POST	PATHWAY LIGHTING	
	343	LT3	LIGHTING TYPE 3	RECESSED WALLS - STAIR LIGHTS	PATHWAY LIGHTING	
	104	LT4	LIGHTING TYPE 4	IN-GROUND UP-LIGHTS (LED)	LANDSCAPE LIGHTING	
	51	LT5	LIGHTING TYPE 5	RECESSED WALLS AT UNITS	PATIO LIGHTING	

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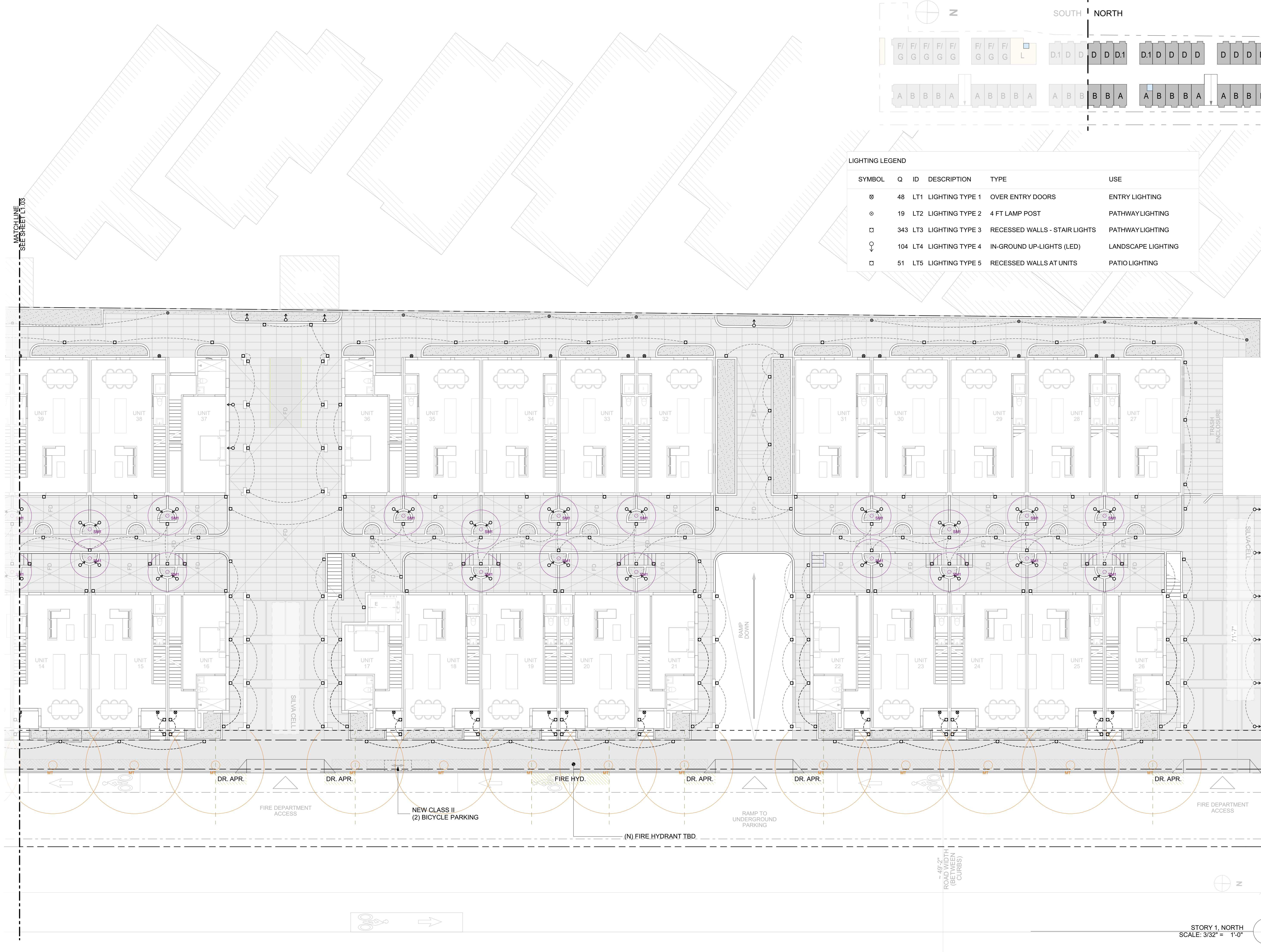
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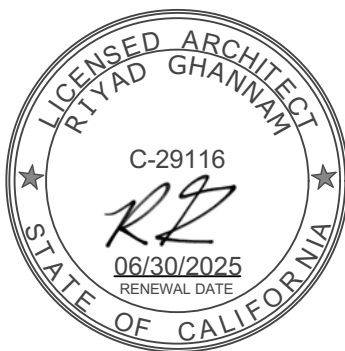
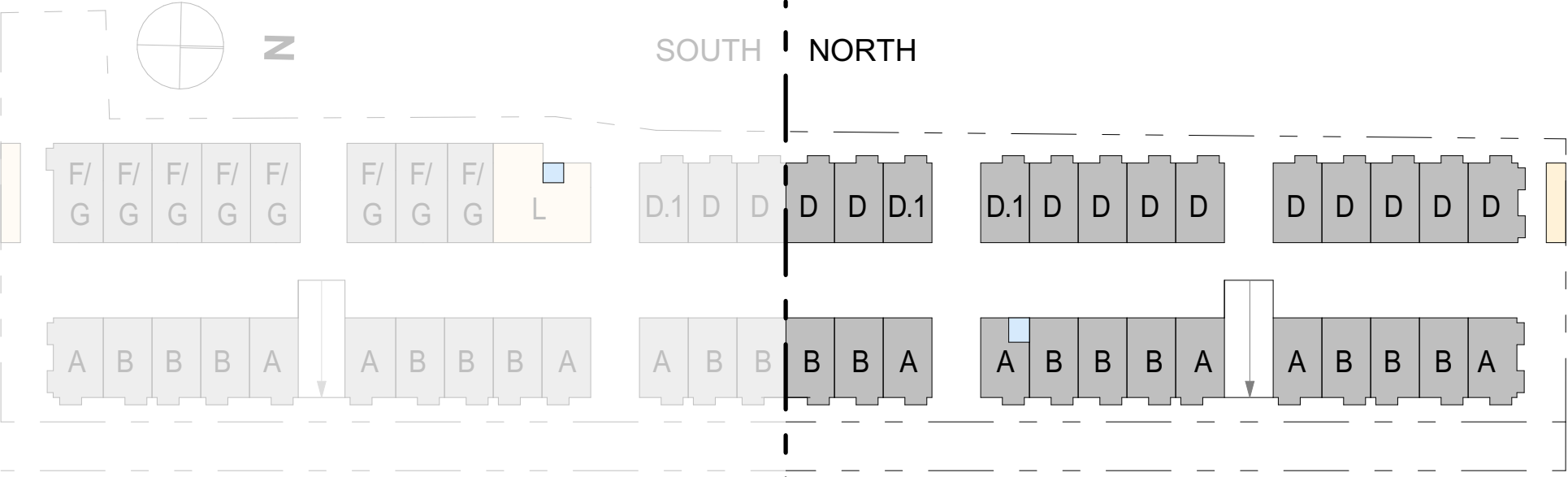
SITE LIGHTING SOUTH

DRAWING NO. 54 OF 55

L1.13



LIGHTING LEGEND					
SYMBOL	Q	ID	DESCRIPTION	TYPE	USE
	48	LT1	LIGHTING TYPE 1	OVER ENTRY DOORS	ENTRY LIGHTING
	19	LT2	LIGHTING TYPE 2	4 FT LAMP POST	PATHWAY LIGHTING
	343	LT3	LIGHTING TYPE 3	RECESSED WALLS - STAIR LIGHTS	PATHWAY LIGHTING
	104	LT4	LIGHTING TYPE 4	IN-GROUND UP-LIGHTS (LED)	LANDSCAPE LIGHTING
	51	LT5	LIGHTING TYPE 5	RECESSED WALLS AT UNITS	PATIO LIGHTING



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**SITE LIGHTING
NORTH**

DRAWING NO. 55 OF 55

L1.14

STORY 1, NORTH
SCALE: 3/32" = 1'-0"

1

LEGEND

EXISTING

PROPOSED

BOUNDARY

PROPERTY LINE

RETAINING WALL

LANDSCAPE RETAINING WALL

RAINWATER TIGHTLINE

SUBDRAIN LINE

TIGHTLINE

STORM DRAIN LINE

SANITARY SEWER LINE

WATER LINE

GAS LINE

STORM DRAIN PRESSURE LINE

SANITARY SEWER PRESSURE LINE

JOINT TRENCH

SET BACK LINE

CONCRETE VALLEY GUTTER

EARTHEN SWALE

CATCH BASIN

JUNCTION BOX

AREA DRAIN

CURB INLET

STORM DRAIN MANHOLE

FIRE HYDRANT

SANITARY SEWER MANHOLE

STREET SIGN

SPOT ELEVATION

FLOW DIRECTION

DEMOLISH/REMOVE

BENCHMARK

CONTOURS

TREE TO BE REMOVED

TREE PROTECTION FENCING

CB

JB

AD

SDMH

SSMH

222.57 INV

200

XX" TREE

TP

DESCRIPTION

BOUNDARY

PROPERTY LINE

RETAINING WALL

LANDSCAPE RETAINING WALL

RAINWATER TIGHTLINE

SUBDRAIN LINE

TIGHTLINE

STORM DRAIN LINE

SANITARY SEWER LINE

WATER LINE

GAS LINE

STORM DRAIN PRESSURE LINE

SANITARY SEWER PRESSURE LINE

JOINT TRENCH

SET BACK LINE

CONCRETE VALLEY GUTTER

EARTHEN SWALE

CATCH BASIN

JUNCTION BOX

AREA DRAIN

CURB INLET

STORM DRAIN MANHOLE

FIRE HYDRANT

SANITARY SEWER MANHOLE

STREET SIGN

SPOT ELEVATION

FLOW DIRECTION

DEMOLISH/REMOVE

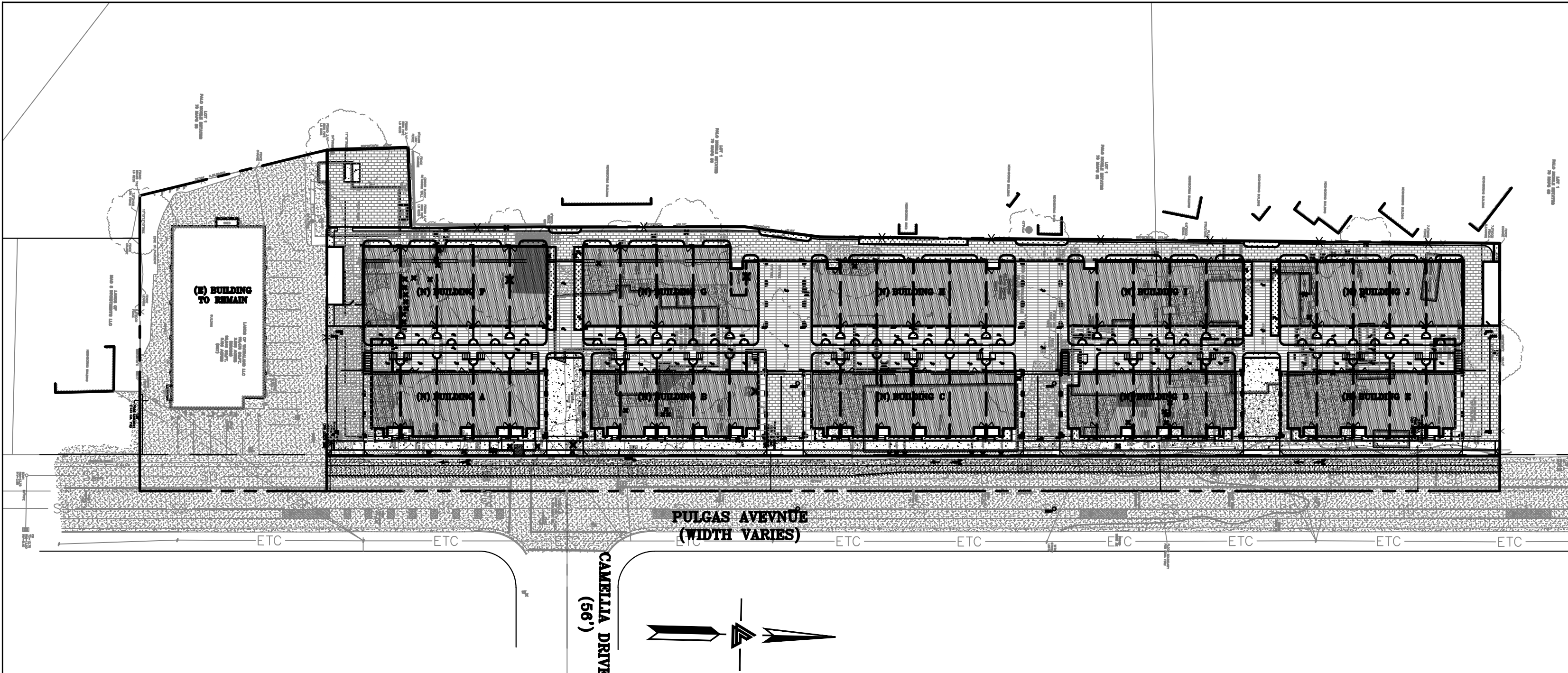
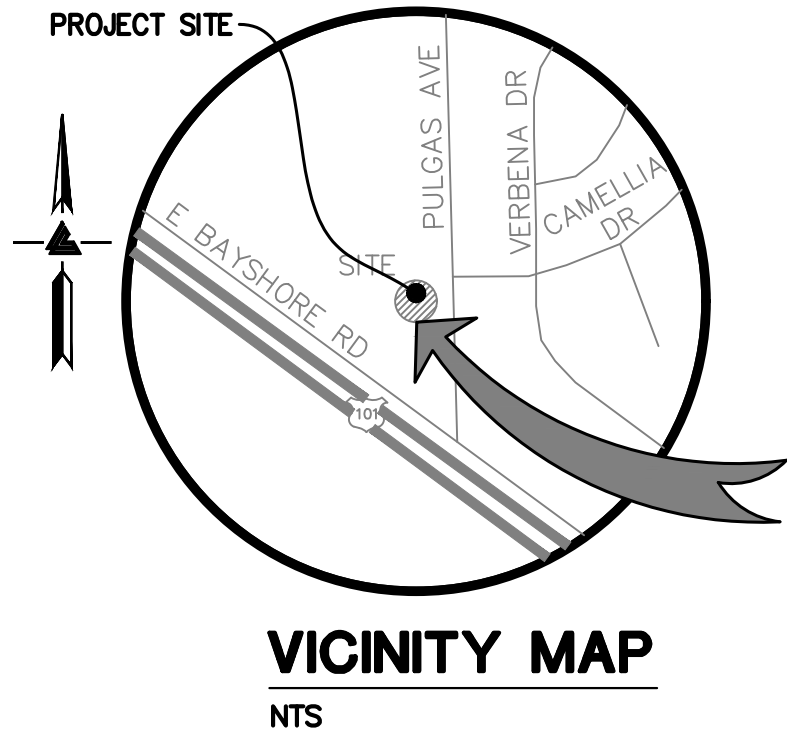
BENCHMARK

CONTOURS

TREE TO BE REMOVED

TREE PROTECTION FENCING

PRELIMINARY SITE GRADING, DRAINAGE, & UTILITY PLANS 1933 PULGAS AVENUE EAST PALO ALTO, CALIFORNIA



OWNER'S INFORMATION

OWNER: WAWALAND LLC
6044 STEVENSON BOULEVARD
FREMONT, CA 94538

APN: 063-492-280

REFERENCES

- THIS TENTATIVE MAP IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 1933 PULGAS AVENUE EAST PALO ALTO, CA DATED: 6-6-23 JOB#2230335
 - SITE PLAN BY RG ARCHITECTURE ENTITLED: "1933 PULGAS AVENUE" EAST PALO ALTO, CA DATED: 12-06-24
 - SOIL REPORT BY ROMIG ENGINEERS ENTITLED: "GEOTECHNICAL INVESTIGATION" 1933 PULGAS AVENUE EAST PALO ALTO, CA JOB# 6290-1 DATE: 08-15-23

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

UTILITIES/SERVICES

SEWER
WATER
FIRE
STORM DRAIN
GAS
ELECTRIC

EAST PALO ALTO SANITARY DISTRICT
CITY OF EAST PALO ALTO MUNICIPAL WATER DISTRICT
MENLO PARK FIRE PROTECTION DISTRICT
COUNTY OF SAN MATEO
PACIFIC GAS AND
ELECTRIC (PG&E)
PACIFIC GAS AND
ELECTRIC (PG&E)

FEMA FLOOD NOTE

PORTIONS OF SURVEYED PROPERTY LIE WITHIN FLOOD ZONES: AE, X(SHADED) AND X

ZONE: AE
100-YEAR BASE FLOOD ELEVATION (BFE): 10.3' (NAVD88 DATUM)
PER FLOOD INSURANCE STUDY TABLE 11, SUMMARY OF NON-COASTAL STILLWATER ELEVATIONS
FEMA FLOOD INSURANCE STUDY (FIS) FOR SAN MATEO COUNTY, CA NO.: 06081CV001D
REVISED: APRIL 5, 2019 (SEE SHEETS SU4 & SU5)

ZONE: X(SHADED)
AREAS OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR (1% ANNUAL CHANCE) AND 500-YEAR FLOODS (0.2% ANNUAL CHANCE) AND OUTSIDE THE SPECIAL FLOOD HAZARD AREA (SFHA)

ZONE: X
PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0309F
EFFECTIVE DATE: APRIL 5, 2019

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

BENCHMARK

CITY OF EAST PALO ALTO BENCHMARK
CITY BM 1

DRIVEN STAINLESS STEEL ROD IN SLEEVE MONUMENT IN GRADE BOX (MARKED SURVEY MONUMENT EPA BM) IN THE LAWN IN UNIVERSITY SQUARE PARK AT TATE AND OAKES STREETS IN THE CITY OF EAST PALO ALTO LOCATED AT THE EAST SIDE OF THE CONCRETE PATH
ELEVATION = 13.17' (NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 12.35' (NAVD 88 DATUM)

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

THE GROSS AREA OF THE SURVEYED LOT IS 110,476± SQUARE FEET / 2.536± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, TITLE NO. FWTO-3762200717-JJ, DATED OCTOBER 11, 2022.
PG&E EASEMENT PER DOCUMENT (252 DEEDS 486) - THE EXACT LOCATION OF THIS EASEMENT IS NOT DISCLOSED OF RECORD.

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
C	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EQ	EDGE OF PAVEMENT	SAN	SANITARY
EW	EQUIPMENT	SD	STORM DRAIN
(E)	EACH WAY	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SH	SHEET
FF	FINISHED FLOOR	S.L.D.	SEE LANDSCAPE DRAWINGS
FG	FINISHED GRADE	SPEC	SPECIFICATION
FL	FIRE HYDRANT	SS	SANITARY SEWER
FS	FINISHED SURFACE	SSCO	SANITARY SEWER CLEANOUT
GA	GAGE OR GAUGE	SSMH	SANITARY SEWER MANHOLE
GB	GRADE BREAK	ST	STREET
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STA	STATION
HORIZ	HORIZONTAL	STD	STANDARD
HI PT	HIGH POINT	STR	STRUCTURAL
H&T	HUB & TACK	T	TELEPHONE
ID	INSIDE DIAMETER	TC	TOP OF CURB
INV	INVERT ELEVATION	TOW	TOP OF WALL
JB	JUNCTION BOX	TEMP	TEMPORARY
JT	JOINT TRENCH	TP	TOP OF PAVEMENT
JP	JOINT UTILITY POLE	TW/FG	TOP OF WALL/FINISH GRADE
L	LENGTH	TP	TYPICAL
LNDG	LANDING	VC	VERTICAL CURVE
		VCP	VITRIFIED CLAY PIPE
		VERT	VERTICAL
		W/	WITH
		W/ WL	WATER LINE
		WM	WATER METER
		WWF	WELED WIRE FABRIC



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CIVIL ENGINEERS • LAND SURVEYORS
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SAN JOSE OFFICE: 1000 CALIFORNIA AVENUE, SAN JOSE, CA 95128
(510) 887-4066
WWW.LEABRAZE.COM

1933 PULGAS AVENUE
EAST PALO ALTO,
CALIFORNIA

TITLE SHEET
& KEY MAP

REVISIONS	BY
DATE:	1-03-25
SCALE:	AS NOTED
DESIGN BY:	AV
CHECKED BY:	JC
SHEET NO:	

JOB NO: 2240115

DATE: 1-03-25

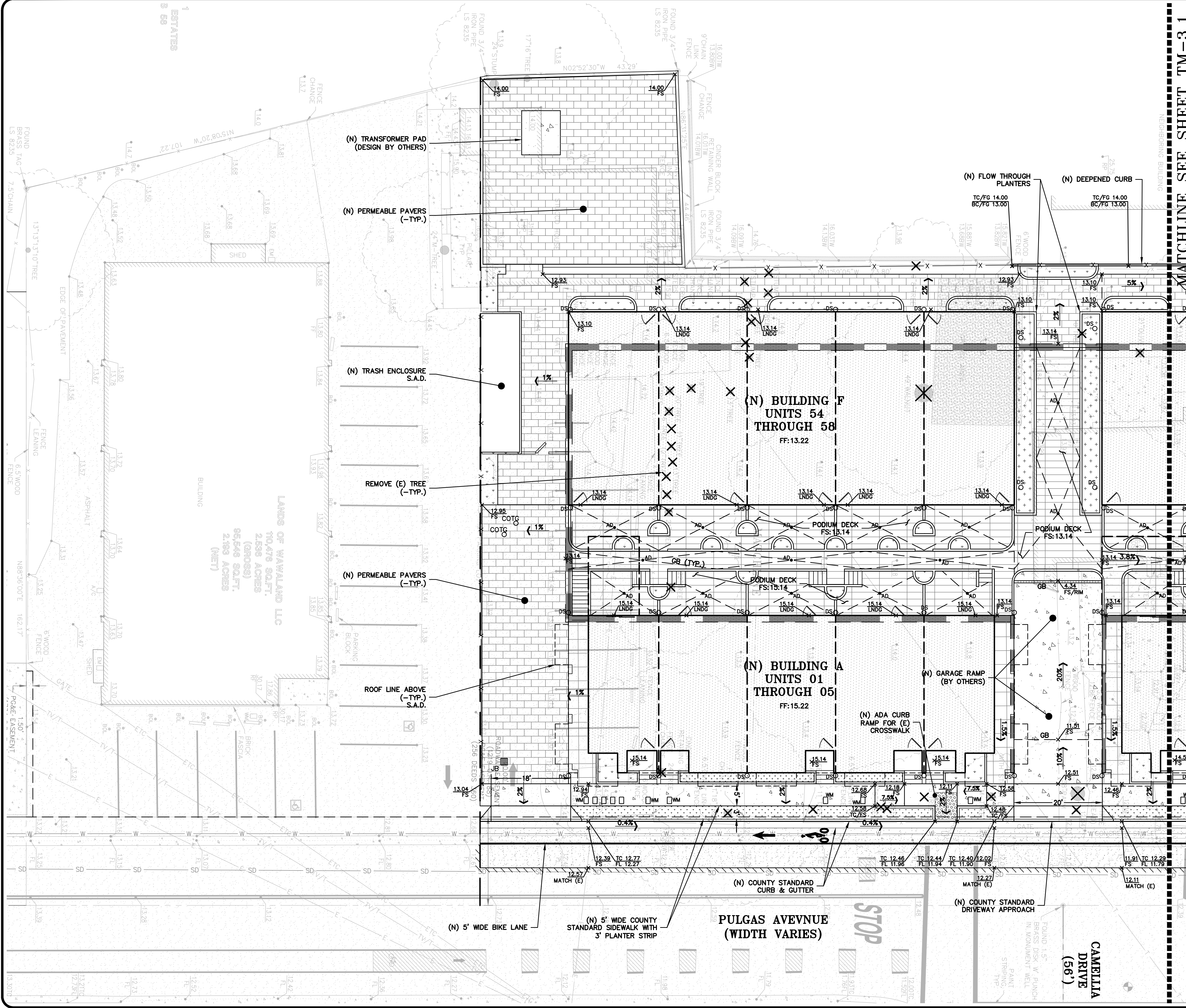
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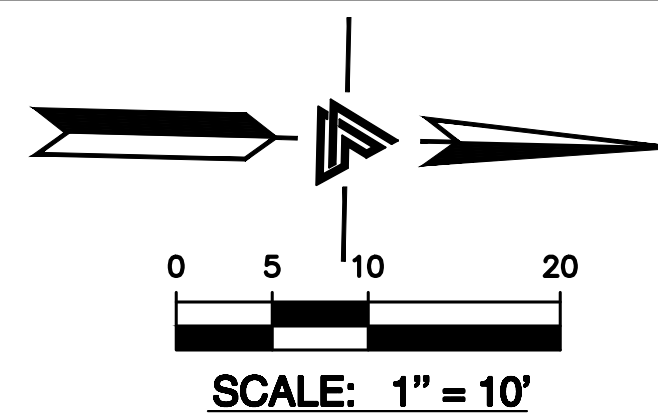
CHECKED BY: JC

SHEET NO:

TM-1.0



MATCHLINE SEE SHEET TM-3.1



LEGEND

PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL

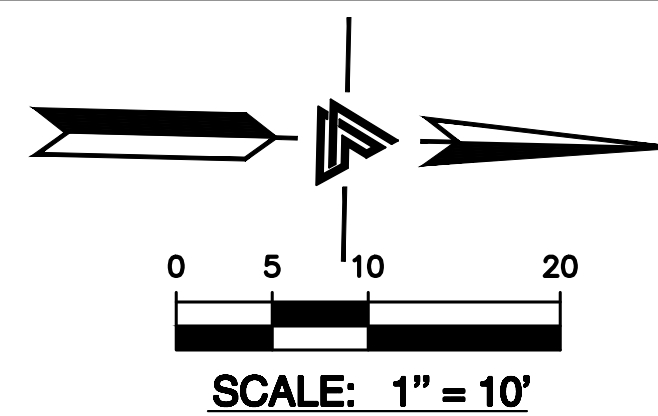
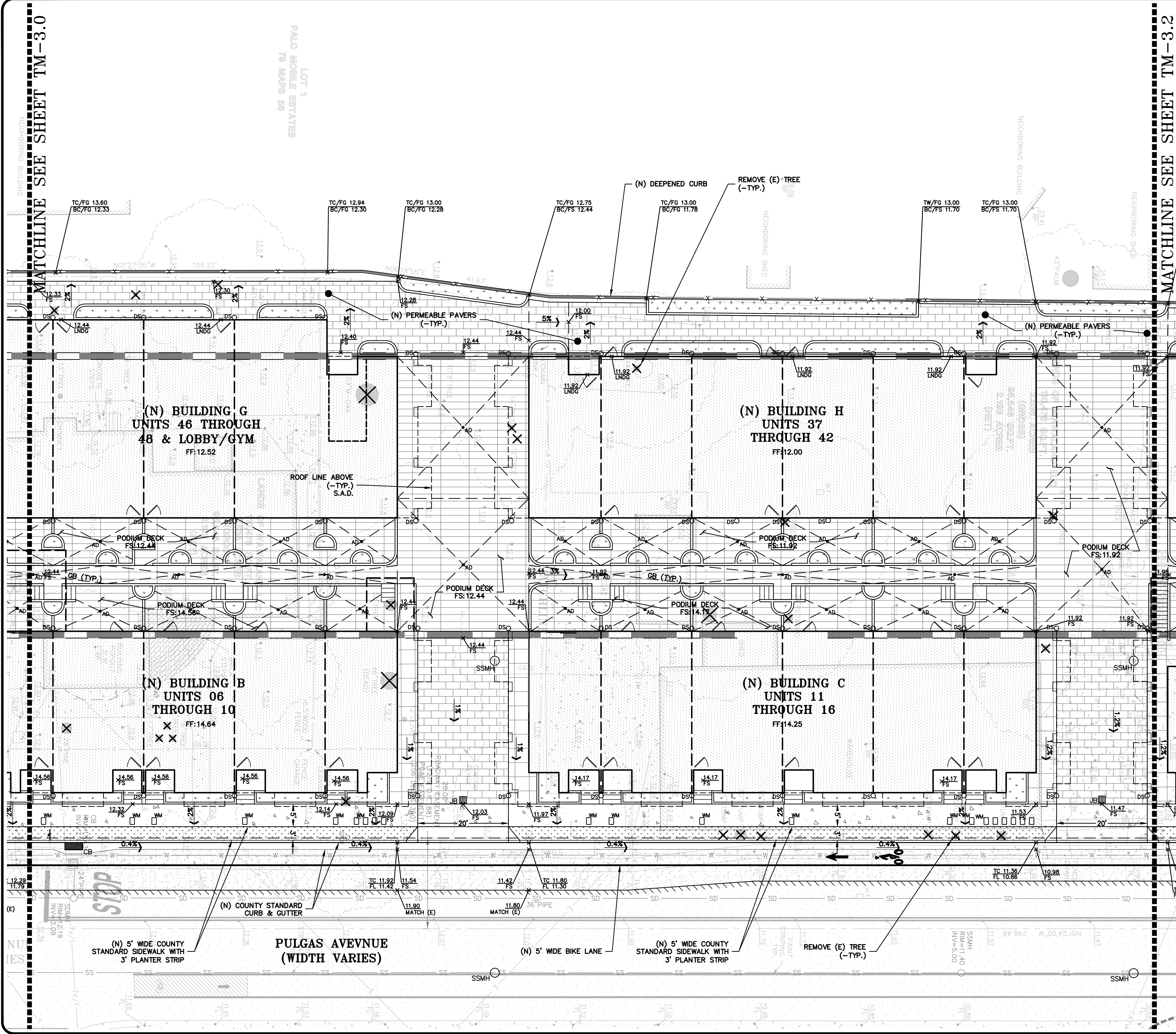


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1933 PULGAS AVENUE
EAST PALO ALTO,
CALIFORNIA

GRADING & DRAINAGE
PLAN

REVISIONS	BY
JOB NO: 2240115	
DATE: 1-03-25	
SCALE: AS NOTED	
DESIGN BY: AV	
CHECKED BY: JC	
SHEET NO:	



LEGEND	
PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL



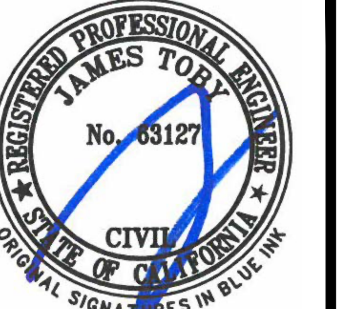
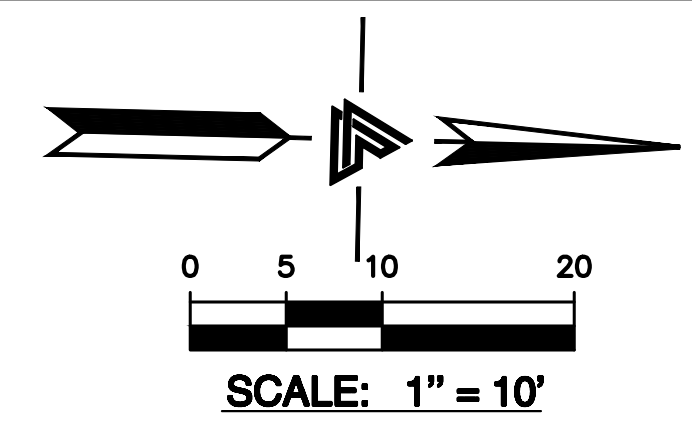
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
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1933 PULGAS AVENUE
EAST PALO ALTO,
CALIFORNIA

GRADING & DRAINAGE
PLAN

REVISIONS		BY
JOB NO:		2240115
DATE:		1-03-25
SCALE:		AS NOTED
DESIGN BY:		AV
CHECKED BY:		JC
SHEET NO:		

MATCHLINE SEE SHEET TM-3.1



LEA & BRAZE ENGINEERING, INC.

CIVIL ENGINEERS • LAND SURVEYORS

MAIN OFFICE:
10001 WILLOW PARKWAY WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4086

REGIONAL OFFICES:
PACIFICASTON
SAN JOSE

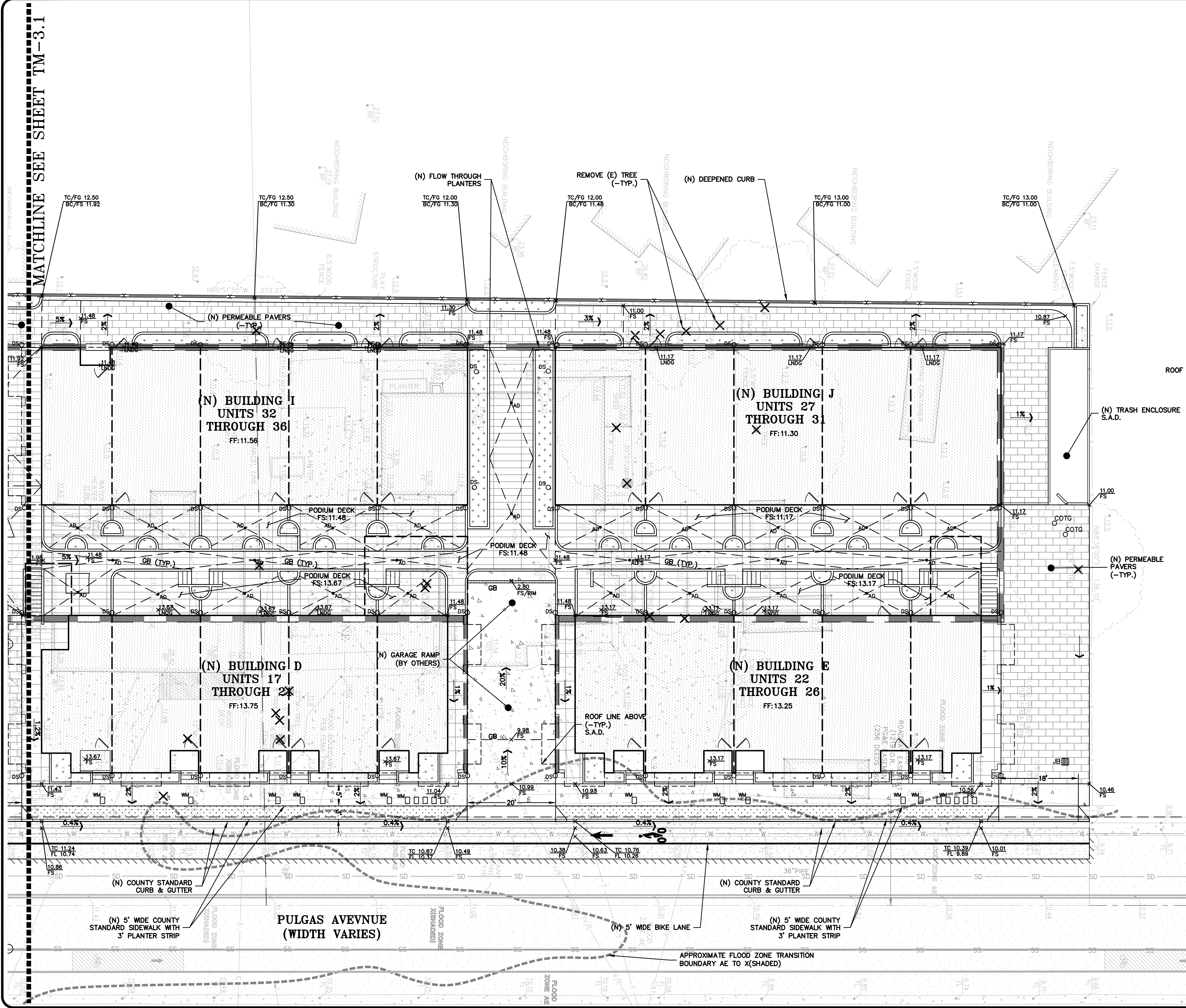
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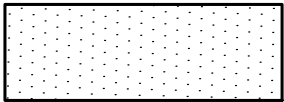
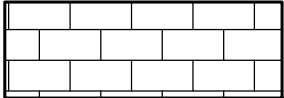
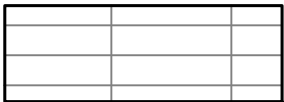
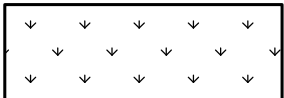
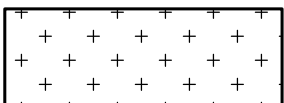
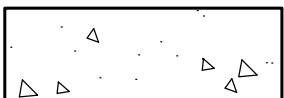
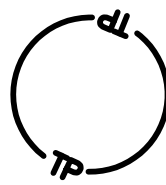


1933 PULGAS AVENUE
EAST PALO ALTO,
CALIFORNIA

GRADING & DRAINAGE PLAN

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	—
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REVISIONS	BY
B NO:	2240115
TE:	1—03—25
ALE:	AS NOTED
SIGN BY:	AV
ECKED BY:	JC
EET NO:	

M-3.2
5 OF 13 SHEETS



PROPOSED	DESCRIPTION
	(N) BUILDING S.A.D.
	(N) PERMEABLE PAVERS
	(N) PODIUM DECK S.S.D. & S.A.D.
	(N) PLANTING AREA S.A.D.
	(N) BIOTREATMENT
	(N) CONCRETE HARDSCAPE
	TREE PROTECTION
	REMOVE TREE
	(N) RETAINING WALL